



PLANNING & ZONING BOARD AGENDA

Wednesday, February 11, 2026

Broadcast on Cable TV Channel 16
and northmetrotv.com/lino-lakes-stream

ADVISORY BOARD MEETING, 6:30 P.M.

Council Chambers (televised)

1. Call to Order and Roll Call
2. Pledge of Allegiance
3. Public Comment (*sign-in prior to start of meeting per Rules of Decorum*)
4. Setting the Agenda: Addition or Deletion of Agenda Items
5. Approval of Minutes: Special Work Session Minutes January 28, 2026 and January 14, 2026
6. Action Items
 - A. **PUBLIC HEARING:** Valvoline (Clearwater Commons) Conditional Use Permit
 - B. **PUBLIC HEARING:** Harvest Grange Rezoning and Preliminary Plat
 - C. **PUBLIC HEARING:** Amending Comprehensive Plan to Provide for Municipal Utility Service to Public Works Building Site
7. Discussion Items
 - A. Lyngblomsten PUD Amendment #4 Mixed Use Concept
 - B. Project Updates

ADJOURNMENT

Lino Lakes City Council
Special Joint Work Session w/EDAC and Planning & Zoning Board
Minutes

DATE: January 28, 2026
TIME STARTED: 6:00 P.M.
TIME ENDED: 8:48 P.M.
LOCATION: Community Room

COUNCIL PRESENT: Mayor Rafferty Councilmembers Lyden, Nelson, Ruhland and Rennaker
MEMBERS ABSENT: None

PNZ BOARD PRESENT: Chair Michael Root, Members Patrick Kohler, Perry Laden, Suzy Guthmueller,
Nathan Vojtech and Isaac Wipperfurth
MEMBERS ABSENT: Neil Evenson

EDAC PRESENT: Chair Nathan Vojtech (also PNZ), Members Patrick Kohler (also PNZ), Andrew
Cravero, Suzy Guthmueller (also PNZ), Sam Bennett, Blakely LaCroix, Chad Wagner
and Mark Pheil
MEMBERS ABSENT: Barbara White

Staff Members Present: City Administrator Karen Anderson, City Clerk Roberta Colotti, Community
Development Director Mike Grochala, City Planner Katie Larsen and Community Development Specialist
Jessica Eller.

1. Call to Order and Roll Call

The meeting was called to order at 6:00 p.m.

2. Setting the Agenda: Addition or Deletion of Agenda Items

The agenda was adopted as presented.

3. Town Center Master Plan – Visioning Session

The Community Development Director introduced Ned Dodington with Tushie Montgomery Architects, Evan Jacobsen with Tushie Montgomery Architects, Mary Bujold with Maxfield Research and Consulting, Josh McKinney with Measure Group and Johnnie Workman with Measure Group.

The Community Development Director stated that Tushie Montgomery Architects, in partnership with Maxfield Research and Consulting was retained by the City to lead the Town Center South Master Plan process. The City Economic Development Authority (EDA) owns approximately nine (9) acres of property, including parcels across from City Hall, land adjacent to the Rookery Activity Center, and two commercial pad sites along I-35W. The project area has been defined to include not only the City property but the undeveloped/underutilized property west of Lake Drive.

Project work has been underway over the past several weeks to gather information, prepare

the communications plan and begin evaluating site characteristics. The Town Center South Master Plan study is intended to:

- Align development with market, community priorities and the Council’s strategic plan.
- Position the City to attract new investment and expand the tax base.
- Provide a roadmap for integrating civic, commercial, and recreational uses.
- Enhance the Rookery’s position as a community hub and asset.

This joint engagement and visioning session with the City Council, Planning and Zoning Board, and Economic Development Advisory Committee, is intended to establish key goals and priorities and performance metrics for the Master Plan.

Representatives from Tushie Montgomery Architects reviewed the process, provided background information and facilitated discussion on the planning objectives and goals

4. **Adjournment**

Mayor Rafferty adjourned the meeting at 8:48 p.m.

These minutes were approved at the regular Council Meeting on February 9, 2026.

**CITY OF LINO LAKES
PLANNING & ZONING BOARD MINUTES**

DATE:	January 14, 2026
TIME STARTED:	6:30 P.M.
TIME ENDED:	8:01 P.M.
MEMBERS PRESENT:	Isaac Wipperfurth, Nathan Vojtech, Michael Root, Suzy Guthmueller, Perry Laden, Patrick Kohler, Neil Evenson
MEMBERS ABSENT:	
STAFF PRESENT:	Michael Grochala, Katie Larsen, Diane Hankee, Jessica Eller, Marissa Ertel

1. CALL TO ORDER AND ROLL CALL

Chair Root called the Lino Lakes Planning & Zoning Board meeting to order at 6:30 p.m. on January 14, 2026.

2. PLEDGE OF ALLEGIANCE

3. PUBLIC COMMENT

Chair Root declared public comment open at 6:31 p.m.

There was no one present for public comment.

Mr. Vojtech motioned to close public comment at 6:31 p.m. Motion was seconded by Mr. Kohler. Motion carried 7 – 0.

4. APPROVAL OF AGENDA

The agenda was approved as presented.

5. APPROVAL OF MINUTES

Mr. Kohler moved to approve the December 10, 2025 meeting minutes. Motion seconded by Mr. Wipperfurth. Motion carried 6 – 0, with one abstention.

6. ACTION ITEMS

DRAFT MINUTES

A. 2245 Tele Drive 3-Season Porch Setback Variance

The applicant, Todd Wanka, is requesting a setback variance for the purpose of constructing a 3-season porch. The property address is 2245 Tele Drive.

Mr. Wipperfurth had a question about the setback on the survey and if this was encroaching into the drainage and utility easement. Ms. Larsen confirmed that this would not in the drainage and utility easement.

Ms. Guthmueller wanted to know if the neighbors needed to be notified. Ms. Larsen confirmed that only the City needed to be notified.

Mr. Evenson motioned to approve the setback variance with staff recommendations. Motion was seconded by Ms. Guthmueller. Motion carried 7 – 0.

B. Pine Oaks PUD Concept Plan Review

The applicant, M/I Homes of Minneapolis/St. Paul, LLC, is proposing 82 single family villa lots in a conservation subdivision. The development is approximately 75 gross acres. It is located northeast of Natures Refuge North and is called Pine Oaks. Ms. Emily Becker was available for questions.

Mr. Evenson wanted clarification on the PUD flexibilities and whether these were the same as both Natures Refuge developments. Ms. Larsen stated that not all of the flexibility would be the same between Pine Oaks and Natures Refuge.

Mr. Evenson believes bringing onsite sewer to the surrounding areas would be a positive benefit to the City and residents.

Mr. Wipperfurth likes the idea of connecting the neighborhoods and would appreciate the street connection being made with the surrounding neighborhoods.

Mr. Kohler would like to see the road on the east be connected to Pine Street.

Mr. Laden agrees with the comments made by the Board. Mr. Laden likes the amount of open space being considered. Mr. Laden would like to explore a road connection to the west for potential future development.

Mr. Vojtech is wary of the connection between a high-density neighborhood to a low-density neighborhood. Mr. Vojtech worries about the traffic going through the existing neighborhood.

Mr. Root spoke on the flexibility for the 5-foot forward flexibility. Mr. Root is also in favor of the sewer and water availability to the area. Mr. Root is also in favor of the neighborhood connections to distribute traffic.

Mr. Root would like to see the trail system be incorporated as a public benefit. Mr. Root is unsure of the idea of life-cycle housing. Ms. Larsen stated this would benefit towards the end-of-life cycle due to cost.

Mr. Root believes that a neighborhood meeting should be required.

Mr. Laden agreed that allowing the garage flexibility would help prevent the monotony of all garages looking the same.

Mr. Vojtech wanted to know the approximate housing costs. Ms. Becker stated that the starting point would be around \$450,000 to \$500,000.

Mr. Root restated the suggestions from the board, emphasizing the trail system, street connections between neighborhoods and requiring a neighborhood meeting by the developer.

7. DISCUSSION ITEMS

A. Metropolitan Council 2050 System Statement

Mr. Grochala presented the staff report.

The Board discussed affordable housing that is currently available in the area and what changes are being made from the 2040 Comprehensive Plan and Imagine 2050.

B. Public Works Design Update

Mr. Grochala presented the staff report.

C. Project Updates

Ms. Larsen provided project updates to the Board.

Mr. Wipperfurth moved to adjourn the meeting. Motion seconded by Mr. Vojtech. Meeting adjourned at 8:01 p.m.

Planning & Zoning Board
January 14, 2026
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Respectfully submitted,
Marissa Ertel – Community Development Administrative Assistant

**PLANNING & ZONING BOARD
AGENDA ITEM 6A**

STAFF ORIGINATOR: Katie Larsen, City Planner

MEETING DATE: February 11, 2026

TOPIC: **PUBLIC HEARING:** Valvoline (Clearwater Commons)
1. Conditional Use Permit
2. Site and Building Plan Review

CASE NUMBER: PZC2026-0002

APPLICANT: Valvoline Instant Oil Change Facility
Attn: James Douthit
100 Valvoline Way
Lexington, KY 40509

OWNER: Clearwater Commons Lino, LLC
7650 Edinborough Way, #200
Edina, MN 55455

INTRODUCTION

The applicant, Valvoline Instant Oil Change Facility, is proposing to construct a Valvoline Instant Oil Change Facility. The property address is 7104 21st Avenue North.

Tentative Review Schedule:

Complete Application Date:	January 14, 2026
60-Day Deadline:	March 15, 2026
Environmental Board Meeting:	January 28, 2026
Park Board Meeting:	N/A
Planning & Zoning Board Meeting:	February 11, 2026
City Council Work Session:	March 2, 2026
City Council Meeting:	March 9, 2026

BACKGROUND

The Land Use Application is for the following:

- Conditional Use Permit
 - Auto repair-major and minor for fast oil change facility
- Site & Building Plan Review

This staff report is based on the following submittals:

- Site Development Plan prepared by CESO dated January 12, 2026
- Color Building Elevations dated January 12, 2026

ANALYSIS

History

The site is legally described as Lot 3, Block 1, Clearwater Commons. In June 2025, the City approved the preliminary plat for this 3 lot commercial subdivision. The final plat was approved in September 2025. Site grading, utilities, stormwater management, private street, traffic study, wetlands, AUAR, etc. were reviewed for all 3 lots. Site and building plan review for Chipotle was also completed for Lot 1 in conjunction with the preliminary plat.

This land use application is for conditional use permit and site & building plan review specifically for Lot 3 and the proposed Valvoline facility.

Existing Site Conditions

The lot is 0.64 acres and is an existing agricultural, relatively flat property.

Zoning and Land Use

The site is zoned GB, General Business and is guided commercial per the City's 2040 Comprehensive Plan. A conditional use permit (CUP) is required for auto repair-major and minor for a fast oil change facility.

Current Zoning	GB, General Business
Existing Land Use	Vacant Commercial
Future Land Use per 2040 Comp Plan	Commercial
Utility Staging Area	1A=2018-2025

Similar to the Valvoline (Java Lino Lakes), staff recommends the conditional use permit only be for automobile repair-minor as defined in City Code Section 1007.001(2) Definitions.

AUTOMOBILE REPAIR-MINOR. An establishment providing goods or services related to passenger motor vehicles such as car washes; repair businesses limited to minor engine repair, fluid changing, tire service and muffler repair; and other uses of similar character, but not including uses defined as a major automobile business or automobile sales.

The conditional use permit findings will be discussed later in this report.

Surrounding Zoning and Land Use

Direction	Zoning	Existing Land Use	Future Land Use
North	PUD, Planned Unit Development	Residential (Watermark)	Low Density Mixed Residential
South	GB, General Business	Commercial	Commercial
East	GB, General Business	Vacant Commercial	Commercial
West	City of Centerville	City of Centerville	City of Centerville

Site and Building Plan Review

The attached Site and Building Plan Review Worksheet was completed to determine zoning code compliance regarding lot sizes, setbacks, architecture, lighting and off-street parking. In general, the proposed development is compliant with minor revisions as noted.

Site Plan

The building will be located on Lot 3, Block 1, Clearwater Commons. The lot area is 27,878 sf (0.64 acres). The site is accessed from the private street along the north of the lot.

Eight (8) parking spaces are required and nine (9) are provided.

Drive-through service facilities are accessory uses. Per City Code Section 1007.132(7):

(c) Drive-through service facilities:

1. At least 120 feet of segregated passenger motor vehicle stacking must be provided for the single service lane. Where multiple service lanes are provided, the minimum passenger motor vehicle stacking may be reduced to 60 feet per lane.

Sixty (60) feet of multiple service lane stacking is provided.

2. The stacking lane and its access must be designed to control traffic in a manner to protect the buildings and will not interfere with on-site traffic circulation or access to the required parking space.

Traffic is controlled and will not interfere with on-site traffic circulation or access.

3. No part of the public street or boulevard may be used for stacking of passenger motor vehicles or motorcycles.

No public street or boulevard are used for stacking.

4. The stacking lane, order board intercom, and window placement shall be designed and located in such a manner as to minimize glare to adjacent premises, particularly residential premises, and to maximize maneuverability of vehicles on the site.

The stacking lanes are designed and located to minimize glare to adjacent premises. There are no nearby residential premises. There are no order board and windows on site. Maneuverability of vehicles is maximized.

5. The drive-through window and its stacking lanes shall be screened from view of adjoining residential zoning districts and public street rights-of-way.

There is no drive-through window. There is no adjoining residential zoning districts. Stacking lanes are screened from Main Street by the building.

6. A lighting and photometric plan will be required that illustrates the drive-through service lane lighting and shall comply with § [1007.046](#).

A photometric plan has been submitted; however, revisions are required to determine compliance.

Architectural Plans and Exterior Building Materials

The building footprint is approximately 1,462 sf and has 2 service bays, office space, and a restroom.

Exterior materials include EIFS, 2 different colors of brick, and glass. Colors are browns, tans, and beige. The exterior materials, colors, and percentages are compliant with performance standards.

The building height is 24ft which is less than that maximum 45 ft allowed.

The trash enclosure is made of split face cmu painted brown and sand to compliment the building.

Rooftop mechanical equipment shall be screened by the parapets.

Grading Plan and Stormwater Management

Per the City Engineer Memo dated February 4, 2026:

Stormwater management for the Valvoline site was included with the overall Clearwater Commons development and consists of collecting stormwater runoff with several catch basins and conveying it to an underground BMP on the west side of the site through an existing stub. The proposed site meets these requirements.

Public Utilities

The site will be municipally served by an 8" sanitary sewer main and 8" watermain located along the private street.

Tree Preservation, Mitigation Standards and Landscaping

Per the January 28, 2026 Environmental Board staff report:

Tree Preservation

A resource inventory was completed for the project showing 10 trees proposed for impacts. Nine of the trees are poplar and 1 willow that would be considered significant trees.

3 trees are to be removed from this site and are within the basic use area.

Landscaping

Landscaping will be required for each lot as it develops and will be required to meet all city requirements. Currently trees are being planted along the private street for screening.

Canopy cover standards are required to mitigate the effects of hardscape by establishing tree canopy cover. The required minimum canopy coverage is 40%. The site is comprised of 11,621 SF of impervious at 40% requires 4,649 SF of coverage. Eight trees are being proposed within the vehicular hardscape area to provide 4,800 SF.

Foundation landscape zone 6 large shrubs and two large trees are required per 100 LF of building. The site includes 157 LF, 2 large trees are being proposed along with 10 large shrubs. One additional large tree should be proposed to meet requirements.

Open area landscape is required to provide 1 large tree and two large shrubs per 2,500 SF of open space. Open area on site is $9,410\text{SF}/2500=3.76$ or 4 large trees and 8 shrubs. They are proposing to meet the requirements.

Buffer and screening between vehicle hardscape and public right of way. Minimum height screening of 30" to be provided for Main Street and SR 30E. All planting screens require at a minimum a double row of plants with triangulated spacing (See illustration). Planting plans shall include species which are sized to appropriately screen visibility within five years of planting. Small shrubs shall be planted at a maximum interval of three feet on center; medium shrubs shall be planted at a maximum interval of four feet on center; and large shrubs shall be planted at a maximum interval of six feet on center unless; otherwise authorized by the City.

Signage

A separate Sign Permit Application with detailed sign information is required for any permanent or temporary signage.

Impervious Surface Coverage

The allowed maximum impervious surface coverage per lot in the GB, General Business District is 75%. The proposed impervious surface is 58%. This requirement is met.

Traffic Study

The traffic study for the three (3) lot Clearwater Commons commercial subdivision details compliance with City requirements. The proposed Valvoline is consistent with the study.

EQB Environmental Review

The site is within the 2005 I-35E Corridor AUAR environmental review boundary. The AUAR was updated in July 2025. The AUAR identifies this site as commercial in the land use scenarios. The proposed Valvoline is consistent with commercial development. No further environmental assessment is required.

Wetlands

There are no wetlands on site.

Shoreland District

The site is not located in the Shoreland District.

Floodplain

There is no FEMA floodplain on site.

Additional City and Government Agency Review Comments

- Anoka County Highway Department comments are attached.
- Police Department reviewed the site and building plan and had no concerns.
- Fire Department reviewed the site and building plan and had no concerns.
- City Engineer comments are attached.
- Environmental Coordinator comments are attached.

Agreements

Stormwater Maintenance Agreement

The stormwater facilities will be privately maintained and a Declaration for Maintenance of Stormwater Facilities is in place. Both the Rice Creek Watershed District (RCWD) and the City of Lino Lakes are parties to the Declaration.

Development Agreement

A Development Agreement is not required because this is an existing lot of record, not a subdivision.

Site Improvement Performance Agreement

A Site Improvement Performance Agreement shall be executed prior to construction.

Comprehensive Plan

The Valvoline project is consistent with the goals and policies of the comprehensive plan regarding land use, housing, economic development, transportation, local water management plan, sanitary sewer, water supply and parks, greenway and trails.

Land Use Plan

The Comprehensive Plan guides this property for commercial use. The Valvoline project is consistent with commercial land use.

Housing Plan

The goals and policies of the Housing Plan are not negatively impacted by the Valvoline project.

Economic Development

The Valvoline project supports the City's economic development plan.

Transportation Plan

Goals of the Transportation Plan are to ensure that street and roads are as safe as possible and to reduce unnecessary traffic. CSAH 14 (Main Street) is an A-Minor Arterial Connector county road. 21st Avenue North is a minor collector City road. The exiting road system can accommodate the traffic generated by the Valvoline project.

Local Water Management Plan

The purpose of the water management program is to protect, preserve, and use natural surface and groundwater storage and retention systems and prevent erosion of soil into surface water systems. The Clearwater Commons development and Valvoline project will construct stormwater management BMP's such as curb, gutter, and stormwater ponds.

Sanitary Sewer Plan

The goal of the sanitary sewer plan is to maintain the city's residents and businesses with an affordable and safe sanitary sewer system. The Valvoline project will be served by an affordable and safe sanitary sewer system.

Water Supply Plan

A goal of the water supply plan is to provide residents and businesses with affordable potable water that is safe and of high quality for daily consumption and fire demand. The Valvoline project will be served with a safe and high quality water supply.

Parks, Greenways and Trails

A goal and policy of the parks, greenways and trails plan is to continue to development and fund recreational activities in the City. The City collected cash in lieu of land dedication with the Clearwater Commons final plat.

Findings of Fact

Conditional Use Permit and Site & Building Plan Review

The lot is zoned GB, General Business which allows for automobile repair-major and minor with an approved conditional use permit. The proposed Valvoline fast oil change facility is considered an automobile repair-minor use.

Per City Code Section 1007.016(3):

(e) The Planning and Zoning Board shall hold the public hearing and consider possible adverse effects of the proposed conditional use. Its judgement shall be based upon, but not limited to, the following factors:

1. The proposed development application has been found to be consistent with the design standards listed in § [1007.020](#)(4).

See below.

2. Will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare, or odors.

The proposed automobile repair-minor will not involve activities detrimental to any person, property, or the general welfare.

3. Will not result in the destruction, loss, or damage of a natural, scenic or historic feature of major importance.

The proposed automobile repair-minor will not result in the destruction of a natural, scenic, or historic feature of major importance.

Per City Code Section 1007.020:

(4) *Performance Standards.* Plans which fail to meet the following criteria shall not be approved.

(a) The proposed development application must be consistent with the policies and recommendations of the Lino Lakes Comprehensive Plan.

The proposed automobile repair-minor is consistent with commercial land use.

(b) The proposed development application is compatible with present and future land uses of the area.

The proposed automobile repair-minor is compatible with present and future land uses of the area.

(c) The proposed development application conforms to performance standards herein and other applicable City Codes.

The proposed automobile repair-minor conforms to City Code performance standards with minor revisions as noted.

(d) Traffic generated by a proposed development application is within the capabilities of the City when:

1. If the existing level of service (LOS) outside of the proposed development is A or B, traffic generated by a proposed development will not degrade the level of service more than one grade.
2. If the existing LOS outside of the proposed development is C, traffic generated by a proposed development will not degrade the level of service below C.
3. If the existing LOS outside of the proposed development is D, traffic generated by a proposed development will not degrade the level of service below D.
4. The existing LOS must be D or better for all streets and intersections providing access to the proposed development. If the existing level of service is E or F, the developer must provide, as part of the proposed project, improvements needed to ensure a level of service D or better.
5. Existing roads and intersections providing access to the proposed development must have the structural capacity to accommodate projected traffic from the proposed development or the developer will pay to correct any structural deficiencies.
6. The traffic generated from a proposed development shall not require City street improvements that are inconsistent with the Lino Lakes Capital Improvement Plan. However, the City may, at its discretion, consider developer-financed improvements to correct any street deficiencies.
7. The LOS requirements in paragraphs 1. to 4. above do not apply to the I-35W/Lake Drive or I-35E/Main St. interchanges. At City discretion, interchange impacts must be evaluated in conjunction with Anoka County and the Minnesota Dept. of Transportation, and a plan must be prepared to determine improvements needed to resolve deficiencies. This plan must determine traffic generated by the proposed development project, how this traffic contributes to the total traffic, and the time frame of the improvements. The plan also must examine financing options, including project contribution and cost sharing among other jurisdictions and other properties that contribute to traffic at the interchange.

The traffic study for the three (3) lot Clearwater Commons commercial subdivision details compliance with City requirements. The proposed automobile repair-minor is consistent with the study.

The proposed automobile repair-minor meets Level of Service (LOS) requirements and is within the capabilities of the City. The existing roads and intersections providing access to the proposed

development have the structural capacity to accommodate projected traffic from the proposed development. The traffic generated from a proposed development does not require City street improvements that are inconsistent with the Lino Lakes Capital Improvement Plan.

(e) The proposed development shall be served with adequate and safe water supply.

The proposed automobile repair-minor will have an adequate and safe water supply.

(f) The proposed development shall be served with an adequate or safe sanitary sewer system.

The proposed automobile repair-minor will be served with an adequate waste disposal system.

(g) The proposed development shall not result in the premature expenditures of City funds on capital improvements necessary to accommodate the proposed development.

The proposed automobile repair-minor does not require City funds.

(h) Fire prevention and fighting equipment acceptable to the Board of Fire Underwriters and City Council shall be readily available when any activity involving the handling or storage of flammable or explosive materials is carried on.

The proposed automobile repair-minor will have fire prevention and fighting equipment readily available.

Specific Conditional Use Permit (CUP) Requirements

In addition to the above administrative requirements of a conditional use permit, the following specific performance standards of City Code Section 1007.132(8) must also be met:

(a) Automobile repair-major and minor provided that:

1. The architectural appearance and functional plan of the building and site shall not be so dissimilar to the existing buildings or area as to cause impairment in property values or constitute a blighting influence.

The architectural appearance and functional plan of the building and site are not dissimilar to the existing and proposed commercial buildings in the area.

2. All repair work shall be conducted within the principal building.

All repair work will be conducted within the principal building.

3. All painting must be conducted in an approved paint booth. All paint booths and all other activities of the operation shall thoroughly control the emission of fumes, dust, or other particulate matter so that the use shall be in compliance with the State of Minnesota Pollution Control Standards, Minnesota Regulation APC 1-15, as amended.

No painting or paint booths are proposed with the automobile repair-minor.

4. The emission of odor by a use shall be in compliance with and regulated by the State of Minnesota Pollution Control Standards, Minnesota regulations APC, as amended.

The emission of odor will be in compliance with state regulations.

5. All flammable materials, including liquids and rags, shall conform with the applicable provisions of the Minnesota Uniform Fire Code.

All flammable materials will conform with Minnesota Uniform Fire Code.

6. All outdoor storage shall be prohibited except the storage of customer vehicles waiting for repair.

Outdoor storage is prohibited except for the storage of customer vehicles waiting for repair.

RECOMMENDATION

Staff recommends approval of the Valvoline (Clearwater Commons) conditional use permit for automobile-minor subject to following conditions:

1. The conditional use permit shall only be for automobile repair-minor as defined in City Code Section 1007.001(2) Definitions.

AUTOMOBILE REPAIR-MINOR. An establishment providing goods or services related to passenger motor vehicles such as car washes; repair businesses limited to minor engine repair, fluid changing, tire service and muffler repair; and other uses of similar character, but not including uses defined as a major automobile business or automobile sales.

2. Automobile repair-major is not allowed without an approved conditional use permit.
3. Customer vehicles waiting for repair shall not be parked on-site longer than 24 hours.
4. A Site Improvement Performance Agreement shall be executed.
5. A Declaration for Maintenance of Stormwater Facilities in favor of RCWD and the City shall be recorded.
6. Rooftop or ground mounted mechanical equipment shall be screened per City Code Section 1007.043(2)(d)14.
7. Annual inspections may be conducted by the City to ensure City Code compliance.

8. A separate sign permit application shall be submitted and approved by the City prior to any permanent, replacement, or temporary signage installation.
9. Failure to comply with any of the listed conditions may result in revocation of the conditional use permit.

The following items shall be addressed:

1. All comments from the City Engineer memo dated February 4, 2026.
2. All comments from the Environmental memo dated February 2, 2026.
3. All comments highlighted in red on the Site & Building Plan Review Worksheet.
4. Sheet C-1.0, Site Plan:
 - a. Parking lot and turnaround along west lot line shall meet 10ft requirement.
 - b. Include an internal sidewalk connection from Lot 3 to Lot 2.
5. Sheet C-8.0, Photometric Plan:
 - a. Foot candle measurements exceed City code requirements and shall be revised.
6. ALTA/NSPS Land Title Survey
 - a. Both sheets of the survey shall be signed and dated.

ATTACHMENTS

1. Site Location & Aerial Map
2. Site Development Plan
3. Color Building Elevations
4. Site and Building Plan Review Worksheet
5. City Engineer Memo dated February 4, 2026
6. Environmental Memo dated February 2, 2026

Site Location and Aerial Map

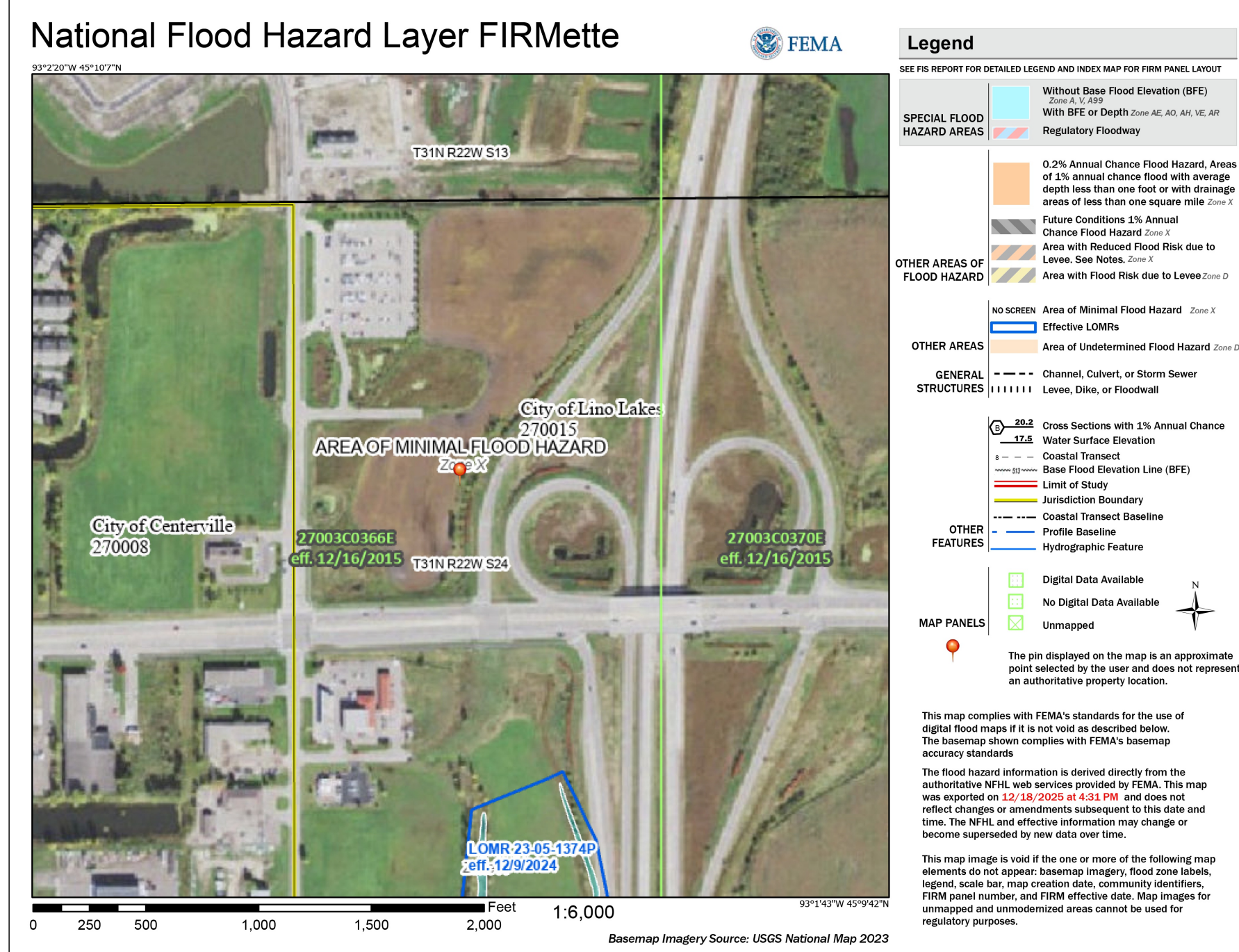


1 in = 200 Ft

Address Labels

Parcels





FLOOD INSURANCE RATE MAP (N.T.S.)

DRAWING INDEX AND ISSUANCE LOG

SHEET #	SHEET NAME	DATE	ISSUE	CUP OWNER REVIEW SET	PERMIT SET	REVISION 1	REVISION 2	REVISION 3	REVISION 4	REVISION 5	REVISION 6	REVISION 7	REVISION 8
C-0.0	COVER SHEET	01/09/2025	•	•	•								
C-1.0	SITE PLAN	01/12/2026	•	•	•								
C-1.1	DEMOLITION PLAN		•	•									
C-2.0	PAVING PLAN		•	•									
C-3.0	GRADING PLAN		•	•									
C-4.0	PRE-DEVELOPMENT PLAN		•	•									
C-4.1	POST-DEVELOPMENT PLAN		•	•									
C-4.2	DRAINAGE PLAN		•	•									
C-5.0	EROSION CONTROL PHASE I		•	•									
C-5.1	EROSION CONTROL PHASE II		•	•									
C-5.2	EROSION CONTROL DETAILS		•	•									
C-6.0	UTILITY PLAN		•	•									
C-7.0	DETAILS		•	•									
C-7.1	DETAILS		•	•									
C-8.0	PHOTOMETRIC PLAN		•	•									
L-1.0	SITE LANDSCAPE PLAN		•	•									
ATTACHMENT													
	ALTA/NSPS LAND SURVEY		•	•									

THIS SET OF DRAWINGS IS BASED ON THE 2025 Q4 DESIGN STANDARDS

SURVEYOR

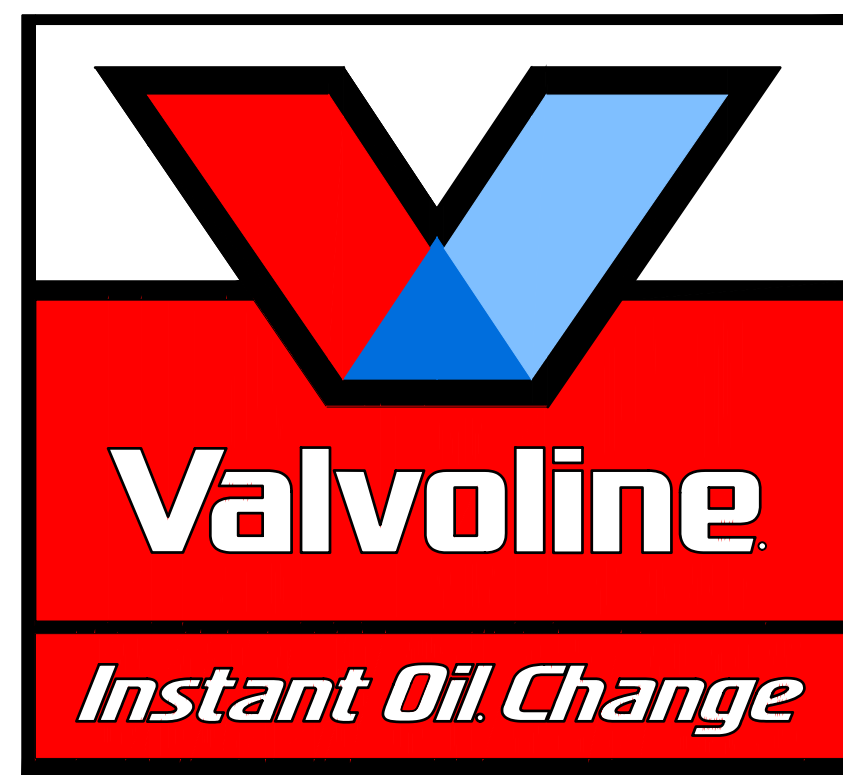
ALTA/NSPS LAND TITLE SURVEY
 DESIGN TREE
 ENGINEERING + LAND SURVEYING
 120 17TH AVE W
 ALEXANDRIA, MN 56308
 SURVEYOR'S PROJECT NO. 55068

JOB NO. 767414

GEOTECHNICAL ENGINEER:

AMERICAN ENGINEERING TESTING
 5548 BARTHEL INDUSTRIAL DRIVE NE, STE 500
 ALBERTVILLE, MINNESOTA 55301
 (800) 792.6234
 PROJECT NO. P-0034331

SITE DEVELOPMENT PLAN



**HWY 14 AND 21ST AVENUE
 CITY OF LINO LAKES
 ANOKA COUNTY, MN
 ZONING: GB - GENERAL BUSINESS**

OWNER/DEVELOPER:

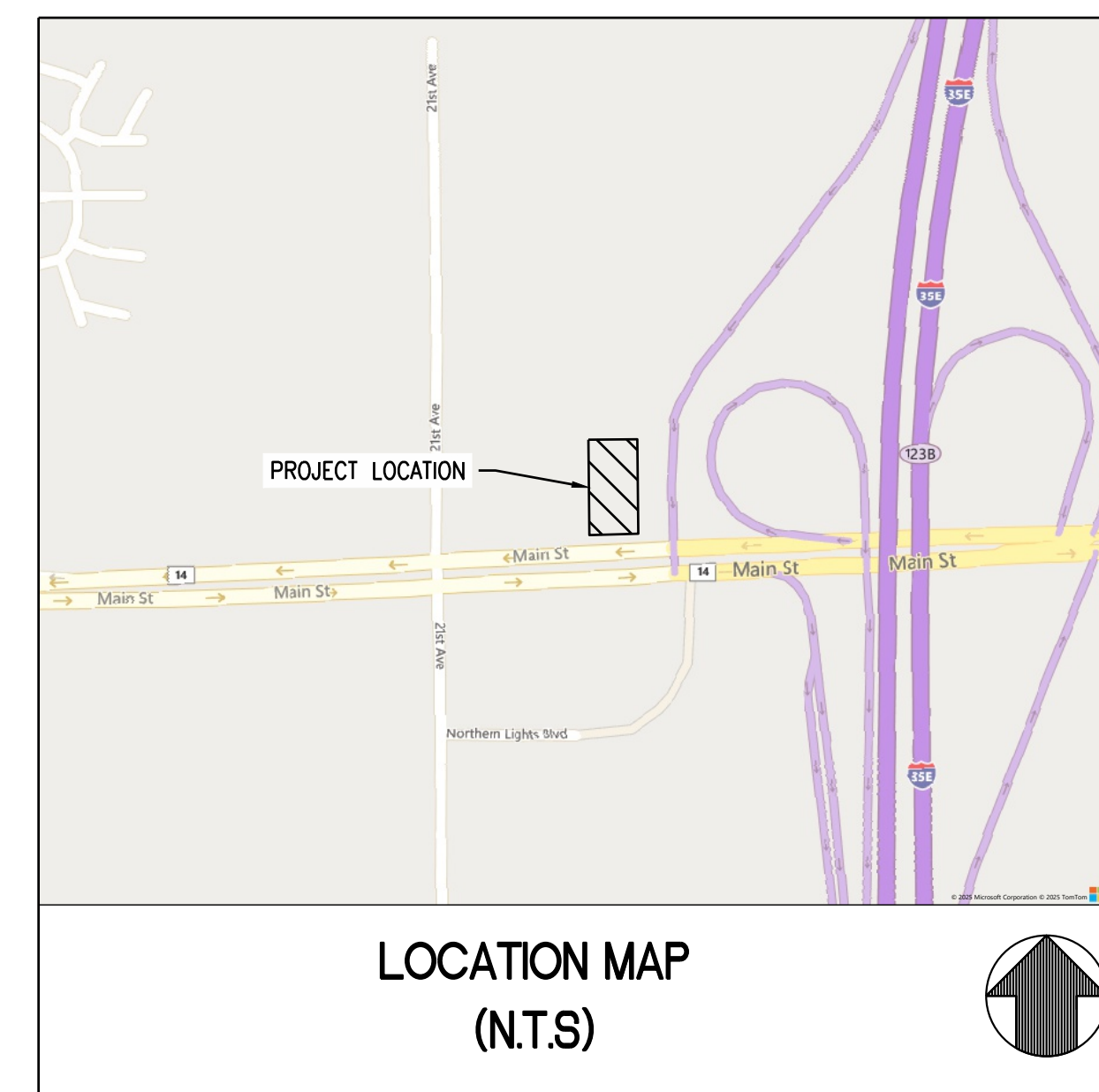
**VALVOLINE, LLC
 CONTACT: JIM DOUTHIT**

**100 VALVOLINE WAY
 LEXINGTON, KY 40509
 (210) 859-3957**

ENGINEERING:



**CONTACT: BRIAN WELLERT
 175 MONTROSE W AVE
 AKRON, OH 44321
 (330) 808-0821**



LOCATION MAP (N.T.S.)

CONTACTS:

PRE-CONSTRUCTION P.M.

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 Jim Douthit
 100 Valvoline Way
 Lexington, KY 40509
 Bus: (210) 859-3957

CONSTRUCTION P.M.

Valvoline Instant Oil Change
 Michael Klein
 100 Valvoline Way
 Lexington, KY 40509
 Bus: (859) 437-5038

LUBE EQUIPMENT SUPPLIER

Devon Industries, Inc.
 Brian Stoops
 P.O. Box 270514
 Bus: (405) 868-5665

CIVIL P.M.

CESO, Inc.
 Brian Wellert
 3601 Rigby Road, Suite 300
 Miamisburg, OH 45342
 Bus: (937) 401-3917
 mikemihalik@cesoinc.com

ARCHITECTURE

CESO, Inc.
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 3601 Rigby Road, Suite 300
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 Andrew.Geeting@cesoinc.com

LANDSCAPE ARCHITECT

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 Roger Beal
 205 Park Meadow Dr.
 Yellow Springs, OH 45387
 Bus: (937) 767-8199
 ysdesign830@outlook.com

PLANNING & ZONING

Planning & Development
 Katie Larsen
 600 Town Center Parkway
 Lino Lakes, MN 55014
 Bus: (651) 982-2426
 KLarsen@inolak.us

FIRE

City of Lino Lakes
 Brian Finke
 7741 Lake Drive
 Lino Lakes, MN 55014
 Bus: (651) 9822464
 BFinke@inolak.us

WATER/WASTEWATER

City of Lino Lakes
 Public Services
 600 Town Center Parkway
 Lino Lakes, MN 55014
 Bus: (651) 982-2440
 PublicServices@inolak.us

ENGINEERING/PUBLIC WORKS

City of Lino Lakes
 Diane Hankee, City Engineer
 600 Town Center Parkway
 Lino Lakes, MN 55014
 Bus: (651) 982-2430
 DHankee@inolak.us

STORMWATER

City of Lino Lakes
 Diane Hankee, City Engineer
 600 Town Center Parkway
 Lino Lakes, MN 55014
 Bus: (651) 982-2430
 DHankee@inolak.us

ELECTRIC

Connexus Energy
 Bus: (763) 323-2600

GAS

Centerpoint Energy
 Bus: (8612) 321-4939

TELEPHONE

AT&T Business
 Bus: (855) 625-2263



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DATE	ISSUE
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01/12/2026	PERMIT SET

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Print Name: Jeffrey Alan Tibbitts
 Signature: _____
 Date: _____ Registration No. 42586

PROFESSIONAL LICENSE NO:

42586

PROFESSIONAL IN CHARGE

JEFFREY ALAN TIBBITTS

PROJECT MANAGER

EW

QUALITY CONTROL

JS

DRAWN BY

JSM

PROJECT NAME



VALVOLINE INSTANT OIL CHANGE

LINO LAKES, MN
 HWY 14

PROJECT NUMBER

767414

SHEET NAME

COVER SHEET

SHEET #

C-0.0



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: MINNESOTA UTILITIES PROTECTION SERVICE AT 811 OR 800-252-1166 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

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VALVOLINE INSTANT OIL CHANGE
LINO LAKES, MN
HWY 14

PROJECT NUMBER
767414

SHEET NAME

SITE PLAN

SHEET #

C-1.0

GENERAL SITE NOTES:

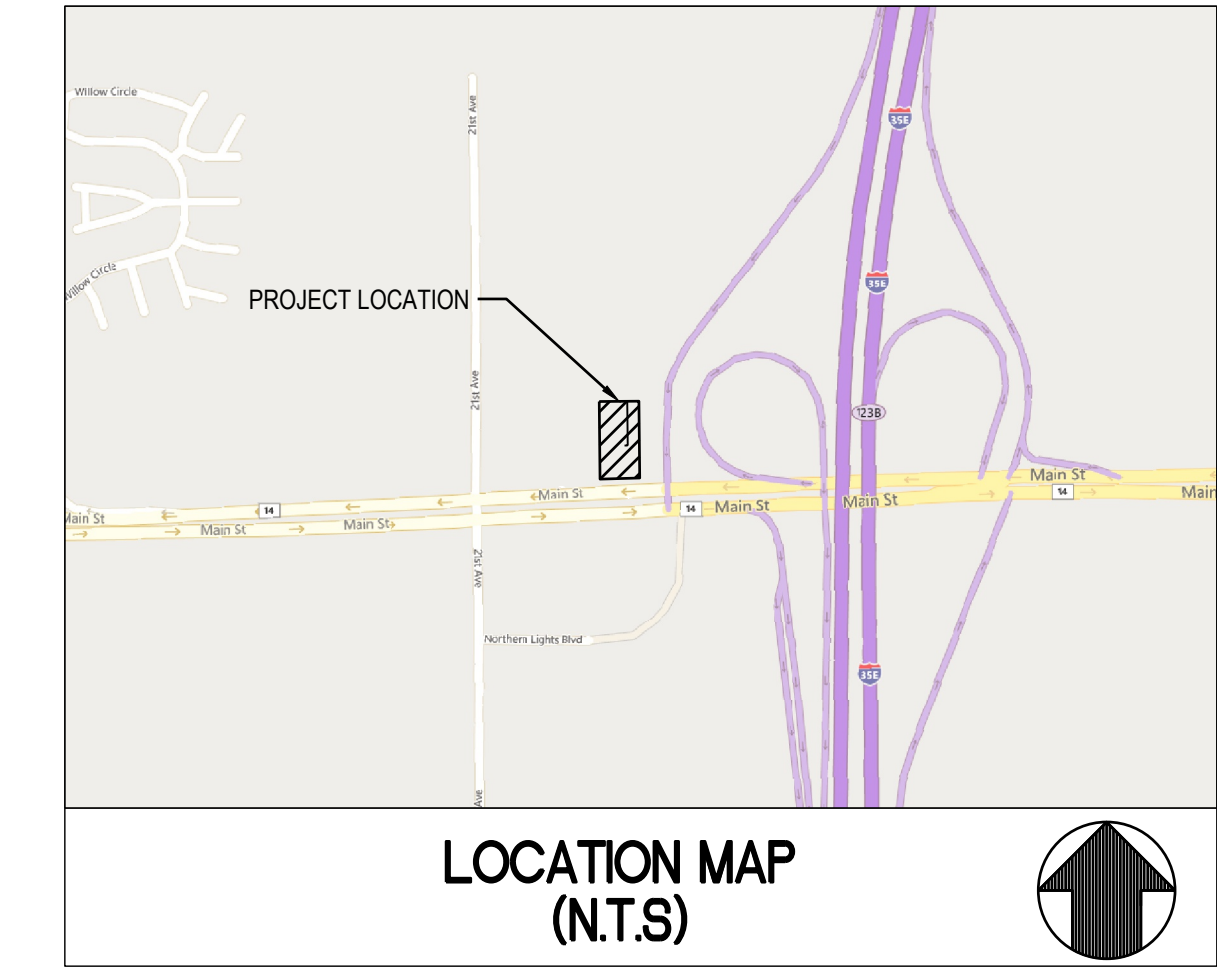
- CONTRACTOR MUST SECURE ALL NECESSARY PERMITS PRIOR TO STARTING WORK.
- IF THE CONTRACTOR, IN THE COURSE OF THE WORK, FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING, AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE STATE AND LOCAL GOVERNMENT AGENCY'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODE.
- NOTIFY THE CITY INSPECTOR TWENTY-FOUR (24) HOURS BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS, AND STAKES.
- ARCHITECTURAL PLANS ARE TO BE USED FOR BUILDING STAKE OUT.
- ALL DIMENSIONS ARE FROM FACE OF BUILDING, CURB, AND WALL UNLESS OTHERWISE SPECIFIED ON PLANS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATION.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE AND LOCAL GOVERNMENT AGENCY SPECIFICATIONS.
- STANDARD/HEAVY DUTY PAVEMENT AND CONCRETE SECTIONS SHALL FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY AMERICAN ENGINEERING TESTING, DATED JULY 29, 2024
- ALL CURB RADII SHALL BE 5' UNLESS OTHERWISE NOTED ON THE PLANS.
- LOWER LEVEL EXCAVATION REQUIRED TO BE COMPLETED BY CONTRACTOR.

SITE KEY NOTES

- S1 CURB AND GUTTER PER VIOC STANDARDS. REFER TO DETAIL ON C-7.0.
- S5 TAPER CURB TO MATCH EXISTING.
- S6 TAPER CURB FROM 6" TO 0" OVER 10'. REFER TO DETAIL ON C-7.0.
- S8 MATCH EXISTING PAVEMENT ELEVATION.
- S9 EXISTING PAVEMENT TO REMAIN.
- S10 ASPHALT/CONCRETE PAVING (PER PAVING PLAN)
- S11 HEAVY DUTY CONCRETE APRON OUTSIDE TRASH ENCLOSURE (PER PAVING PLAN)
- S13 CONCRETE SIDEWALK. REFER TO DETAIL ON C-7.0.
- S14 CONCRETE SEALER BY SIKKA: SIKAGARD H 1001 (3 COATS)
- S15 SIDEWALK RAMP @ 8.33% MAX. REFER TO DETAIL ON C-7.0.
- S17 MONUMENT / PYLON SIGN (PER ARCH. PLANS)
- S18 DUMPSTER ENCLOSURE (PER ARCH. PLANS)
- S19 BICYCLE RACK. REFER TO NOTE FOR NUMBER. REFER TO DETAIL ON C-7.0.
- S23 ADA ACCESSIBLE PARKING SPACE AND AISLE STRIPING & SYMBOL OF ACCESSIBILITY (TYPICAL-PER ADA AND LOCAL REQUIREMENTS). REFER TO DETAIL ON C-7.0.
- S24 ACCESSIBLE PARKING SIGN (TYPICAL-PER ADA AND LOCAL REQUIREMENTS) VAN ACCESSIBLE PARKING SIGN (TYPICAL-PER ADA AND LOCAL REQUIREMENTS). REFER TO DETAIL ON C-7.0.
- S26 DIRECTIONAL TRAFFIC ARROW (PER LOCAL CODES) REFER TO DETAIL ON C-7.0.
- S28 PARKING STALL STRIPING (PER LOCAL CODES)
- S35 TRANSFORMER PAD LOCATION (SEE UTILITY PLAN)
- S36 BOLLARD (SEE NOTE FOR NUMBER) REFER TO DETAIL ON C-7.0.
- S37 LIGHT POLE (TYPICAL-PER LIGHTING PLAN)
- S38 LANDSCAPE AREA (PER LANDSCAPE PLAN)
- S39 LANDSCAPE ISLAND (PER LANDSCAPE PLAN)
- S45 "DO NOT ENTER" PAVEMENT MARKING. REFER TO DETAIL ON C-7.0.
- S66 CONSTRUCTION CAMERA POST PER STD C-7.0.
- S67 SERVICE BELL HOSE. (PER ARCH PLANS).
- S72 TRASH ENCLOSURE CONCRETE PAD (PER ARCH. PLANS)

SITE DATA SUMMARY:

VALVOLINE TRACT:	0.638 ACRES/ 27,821 SF
ZONING	GB - GENERAL BUSINESS DISTRICT
BUILDING	1,462 SF
FAR:	1:10.4
LOT COVERAGE:	5.26% (1,462 SF)
PARKING REQUIRED:	8 (1 ACCESS. PARKING SPACES)
PARKING PROVIDED:	9 (1 ACCESS. PARKING SPACES)
PERVIOUS COVER:	11,778 SF
IMPERVIOUS COVER:	16,043 SF
REQUIRED BICYCLE PARKING	N/A
PROVIDED BICYCLE PARKING	2

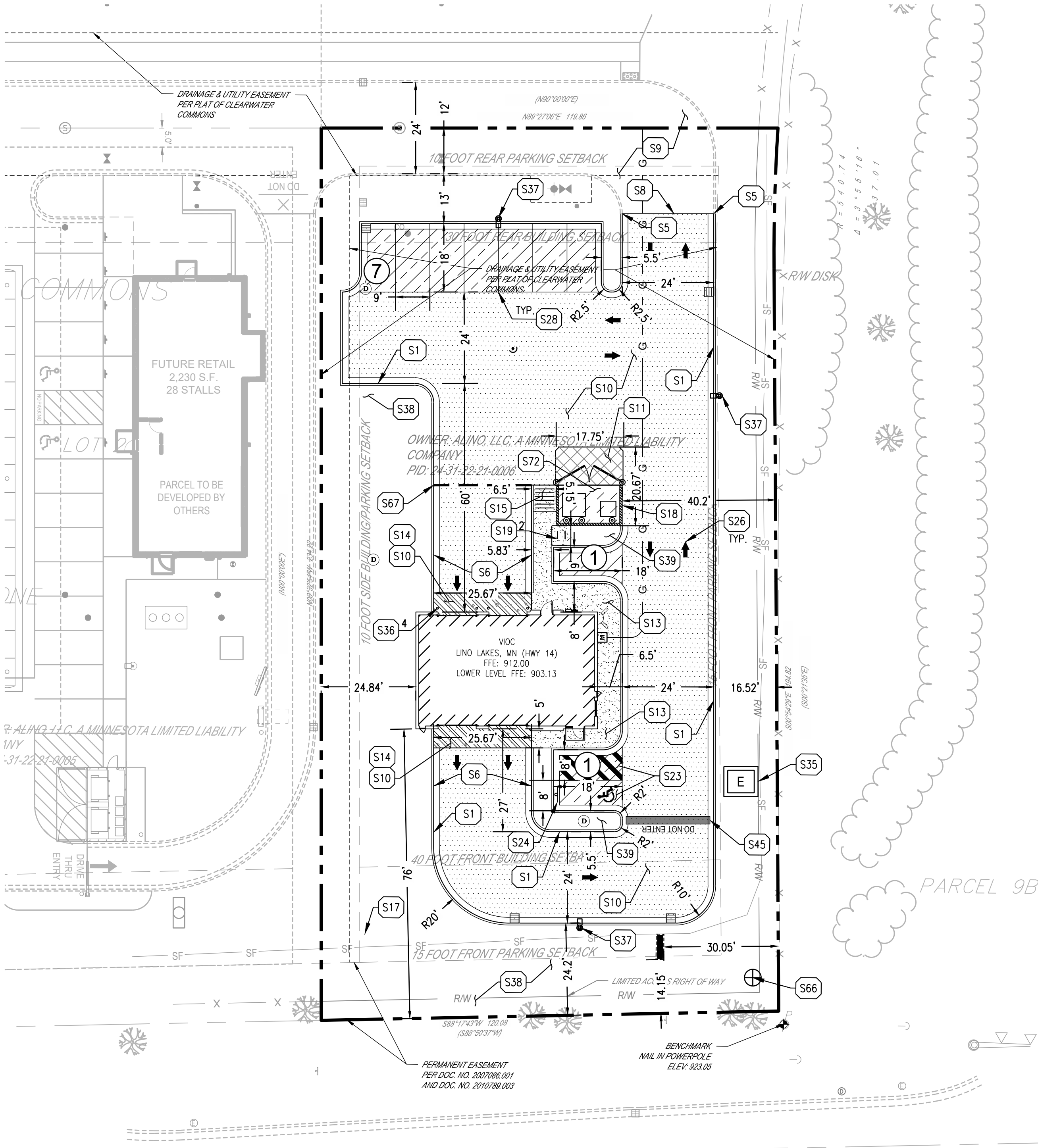
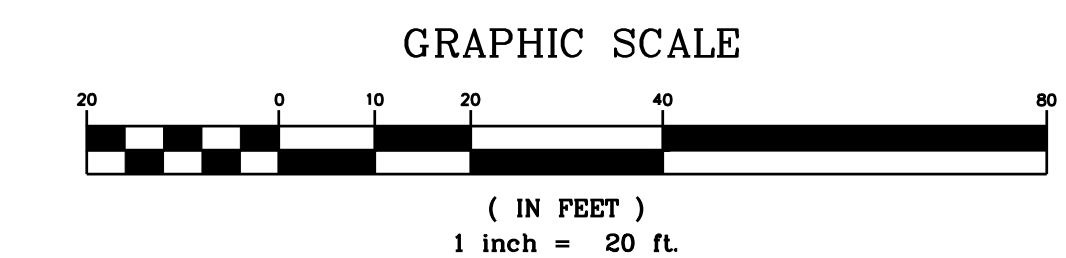


EXISTING LEGEND:

- RIGHT OF WAY
- PROPERTY LINE
- PROPERTY BOUNDARY
- EASEMENT
- CURB
- EDGE OF PAVEMENT
- EDGE OF WALK
- PAVEMENT MARKINGS
- GAS — GAS LINE
- SF — SF — SILT FENCE
- W — W — WATER LINE
- E — E — UNDERGROUND ELECTRIC
- T — T — UNDERGROUND TELE
- OHL — OVERHEAD LINE
- SAN — SAN — STORM SEWER
- SAN — SAN — SANITARY SEWER
- — — MAJOR CONTOURS
- — — MINOR CONTOURS
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ POWER/TELE POLE
- ⊕ POWER POLE
- ⊕ AIR CONDITIONER
- ⊕ ELECTRIC BOX
- ⊕ LIGHT POLE
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ STORM CATCH BASIN
- ⊕ STORM INLET BASIN
- ⊕ STORM MANHOLE
- ⊕ STORM CLEANOUT
- ⊕ SANITARY MANHOLE
- ⊕ SANITARY CLEANOUT
- ⊕ TRAFFIC MANHOLE
- ⊕ SIGN
- ⊕ TELEPHONE POLE

PROPOSED LEGEND:

- — — PROPERTY LINE
- — — PROPOSED CURB
- — — PROPOSED CURB & GUTTER
- — — PROPOSED FENCE
- ⊕ PROPOSED SITE LIGHT, SEE PHOTOMETRIC PLAN
- ⊕ PROPOSED DRAINAGE STRUCTURES (SEE GRADING/DRAINAGE PLANS)
- ⊕ PROPOSED PARKING SPACES
- — — PROPOSED RETAINING WALL
- — — PROPOSED EASEMENT LINE
- — — PROPOSED SAW CUT
- ⊕ PROPOSED SITE CONSTRUCTION CAMERA PER STD C-7.0
- ▨ PROPOSED DRIVEWAY ASPHALT PAVEMENT. REFER TO PAVING PLAN
- ▨ PROPOSED ASPHALT PARKING LOT PAVEMENT. REFER TO PAVING PLAN
- ▨ PROPOSED STANDARD DUTY CONCRETE PAVEMENT. REFER TO PAVING PLAN.
- ▨ PROPOSED CONCRETE SIDEWALK PAVEMENT. REFER TO PAVING PLAN.
- ▨ PROPOSED HEAVY DUTY CONCRETE APRON OUTSIDE TRASH ENCLOSURE. REFER TO PAVING PLAN.
- ▨ PROPOSED BLACK CONCRETE SEALER.
- ▨ PROPOSED TRASH ENCLOSURE CONCRETE PAD. REFER TO ARCH PLANS.



MAIN STREET (C.S.A.H. NO. 14)
RIGHT OF WAY PLAT NO. 75
ANOKA COUNTY HIGHWAY

FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: MINNESOTA UTILITIES PROTECTION SERVICE AT 811 OR 800-252-1166 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE





CESO

WWW.CESOINC.COM
3601 RIGBY ROAD, SUITE 300
MANSFIELD, OH 44842
PHONE: 937.435.8584 FAX: 688.208.4826

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Signature: _____

Date: _____ Registration No. 42586

PROFESSIONAL LICENSE NO.

42586

PROFESSIONAL IN CHARGE

JEFFREY ALAN TIBBITTS

PROJECT MANAGER

EW

QUALITY CONTROL

JS

DRAWN BY

JSM

PROJECT NAME



VALVOLINE
INSTANT
OIL CHANGE

LINO LAKES, MN
HWY 14

PROJECT NUMBER

767414

SHEET NAME

GRADING
PLAN

SHEET #

C-3.0

GENERAL GRADING/DRAINAGE NOTES:

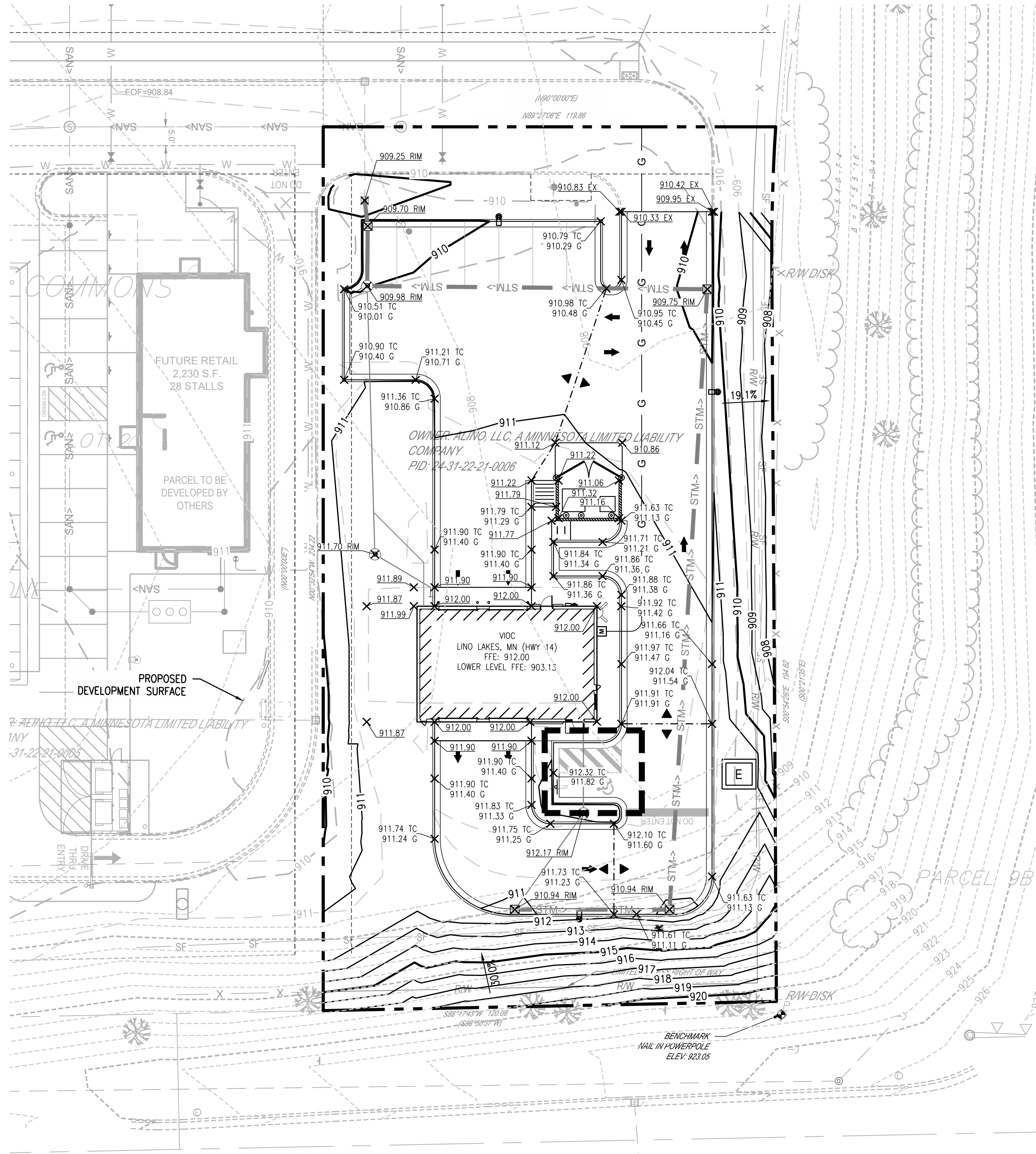
- ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE CITY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- PRIOR TO ANY EXCAVATION OF THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
- ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
- FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE INVERTS OF EXISTING UTILITIES FOR PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION.
- LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
- INSTALL SILT CONTROL MEASURES BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
- INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING.
- CUT AND FILL SLOPES SHALL HAVE A MAXIMUM SLOPE OF 2:1.
- ALL EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTION FILLS, AND THE FINAL SHAPING AND TRIMMING TO THE LINES AND GRADES SHOWN ON THE PLANS.
- ALL TREES, BRUSH, AND ORGANIC TOPSOIL AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED, AND DISPOSED OF AT AN OFF-SITE LOCATION, WITH THE EXCEPTION THAT ENOUGH TOPSOIL SHALL BE RETAINED FOR RESURFACING AND GENERAL LANDSCAPING. AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MAXIMUM DENSITY OF 95% AS DETERMINED BY THE MODIFIED AASHTO COMPACTION TEST IN THE PAVED AREAS AND 85% IN THE OTHER AREAS.
- STRIP AND STOCKPILE TOPSOIL. SPREAD FOUR (4) INCHES MINIMUM OF TOPSOIL ON LANDSCAPE AREAS AND REMOVE EXCESS TOPSOIL FROM SITE. PREPARE SUB-GRADE FOR PAVEMENT AND CURBS AND BACKFILL CURBS AFTER CURB CONSTRUCTION.
- PROVIDE SUPPLY OF TOPSOIL FOR LANDSCAPE CONTRACTOR FOR INSTALLATION IN ALL LANDSCAPE ISLANDS.
- PROVIDE AND INSTALL TOPSOIL IN DISTURBED AREAS TO BE GRASSED, TO INCLUDE PAVEMENT SHOULDERS AND DETENTION AREAS.
- ALL EARTHWORK AND BASE COURSE FOR THE PARKING AREA SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED LABORATORY DENSITY. CERTIFICATION SAID COMPACTION SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER, OR HIS/HER REPRESENTATIVE, PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. BOTH PROOF ROLLING AND COMPACTION TESTING MUST BE APPROVED AND WITNESSED BY THE ENGINEER OR OWNER REPRESENTATIVE.
- THE PAVEMENT SUBGRADE AND BASE COURSE MATERIAL SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OR OWNER REPRESENTATIVE PRIOR TO CONSTRUCTING THE BASE AND SURFACE COURSES THEREON.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO ALL INLETS AND CATCH BASINS. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REGRADING OR REPAIR TO MATCH ORIGINAL EXISTING CONDITIONS.
- SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A AND LOCAL REGULATIONS.
- STRUCTURES FOR STORM SEWERS SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AROUND THESE STRUCTURES, THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.
- CONFIRM INVERTS OF ALL EXISTING STORM INLETS AND SANITARY SEWER MANHOLES BEFORE COMMENCING CONSTRUCTION.
- ALL STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 TYPE III, UNLESS OTHERWISE SPECIFIED ON PLANS.
- A GEOTEXTILE MATTING (LANDLOCK TRM 450 OR EQUIVALENT) SHALL BE USED FOR EROSION CONTROL ON ALL SLOPES GREATER THAN 3H:1V.
- DRAINAGE STRUCTURES AND DETENTION POND SHALL BE MAINTAINED BY PROPERTY OWNERS.
- CONTRACTOR SHALL ADHERE TO PROPOSED GRADES ALONG CREEKS, ESPECIALLY IN THE AREA OF THE PROPOSED DETENTION POND. IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY PENALTIES INCURRED.
- ALL PROPOSED SPOT ELEVATIONS SHOWN INDICATE FINISHED GRADED ELEVATIONS AT EDGE OF PAVEMENT AND/OR GRADE BREAKS, UNLESS OTHERWISE NOTED.
- SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.
- LOWER-LEVEL EXCAVATION REQUIRED TO BE COMPLETED BY CONTRACTOR

EXISTING LEGEND:

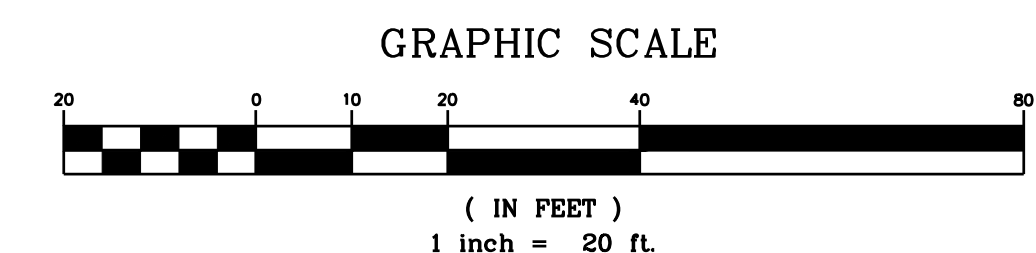
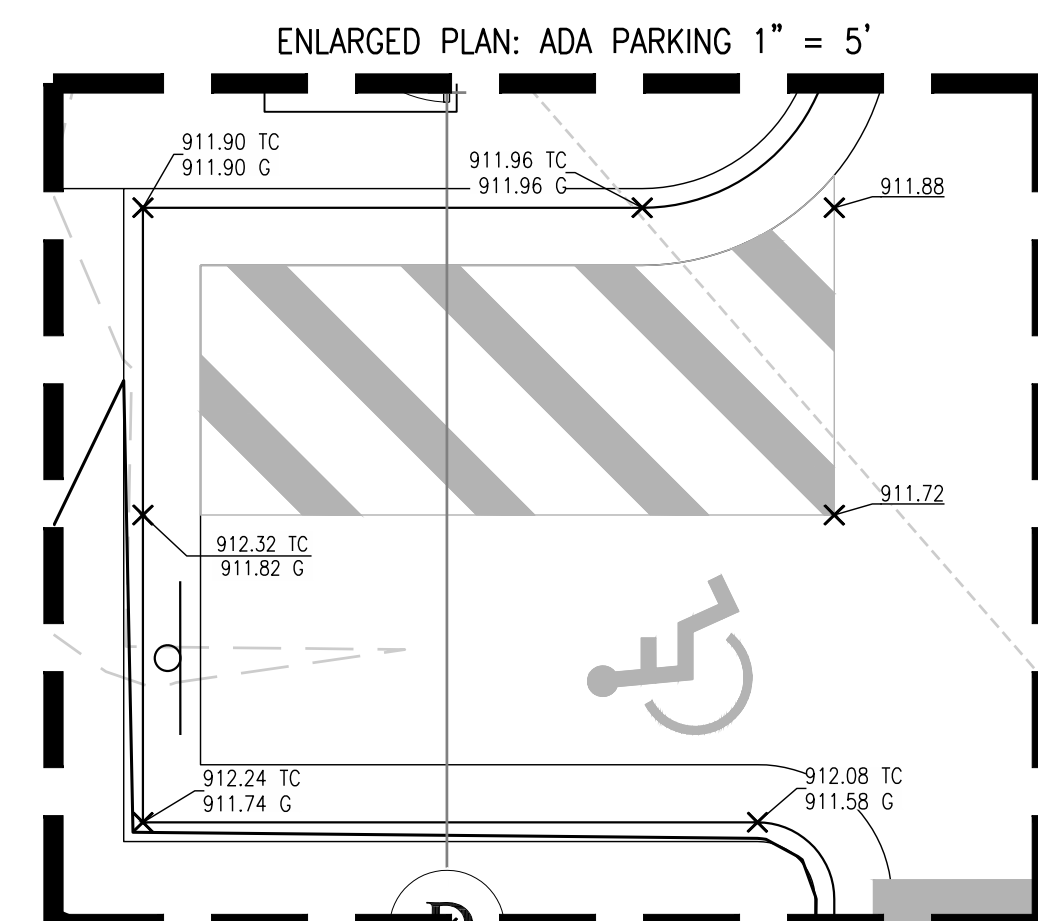
---	RIGHT OF WAY
- - -	PROPERTY LINE
- - - - -	PROPERTY BOUNDARY
- - - - -	EASEMENT
- - - - -	CURB
---	EDGE OF PAVEMENT
---	EDGE OF WALK
---	PAVEMENT MARKINGS
---	GAS
---	SF
---	W
---	E
---	T
---	OHL
---	SAN
---	STORM SEWER
---	SANITARY SEWER
---	MAJOR CONTOURS
---	MINOR CONTOURS
⊗	WATER METER
⊗	WATER VALVE
⊗	POWER/TELE POLE
⊗	POWER POLE
⊗	AIR CONDITIONER
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⊗	GAS METER
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⊗	STORM MANHOLE
⊗	STORM CLEANOUT
⊗	SANITARY MANHOLE
⊗	SANITARY CLEANOUT
⊗	TRAFFIC MANHOLE
⊗	SIGN
⊗	TELEPHONE POLE

PROPOSED LEGEND:

---	PROPERTY LINE
---	PROPOSED CURB & GUTTER
---	PROPOSED CURB
---	PROPOSED CONTOUR
---	PROPOSED STORM SEWER PIPE
---	DRAINAGE SLOPE AND DIRECTION
x	XXXX BW
x	XXXX TW
x	XXXX SW
x	XXXX FL (E)
x	XXXX FL (S)
x	XXXX RIM
x	XXXX EX
x	XXXX TC
x	XXXX G
x	BOTTOM OF WALL
x	TOP OF WALL
x	SIDEWALK ELEVATION
x	FLOW LINE (EAST)
x	FLOW LINE (SOUTH)
x	RIM ELEVATION
x	EXISTING SPOT ELEVATION
x	TOP OF CURB
x	GUTTER



MAIN STREET (C.S.A.H. NO. 14)
RIGHT OF WAY PLAT NO. 75
ANOKA COUNTY HIGHWAY



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DRAWN BY

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PROJECT NAME



VALVOLINE INSTANT OIL CHANGE

LINO LAKES, MN
HWY 14

PROJECT NUMBER

767414

SHEET NAME

UTILITY PLAN

SHEET #

C-6.0

GENERAL UTILITY NOTES:

- CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE NO CONFLICTS EXIST WITH PROPOSED IMPROVEMENTS. NOTIFY ENGINEER IMMEDIATELY IF UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE IF NEEDED IN CONFORMANCE WITH THEIR GUIDELINES.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE REMOVAL OF INDICATED UTILITIES ON SITE (SEE DEMOLITION PLAN). CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED FOR DEMOLITION AND HAUL OFF FROM THE APPROPRIATE AUTHORITIES.
- AUTHORIZATION MUST BE OBTAINED FROM THE CITY OF LINO LAKES AUTHORITY TO CONSTRUCT, ALTER OR MODIFY A WATER OR SEWER LINE. CONSTRUCTION OF WATER AND SEWER INFRASTRUCTURE WILL BE AUTHORIZED BY THE WATER SYSTEM UPON:
 - APPROVAL OF SUBMITTED PLANS.
 - NOTIFICATION OF THE WATER SYSTEM AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION.
- AT THE COMPLETION OF THE WATER AND/OR SEWER CONSTRUCTION AND PRIOR TO RECORDING THE FINAL PLAT, THE CONTRACTOR WILL FURNISH THE WATER SYSTEM INSPECTOR RECORD DRAWINGS OF THE PROJECT.
- BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE GAS COMPANY FOR THE CONSTRUCTION OF THE GAS LINE BETWEEN METER AND MAIN.
- BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY FOR THE CONSTRUCTION OF ELECTRICAL CONDUIT TO PROVIDE SERVICE TO THE TRANSFORMER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, PRIOR TO CONSTRUCTION, ALL EXISTING LOCATIONS AND INVERT ELEVATIONS OF SANITARY SEWERS, STORM DRAINAGE, AND WATER MAINS. IF ANY INVERT ELEVATION VARIES MORE THAN 0.1 FT. FROM RECORD ELEVATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. WORK SHALL NOT PROCEED UNTIL THE CONTRACTOR IS NOTIFIED BY THE ENGINEER.
- CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
- COORDINATE WITH BUILDING PLANS TO ASSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
- ALL SEWERS TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED IN STRUCTURES.
- ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH SHALL BE DISPOSED OFF THE SITE BY CONTRACTOR.
- COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
- ALL WATER LINES SHALL HAVE AT LEAST FOUR AND ONE HALF (4.5) FEET ABOVE GROUND COVER FROM THE TOP OF THE PIPE TO THE FINISHED GROUND SURFACE.
- ALL WATER LINES 2" OR SMALLER SHALL BE TYPE K-COPPER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING UTILITY LOCATES.

UTILITY KEY NOTES

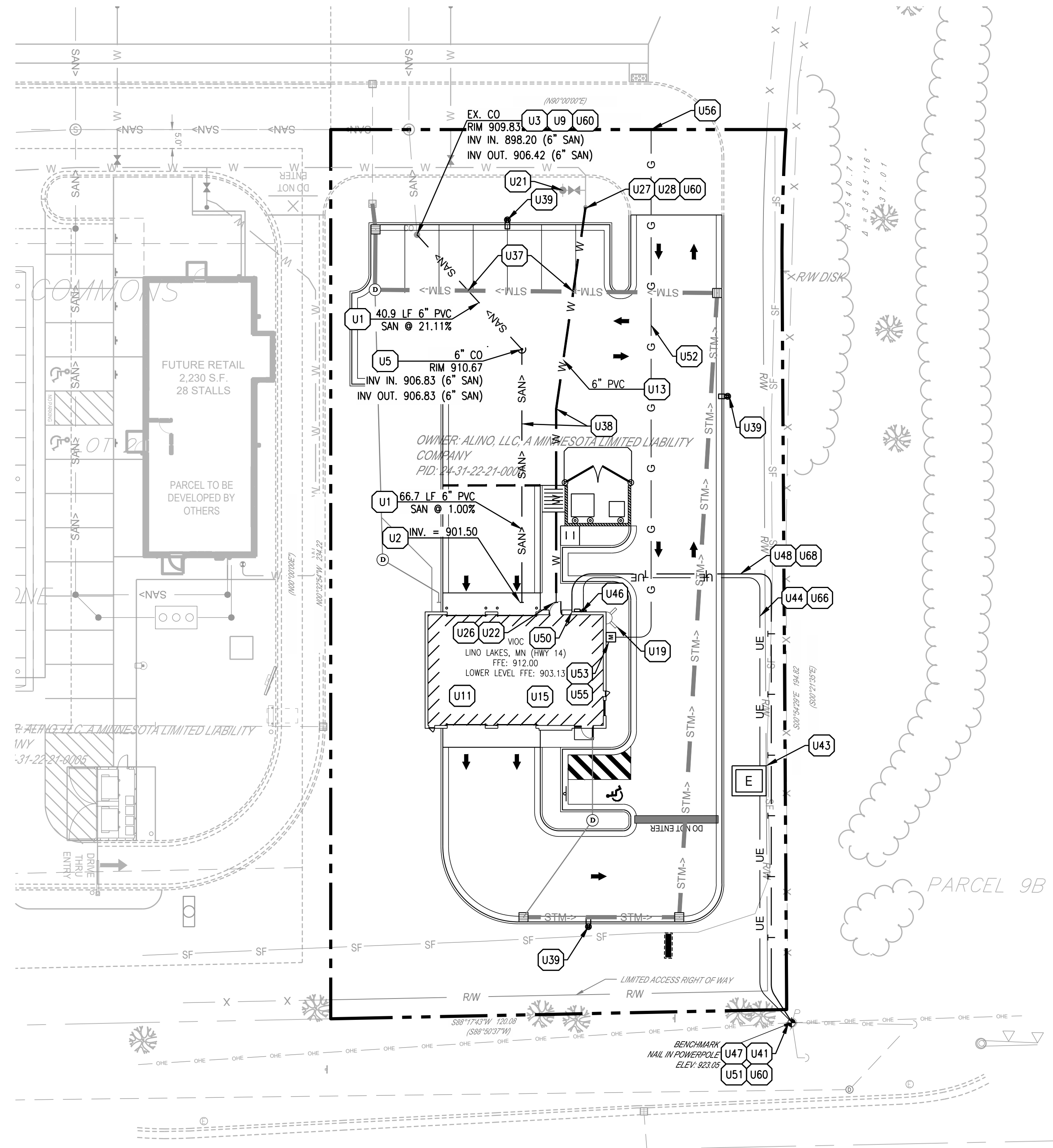
- U1 SANITARY SEWER (SEE NOTE FOR TYPE, SIZE AND SLOPE)
- U2 SANITARY SEWER POINT OF ENTRY (PER MEP PLANS)
- U3 SANITARY SEWER POINT OF CONNECTION
- U5 SANITARY SEWER CLEAN-OUT. REFER TO DETAIL ON C-7.1.
- U9 CONNECT TO EXISTING SANITARY CLEAN-OUT. EXISTING SANITARY CLEAN-OUT TO BE CONSTRUCTED BY DEVELOPER (CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION)
- U11 OIL-WATER SEPARATOR (PER MEP/ARCH. PLANS)
- U13 DOMESTIC WATER LINE (SEE NOTE FOR TYPE AND SIZE)
- U15 DOMESTIC WATER METER INSIDE BUILDING.
- U19 FIRE DEPT. CONNECTION ON BUILDING (PER LOCAL CODES) REFER TO DETAIL ON C-7.3.
- U22 BACKFLOW PREVENTER INSIDE BUILDING.
- U26 WATER LINE POINT OF ENTRY (PER MEP PLANS)
- U27 WATER LINE POINT OF CONNECTION
- U28 CONTRACTOR SHALL COORDINATE WITH WATER DEPARTMENT TO ENSURE THAT SERVICE IS NOT INTERRUPTED AT ANY TIME.
- U37 MAINTAIN MIN. 18" VERTICAL SEPARATION
- U38 MAINTAIN MIN. 10" HORIZONTAL SEPARATION
- U39 LIGHT POLE LOCATIONS (SEE LIGHTING PLAN FOR DETAILS)
- U41 EXISTING POWER POLE
- U43 PROPOSED ELECTRIC TRANSFORMER
- U44 UNDERGROUND ELECTRIC SERVICE
- U46 ELECTRIC SERVICE POINT OF ENTRY (PER MEP PLANS)
- U47 ELECTRIC SERVICE POINT OF CONNECTION
- U48 UNDERGROUND TELEPHONE SERVICE (INSTALL TWO 2" CONDUITS)
- U50 TELEPHONE SERVICE POINT OF ENTRY (PER MEP PLANS)
- U51 TELEPHONE SERVICE POINT OF CONNECTION
- U52 GAS SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY FOR THE INSTALLATION OF THE GAS SERVICE LINE.
- U53 GAS METER
- U55 GAS LINE POINT OF ENTRY (PER MEP PLANS)
- U56 GAS LINE POINT OF CONNECTION (TO BE DETERMINED)
- U60 CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- U66 ELECTRIC SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS. NO OTHER UTILITIES ALLOWED IN ELECTRIC DITCH. CONTRACTOR SHALL INSTALL TWO (2) - 4" SECONDARY CONDUITS FROM THE TRANSFORMER TO THE BUILDING. (SEE MEP PLANS).
- U68 TELEPHONE SERVICE LINE. CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY PRIOR TO ANY EXCAVATION OR INSTALLATION OF CONDUITS.

EXISTING LEGEND:

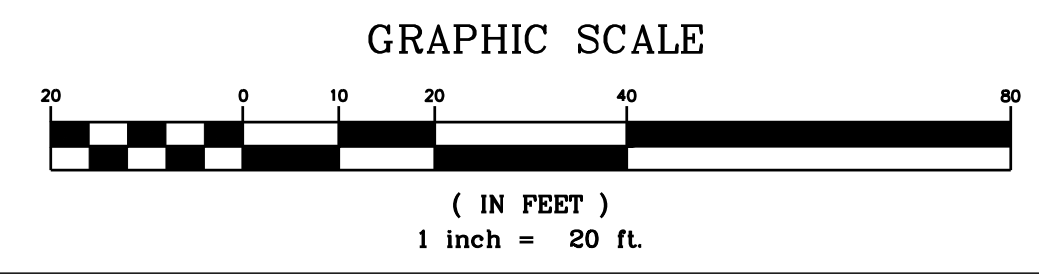
	RIGHT OF WAY
	PROPERTY LINE
	PROPERTY BOUNDARY
	EASEMENT
	CURB
	EDGE OF PAVEMENT
	EDGE OF WALK
	PAVEMENT MARKINGS
	GAS LINE
	SILT FENCE
	WATER LINE
	UNDERGROUND ELECTRIC
	UNDERGROUND TELE
	OVERHEAD LINE
	STORM SEWER
	SANITARY SEWER
	MAJOR CONTOURS
	MINOR CONTOURS
	WATER METER
	WATER VALVE
	POWER/TELE POLE
	POWER POLE
	AIR CONDITIONER
	ELECTRIC BOX
	LIGHT POLE
	GAS VALVE
	GAS METER
	STORM CATCH BASIN
	STORM INLET BASIN
	STORM MANHOLE
	STORM CLEANOUT
	SANITARY MANHOLE
	SANITARY CLEANOUT
	TRAFFIC MANHOLE
	SIGN
	TELEPHONE POLE

PROPOSED LEGEND:


	PROPERTY LINE
	PROPOSED CURB & GUTTER
	PROPOSED CURB
	PROPOSED RETAINING WALL
	PROPOSED EASEMENT LINE
	GAS LINES
	TELEPHONE LINES
	SANITARY SEWER LINES
	WATER LINES
	UNDERGROUND ELECTRIC LINES
	CLEAN OUT
	PROPOSED DRAINAGE STRUCTURES (SEE GRADING/DRAINAGE PLANS)
	WATER METER
	IRRIGATION METER
	RPZ/BFP
	WATER VALVE
	SEWER MANHOLE
	LIGHT POLES



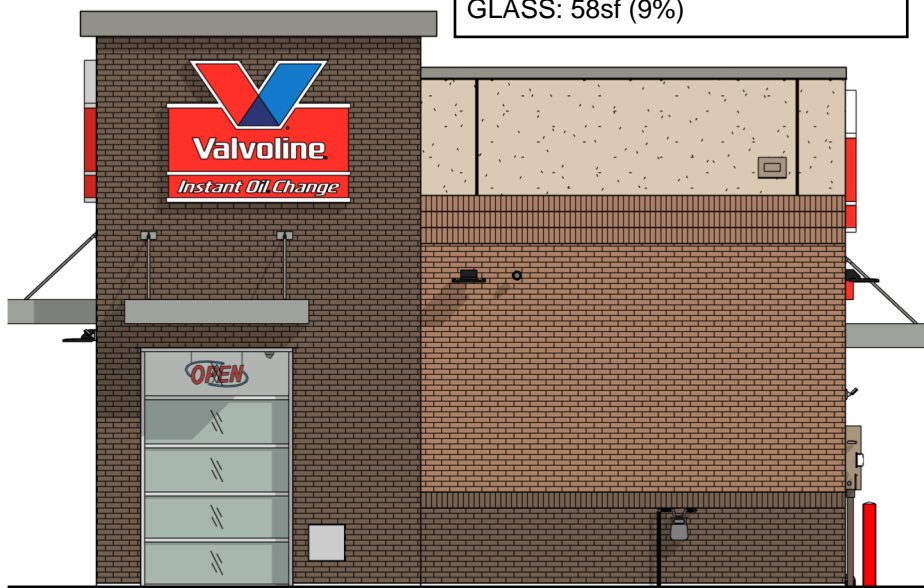
MAIN STREET (C.S.A.H. NO. 14)
RIGHT OF WAY PLAT NO. 75
ANOKA COUNTY HIGHWAY



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: MINNESOTA UTILITIES PROTECTION SERVICE AT 811 OR 800-252-1166 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

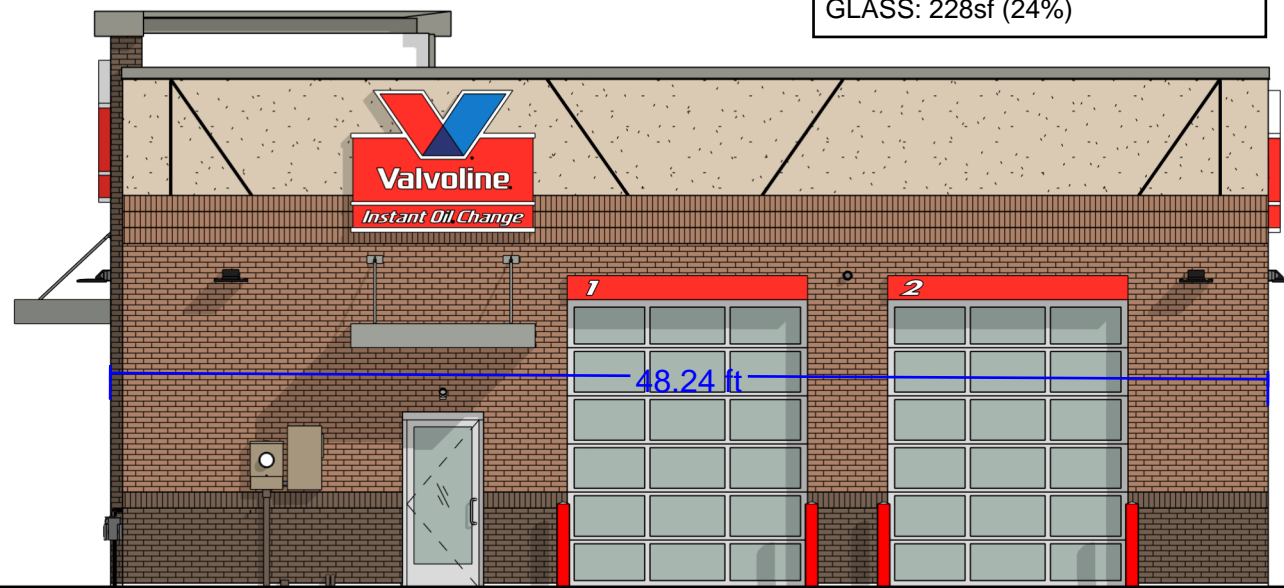


MATERIAL PERCENTAGES
 EIFS: 85sf (13%)
 BRICK: 528sf (78%)
 GLASS: 58sf (9%)



2 EXTERIOR ELEVATION (RIGHT) East
 Scale: 1/8" = 1'-0"

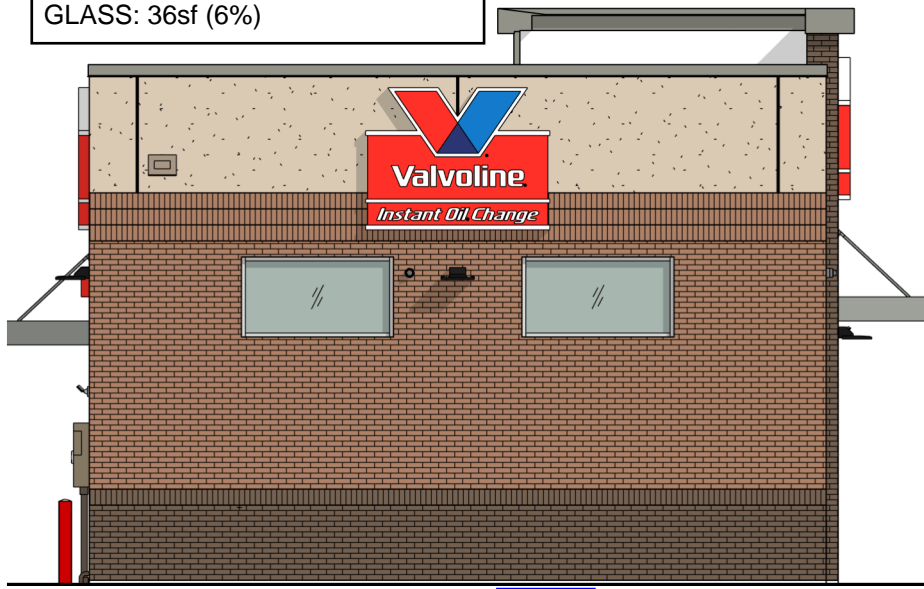
MATERIAL PERCENTAGES
 EIFS: 230sf (24%)
 BRICK: 489sf (52%)
 GLASS: 228sf (24%)



1 EXTERIOR ELEVATION (REAR) North
 Scale: 1/8" = 1'-0"

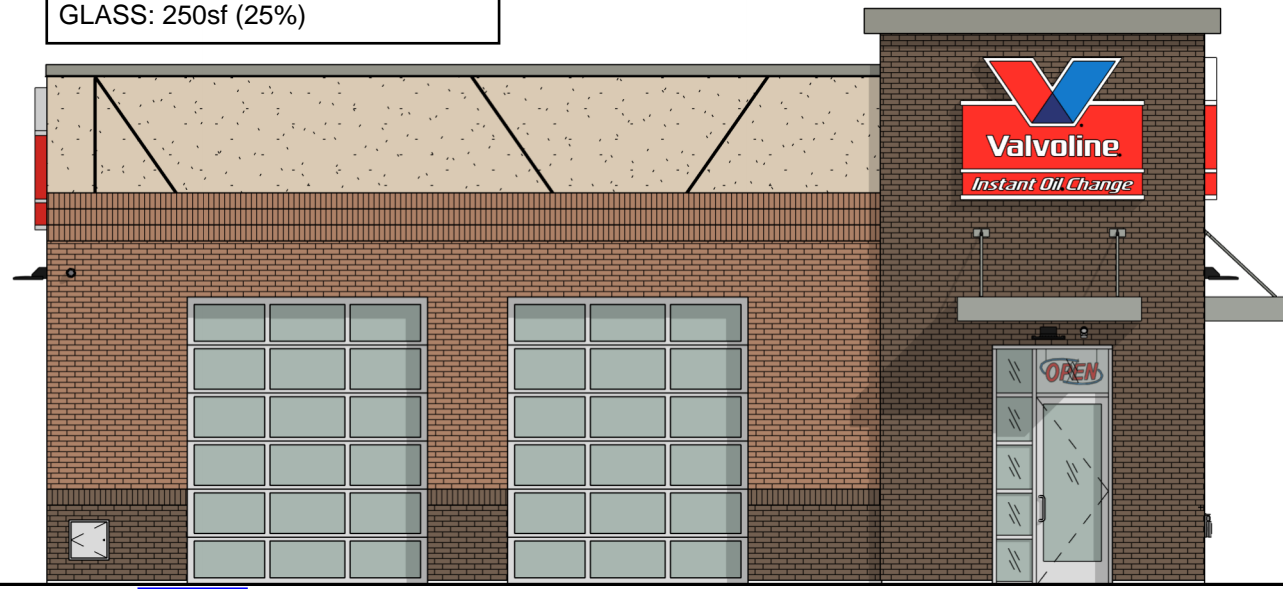
- T.O. TOWER ± 24' - 0"
- T.O. PARAPET ± 21' - 8"
- T.O. ACCENT BAND 14' - 0"
- B.O. ACCENT BAND 12' - 0"
- T.O. WAINSCOT 4' - 0"
- UPPER LEVEL 0' - 0"

MATERIAL PERCENTAGES
 EIFS: 148sf (23%)
 BRICK: 452sf (71%)
 GLASS: 36sf (6%)



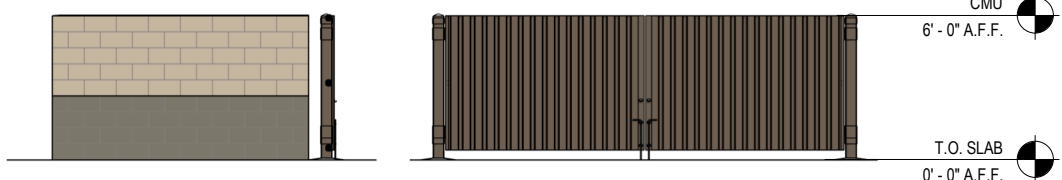
4 EXTERIOR ELEVATION (LEFT) West
 Scale: 1/8" = 1'-0"

MATERIAL PERCENTAGES
 EIFS: 168sf (17%)
 BRICK: 579sf (58%)
 GLASS: 250sf (25%)



3 EXTERIOR ELEVATION (FRONT) South
 Scale: 1/8" = 1'-0"

- T.O. TOWER ± 24' - 0"
- T.O. PARAPET ± 21' - 8"
- T.O. ACCENT BAND 14' - 0"
- B.O. ACCENT BAND 12' - 0"
- T.O. WAINSCOT 4' - 0"
- UPPER LEVEL 0' - 0"



5 TRASH ENCLOSURE ELEVATIONS
 Scale: 1/8" = 1'-0"

EXTERIOR FINISHES - BRICK / BRICK / CMU

EXTERIOR INSULATED FINISH SYSTEM:	DRYWIT (SANDPEBBLE FINE) COLOR #1: #113 AMARILLO WHITE	MASONRY SEALER:	ALL MASONRY SURFACES SHALL BE TREATED w/ SEALER.	STOREFRONT SYSTEM:	2x4 1/2" KAWNEER TRIFAB VG 451T SERIES CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM W/ 1" INSULATED GLAZING.
THIN BRICK #1 (WAINSCOT AND TOWER):	GLEN-GERY "MODULAR BAXTER BROWN WIRECUT"	PREFABRICATED METAL CANOPY:	AWNEX INC. "SEATTLE" DESIGN PREFINISHED TO MATCH PAC-CLAD "SILVER"	TRASH ENCLOSURE:	SPLIT FACE CMU FIELD PAINTED SHERWIN-WILLIAMS SW-7515 "HOMESTEAD BROWN" AND SW-2822 "DOWNING SAND". PROVIDE MOCK-UP AND VERIFY COLOR W/ OWNER.
THIN BRICK #2 (ABOVE WAINSCOT):	GLEN-GERY "MODULAR MT RUSHMORE"	PARAPET CAP FLASHING:	ALUMINUM BREAK METAL PREFINISHED TO MATCH PAC-CLAD "SILVER"	GATE SYSTEM:	FIELD PAINTED SHERWIN-WILLIAMS SW-7515 "HOMESTEAD BROWN". PROVIDE MOCK-UP AND VERIFY COLOR W/ OWNER.
MORTAR:	LEHIGH STANDARD KIT - "BEIGE"	TOWER SOFFIT AND FASCIA:	PAC-CLAD SNAP EDGE EXTENDED FASCIA (12-12") PREFINISHED TO MATCH PAC-CLAD "SILVER"	O.H. DOOR FINISH:	CLEAR ANODIZED ALUMINUM
		THRU-WALL SCUPPER:	ALUMINUM BREAK METAL - PREFINISHED TO MATCH DIMENSIONAL METALS, INC. - "BEIGE"	ACCESS PANEL:	STAINLESS STEEL

DATE	ISSUE RECORD
01/08/2026	OWNER REVIEW SET
01/12/2026	PERMIT SUBMITTAL

2BAY FLAT ROOF - BRICK / BRICK



Autodesk Docs://VIC Lino Lakes MN (Hwy 14)/VIC - Lino Lakes, MN (Hwy14)_RV124.rvt
 1/12/2026 11:22:05 AM



**SITE & BUILDING PLAN REVIEW
WORKSHEET**

PROJECT: Valvoline (Clearwater Commons) _____

DATE: January 16, 2026

REVISED: January 28, 2026

Planning & Zoning Board Date: February 11, 2026

City Council Date: March 9, 2026

To be addressed by applicant

ZONING/LAND USE

Zoning District	<u>GB</u>
Future Land Use Plan	<u>Commercial</u>
Sewered or Unsewered Lot	<u>Sewered</u>
CUP required?	<u>Yes</u>
Comprehensive Plan Amendment?	<u>No</u>
Rezoning required?	<u>No</u>
Variance required?	<u>No</u>

	Required	Proposed
Lot size (sf)	20,000	27,878
Lot width (ft.)	100	120

NOTES:

GB, General Business

CUP required for Automobile Repair-Major and Minor. Fast oil change is minor.

Setbacks-Main Street Right-of-Way

Principal Building-Major Collector or Arterial
 Parking Lot

Required	Proposed
40 ft	77 ft
15 ft	24.2 ft

Setbacks-Side Lot Line (West)

Principal Building
 Accessory Building
 Parking Lot

Required	Proposed
10 ft	24.84 ft
10 ft	62
10 ft	5ft

trash enclosure
 needs to be revised

Setbacks-Street Right-of-Way (I-35E)

Principal Building (Arterial)
 Accessory Building
 Parking Lot

Required	Proposed
40 ft	47
10 ft	40.2
10 ft	15

trash enclosure

Setbacks-Rear Lot Line (Private Driveway)

Principal Building
 Accessory Building
 Parking Lot

Required	Proposed
30 ft	128
5 ft	94
10 ft	25

13 ft from back of curb

From Residential Land Use
 Between Principal Buildings

Required	Proposed
35 ft	NA
TBD	NA

	Required	Proposed
Height	45 ft max	24' 0"

top of tower _____

Impervious surface restrictions

	Permitted	Proposed
	75% max	58%

GENERAL PROVISIONS

Building Type and Construction

Commercial _____

Accessory buildings or structures

Number of structures

	Required	Proposed
Number of structures	0	0
Size	400 sf	NA

Size

Refuse and recyclable materials enclosure

Yes _____

Outdoor lighting

1.0 ft candle allowance onto right of way
 0.4 ft candle allowance onto adjacent prop.
 Hooded lights

1.1
2.1
Yes

plan shall be revised
 plan shall be revised

	Required	Proposed
Light Fixture Pole Height	30 ft max.	27.5 ft

	Required	Proposed
Light Fixture Location		
Street ROW	10 ft	15 ft
Side or rear	5 ft	0 ft

Smoke, Dust, Odors, Noise	Minimal
Sewage Disposal (on-site)	NA
Waste material	Yes
Bulk storage (liquid)	No
Radiation emission	No
Electrical emission	No
Exterior storage	No

Typical construction activities.

Typical construction waste material will be property disposed of.

Off-Street Parking

	Required	Proposed
Angle of parking	NA	90
Space Width	9 ft	9 ft
Space Length	18 ft	18 ft
Aisle Width One Way	15 ft	NA
Aisle Width Two Way	24 ft	24 ft

Curb cut access 30 feet from ROW intersection	NA
Curb cut access onto public street 40 feet from one another	70
Curb cut/driveway access 5 feet from side yard	15

	Required	Proposed
Curb cut width	36 feet max.	24
Driveway grade elevation	5%	< 1%
Striping 4" wide	4"	4"

Continuous concrete perimeter curb barrier	Yes
6+ spaces shall be landscaped on all sides	Yes
50+ space parking lots require 100 sf island per 25 spaces	NA

	Required	Proposed
# space requirements	8	9
# handicap space requirements	1	1

Off-Street Loading Spaces NA

Only 9 spaces provided

Auto Repair: 4 spaces plus 2 spaces per service bay.
4 spaces + (2 spaces x 2 bays) = 4+4 = 8 spaces required

parking spaces will be used for temporary loading spaces

SPECIAL REVIEW REGULATIONS

Shoreland District	NA	
Floodplain District	NA	
Town Center Design & Development Guide	NA	
Industrial Park Covenants	NA	

EAW/AUAR COMPLIANCE

Does an EAW/AUAR exist?	Yes	2005 I-35E Corridor AUAR; updated 2025
Is an EAW/AUAR required?	No	
Is project in compliance?	Yes	The commercial building is consistent with all 3 AUAR Land Use Scenarios
Does EAU/AUAR need to be revised?	No	for commercial development

ADDITIONAL NOTES

See additional conditions listed in staff reports.

A separate Sign Permit application for all ground and/or building wall signs shall be submitted and approved prior to the construction or installation of any signage.

Memorandum

To: Katie Larsen, Lino Lakes City Planner
From: Diane Hankee PE, Lino Lakes City Engineer
Date: February 4, 2026
Re: Valvoline (Clearwater Commons)
Site and Building Plan Review
033167-000

WSB reviewed the Civil plans for the Valvoline site in Lino Lakes, MN, received January 27, 2026. The site is approximately 0.64 acres and located east of 21st Avenue and north of Main Street in the Clearwater Commons commercial development. Comments were made on the following documents:

- Valvoline (VIOC) – Civil Plans prepared by CESO, dated January 27, 2026.

The following review comments should be responded to in writing by the applicant. There are additional redline comments on the plan set that should be responded to as well. Not all redline comments are in the review memo.

Engineering

- **General**

The Valvoline site project proposes to create an approximate ~1,500 SF oil change facility which includes the associated parking lot, utilities, and landscaping. The site is located on Lot 3 Block 1 of the Clearwater Commons commercial development.

- **Grading**

A grading and drainage plan was provided for the site which included paved areas and curb, as well as the access to the private road to the north.

Comments:

1. Provide EOF elevations, locations and routes for all low points
 - a. Meet freeboard requirements with building lowest openings
2. See additional redline comments on plan sheets

- **Stormwater Management**

Stormwater management for the Valvoline site was included with the overall Clearwater Commons development and consists of collecting stormwater runoff with several catch basins and conveying it to an underground BMP on the west side of the site through an existing stub. The proposed site meets these requirements.

- **Water Supply**

A proposed 8" DIP CL 52" watermain stub is supplied to the site from the access road per the Clearwater Commons construction plans. The site proposes extending the water service south to a hydrant by the building. A 1" domestic service is tapped off of the line and serves the building.

Comments:

1. We recommend that the City Deputy Director of Public Safety-Fire Division review the proposed plan for water supply and hydrant coverage.
2. Call out all utility crossings
 - a. Provide minimum 18" separation between water and sewer
 - b. Insulate when separation between water and storm sewer is less than 36"
3. See additional redline comments on plan sheets

- **Sanitary Sewer**

A proposed 6" PVC Sanitary Sewer stub is supplied to the site from the access road per the Clearwater Commons construction plans. The site proposes extending the 6" sanitary to serve the building

Comments:

1. Sanitary sewer service inverts do not match from the building (901.5) to the sanitary sewer connection (898.1)
 - a. Pipe shown much shallower (~906)
 - b. Update to show service pipe at ~3% slope at ~10' depth
2. See additional redline comments on plan sheets

- **Transportation**

The Valvoline site proposes an access off of the proposed frontage road installed with Clearwater Commons.

Refer to the traffic study presented with the Clearwater Commons Preliminary Plat submittal for specific traffic assumptions.

Comments:

1. We recommend that the City Deputy Director of Public Safety-Fire Division review the proposed plan for emergency access.
 - a. Show Lino Lakes Pumper fire truck turning movements for Valvoline site
 - i. Similar submitted with Clearwater Commons development

- **Wetlands and Mitigation Plan**

The site is not proposing to impact existing wetland.

- **Landscaping**

The City's Environmental Coordinator to review landscaping and provide additional in-depth comments.

- **Floodplain**

No floodplain impacts are proposed on site.

- **Drainage and Utility Easements**

Existing drainage and utility easements provided with Clearwater Commons

Comments:

1. Existing utility (sanitary and water) easements to remain
2. No additional easements are required

- **Development Agreement**

A Development Agreement will not be required but a Site Performance Agreement will be.

- **Grading Agreement**

Grading agreement not required at this time.

- **Stormwater Maintenance Agreement**

The stormwater facilities will be privately maintained, and a Declaration for Maintenance of Stormwater Facilities is in place. Both the Rice Creek Watershed District (RCWD) and the City of Lino Lakes are parties to the Declaration.

- **Permits Required**

1. NPDES General Construction Permit
2. City of Lino Lakes Zoning Permit for construction
3. Rice Creek Watershed District (RCWD) (if necessary)

If you or the applicant have any questions regarding these comments, please contact Kris Keller at (612) 419-3083 or kkeller@wsbeng.com. You may also contact Diane Hankee at (651) 982-2430 or dhankee@linolakes.us.



Environmental Memo

To: Katie Larsen, City Planner

From: Tom Hoffman, Environmental Coordinator

Date: February 2, 2026

Re: Environmental Comments – Valvoline CUP

The Environmental Board recommended the following at their January 28, 2026 meeting:

1. Recommend replacing American Yellowwood with a MN native species. Yellowwood is tolerant and hardy within the zone, however there has been minimal planting and success of yellowwood in Lino. Native species should be prioritized.
2. An additional tree should be added to the foundation landscape planting. The 1.57X2= 3.2 and would require an additional large tree. Additional shrubs can be planted in lieu of the tree.
3. Provide a seeding or planting plan for open space not being landscaped. Symbol should be shown on the landscaping page.
 - a. Recommend using native plantings or low maintenance turf as a replacement to traditional turf grass.
4. Add note to BMP Maintenance that street sweeping of all impervious may be required at the discretion of the City engineer to reduce sediment tracking.
5. Copy of final NPDES permit will be required be issuance of grading permit. All requirements for the SWPPP shall meet MPCA design standards.
 - a. Coverage should be added under the Clearwater Commons permit for land disturbance.

**PLANNING & ZONING BOARD
AGENDA ITEM 6B**

STAFF ORIGINATOR: Katie Larsen, City Planner

MEETING DATE: February 11, 2026

TOPIC: **PUBLIC HEARING:** Harvest Grange
1. Rezoning
2. Preliminary Plat

CASE NUMBER: PZC2026-0001

APPLICANT: TCLD Land Holdings, LLC
Attn: Ben Schmidt and Christine Cook
4800 Olson Memorial Highway, Suite 100
Eden Prairie, MN 55344

OWNER: Rehbein Properties
James and Kathleen Nelson

INTRODUCTION

The applicant, Twin Cities Land Holding, LLC, is proposing a residential development in the southwest quadrant of CSAH 54 (20th Ave S) and Cedar Street. The development contains three (3) parcels totaling approximately 25 gross acres and 86 housing units.

Tentative Review Schedule:

Complete Application Date:	January 14, 2026
60-Day Deadline:	March 15, 2026
Environmental Board Meeting:	January 28, 2026
Park Board Meeting:	February 4, 2026
Planning & Zoning Board Meeting:	February 11, 2026
City Council Work Session:	March 2, 2026
City Council Meeting:	March 9, 2026 and March 23, 2026

BACKGROUND

The Land Use Application is for the following:

- Rezone property from R, Rural to R2, Two Family Residential and R-3, Medium Density Residential
- Preliminary Plat

This staff report is based on the following submittals:

- Applicant Narrative dated January 12, 2026
- Harvest Grange Plan Set prepared by Carlson Engineering dated January 2, 2026
- Land Use Plan prepared by Carlson Engineering save date January 8, 2026
- Net Area Exhibit prepared by Carlson Engineering dated January 7, 2026
- Traffic Study prepared by Transportation Collaborative & Consultants, LLC dated January 5, 2026
- Traffic Noise Assessment prepared by David Braslau Associates, Inc. dated January 6, 2026
- Geotechnical Exploration Report prepared by Haugo Technical Services dated December 16, 2025
- Rare Plant Survey Report prepared by Midwest Natural Resources dated July 14, 2025
- Stormwater Management Plan prepared by Carlson Engineering dated January 2, 2026
- Wetland WCA Joint Application prepared by Kjolhaug Environmental Services dated January 5, 2026

History

The Board and City Council reviewed a concept plan for this project in May/June 2025. The project was then referred to as the Nelson Rehbein Property. The concept plan was for 90 housing units (38 single family lots and 52 townhomes).

Current Proposal

The new development will consist of 31 single-family homes on 60ft wide lots and 55 townhomes for a total of 86 housing units. See the attached applicant's narrative for a detailed description of the project.

Land Use

The following table includes land uses, acres and %.

Land Use	Acres	%
Total ROW	4.09	16.4%
Wetlands	1.47	5.9%
Storm Ponds	1.89	7.6%
Public Open Space	5.50	22.0%
Private Open Space	2.39	9.6%
Private Open Space Roadway	0.11	0.4%
Total Lot Areas	9.53	38.2%
TOTAL	24.98	100.0%

Total open space (wetlands, storm ponds, public/private open space) is approximately 11.25 acres or 45%.

ANALYSIS

Existing Conditions

The site consists of three (3) existing parcels. The 11 acre Nelson parcel contains an existing house and accessory structures. The 14 acre Rehbein parcels have been used for agricultural purposes. A 30ft wide powerline easement exists along the west lot line. Wetlands, private ditch, and floodplain also exist on site.

Surrounding Zoning and Land Use

Direction	Zoning	Current Land Use	2040 Future Land Use
North	City of Centerville	Industrial	Industrial
South	R-1, Single Family Residential	Single family residential	Low Density Residential
East	R, Rural	Rural Residential	Medium Density
West	City of Centerville	Agriculture	City of Centerville

Comprehensive Plan

Land Use

Per the City’s 2040 Comprehensive Plan, the 25 acre site is guided medium density residential which requires 4.0-6.0 units per net acre.

The site is in Planning District 3. There are no specific planning goals or issues that need to be addressed for this site.

Density

The following chart details the density calculations using Met Council’s formula:

Gross Area (acres)	24.98
Wetlands & Water Bodies	(1.56)
Public Parks & Open Space	0.00
Arterial ROW	(0.78)
Other (Utility Transmission Easement)	(0.63)
Other (Wetland Buffer Area)	(1.06)
Other (Floodplain Mitigation)	(2.63)
Net Area (acres)	18.32
# of Units	86
Gross Density (units/acre)	3.44
Net Density (units/acre)	4.69

The site is guided medium density residential which requires 4.0-6.0 units per net acre. The proposed development is 4.69 units per net acre, which is consistent with land use and density requirements.

Growth Management Strategy

Page 3-17 of the 2040 Comprehensive Plan details the City’s Growth Management Strategy. The strategy works in conjunction with the City’s utility staging plan.

The City will plan to accommodate an annual average of 230 units per year over each 5-year phasing period not to exceed 345 units in any one year. From 2010 to 2025, the City’s average annual number of units is 120. This is less than the allowed 230 unit annual allocation.

The proposed 86 lot development would be consistent with the growth management strategy.

Current Zoning and Land Use

Current Zoning	R, Rural
Current Land Use	Agricultural and Rural Residential
Future Land Use per 2040 Comp Plan	Medium Density Residential
Utility Staging Area	Stage 1B (2025-2030)

Rezoning

The site is currently zoned R, Rural. The R, Rural zoning is a holding district until municipal water and sanitary sewer are available to the site and the property owner is interested in having the property developed.

The property will be rezoned R2, Two Family Residential for the 60ft wide single family lots and R-3, Medium Density Residential for the townhomes.

Lot and Setback Requirements

Per City Code Section 1007.112(1), land that is guided medium density residential may be zoned R-2. The following table analyzes the R-2 requirements for the 60ft wide single family lots.

60ft Single Family Lots	R-2 Requirements	Preliminary Plat
Min. Lot Size	7,500 sf	6,301 ^a – 14,966 sf
Min. Lot Width		
--Interior Lot	60 ft	60ft
--Corner Lot	80 ft	80 ft
Min. Lot Depth	125 ft	125 -145ft
--Double Frontage	135 ft	NA
Building Setback (ft)		
-From Streets	25 ft	25 ft
-Rear Yard		
--Principal	25 ft	25 ft
-Accessory	5 ft	5 ft
-Side Yard		
--Principal	10 ft	10 ft
--Accessory	5 ft	10 ft
Buffer Abutting Arterial St	15 ft wide	NA
Impervious Surface	65%	Evaluated w/ building permit

^aPer City Code Section 1001.098:

(1) *Area*. The minimum lot area, width and depth shall not be less than that established by the Lino Lakes Zoning Chapter in effect at the time of adoption of the final plat. Minimum lot area for urban lots shall consist of buildable land exclusive of utility transmission easements or water course easements that encumber lot development.

Staff Comments:

1. Lots 10-15, and Lot 23, Block 1 do not meet the minimum lot area requirements.
 - a. All lots within the development shall meet the minimum lot area requirements.

Per City Code Section 1007.113(1), land that is guided medium density residential may be zoned R-3, Medium Density Residential. The following table analyzes the R-3 requirements for the townhomes.

Townhomes	R-3 Requirements	Preliminary Plat
Min. Base Lot Size	24,000 sf	67,000-210,000sf
Min. Base Lot Width	100 ft	192 ft
Min. Unit Width	24 ft	26-31 ft
Min. Lot Depth	None	NA
Building Setback (ft)		
-From Arterial Streets (20 th Ave S)	40 ft	40 ft
-From Local Streets	30 ft	25 ft ^a
-Rear Yard		
--Principal	30 ft	15 ft ^a
-Accessory	5 ft	NA
-Side Yard		
--Principal	10 ft	10 ft
--Accessory	5 ft	NA
From Low Density Residential	35 ft	218 ft

Buffer From LDR or Arterial Street	20 ft	Landscape buffer provided
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^a Setback requirements shall be met.

Building Design Standards and Other Performance Standards

Building and architectural design standard review will be reviewed with each building permit. City Code Section 1007.043(2) details minimum building type and construction requirements for single family detached dwellings and townhouses. City Code Section 1007.112(4) details minimum R-2 building requirements. City Code Section 1007.113(4) details minimum R-3 building requirements. All building design standards and requirements shall be met.

Subdivision Ordinance

Blocks and Lots

The preliminary plat contains 88 single family residential lots, 55 townhome lots, two (2) townhome common lots and three (3) outlots. Outlots will contain wetlands, buffers, stormwater ponds etc.

Lot or Outlot	Ownership
88 single family lots	Private
55 townhome lots	Private
2 townhome common lots	HOA
Outlot A	HOA
Outlot B	HOA
Outlot C	City

Streets and Alleys

CSAH 54 (20th Ave S) is an A-Minor Arterial Reliever road. Sixty (60) feet of road right-of-way has been dedicated along CSAH 54 from the section line. Street A onto 20th Ave S. will be a right in/right out only public street. Internal streets have 60ft wide road right-of-way, are 32ft wide back to back, and have sidewalk on one side. Street D provides access to the lot to 6795 20th Avenue S. for future development. Future CSAH 54 (20th Ave S) street improvements may consist of a traffic control or roundabout near Cedar Street at such time the Street A right-in/right-out intersection may be eliminated.

City Code Section 1007.054 details Private Street requirements. Street C is a private streets for the townhomes. The street is 26ft back to back. Driveways are a minimum 25ft in length. An HOA shall will maintain the street.

Staff Comments:

1. The Heritage Avenue cul de sac cannot exceed 500ft and shall be revised.
2. Street D shall have a temporary cul de sac at the north end.
3. Street A shall be platted as public right-of-way.
4. Private Street C exceeds 150ft and shall provide a turn-around at or near its terminus.
5. The private street shall gain access from the public street and shall maintain the street drainage with concrete curb and gutter per City Standard Specifications for Construction. Private street access on urban and rural streets shall have at a minimum a five-foot bituminous or concrete apron. The remainder of the private street shall be designed, constructed and surfaced as approved by the City Engineer.
6. Street signs shall be designed and installed in compliance with City General Specifications and Standard Detail Plates.
7. Signage stating "No Parking - Fire Lane" shall be located along the private street in locations as approved by the City Fire Inspector.

Easements

Standard drainage and utility easements at least 10 feet wide are provided along all lot lines.

Staff Comments:

1. Drainage and utility easements shall also be dedicated over the outlots.

Stormwater Management and Erosion and Sediment Control

Per the City Engineer Memo dated February 4, 2026:

Stormwater management for the Harvest Grange site consists of a two sedimentation basins to provide rate control and water quality treatment. Additional grading is proposed for borrow material and floodplain fill mitigation. There is a significant amount of offsite flows from the east and south that will be passed through the site via an existing ditch system. Existing and proposed discharge rates are summarized below.

Pre- and Post- Development Discharge Rates (cfs)				
Condition	2-Year	10-Year	100-Year	10-Day Snowmelt
Existing	30.62	64.80	129.01	Needed if basins landlocked

Currently Proposed	11.84	28.74	67.10	Needed if basins landlocked
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Public Utilities

Public 8" watermain, 8" sanitary sewer, and storm sewer utilities will be installed within the development.

The site is in Sanitary Sewer District 3 (Sub-district 3D). Flow from these areas, including that from Centerville, is collected along East Cedar Street and conveyed east to MCES Meter M220 and Gravity Interceptor 802325.

The site is in Utility Staging Area 1A (2018-2025).

Per the City Engineer memo, the City's water system has the pumping capacity to supply the proposed project. However, due to the City's limited firm capacity each project is being evaluated on a case-by-case basis to determine its impact on the system's peak day demand. Based on this evaluation the projected use falls within our available firm capacity.

Yield Plan

A yield plan is not required because a PUD, Planned Unit Development is not being proposed.

Phasing Plan

Per the narrative, the site is anticipated to be massed graded in one phase.

Traffic Study

A Traffic Study was prepared by Transportation Collaborative & Consultants, LLC dated January 5, 2026. Per the study,

- The development is expected to generate:
 - 48 AM peak hour (12 in/36 out)
 - 57 PM peak hour (34in/23out)
- Total daily trip generation is 644.

The study area included the following intersections:

- 20th Avenue (CSAH 54) and Cedar Street
- 20th Avenue (CSAH 54) and Red Oak Lane
- 20th Avenue (CSAH 54) and Birch Street (CSAH 54)

Level of Service

Level of Service (LOS) is used to describe the operating conditions of an intersection. Facilities are given letter designations from “A” (best operating conditions) to “F” (worst conditions).

City Code Section 1001.013(2)(c), Premature Subdivision of the City’s Subdivision Ordinance establishes minimum Level Of Service (LOS) requirements. The ordinance states that if the LOS is A or B, the proposed subdivision shall not the degrade the LOS more than one grade. If the LOS is C or D, it shall not degrade the LOS. Intersections with a LOS of E or F must be improved to ensure a LOS of D or better.

20 th Ave (CSAH 54)	Existing LOS		2028 Full Build Peak Hour LOS	
	A.M. Peak	P.M. Peak	A.M. Peak	P.M. Peak
Intersection				
Cedar Street	A/B	A/B	A/B	A/B
East Access	NA	NA	A/B	A/B
Red Oak Lane	A/B	A/C	A/C	A/C
Birch Street	A/C	A/C	A/C	A/C

The proposed Levels of Service do not degrade by more than one (1) LOS; therefore, the subdivision is not considered premature.

CSAH 54 Corridor Study

Per the May 17, 2024 CSAH 54 Corridor Study prepared by Anoka County, future CSAH 54 road improvements include recommendations for roundabouts at Cedar Street and Birch Street. The study also identified potential future partial access right in/right out between Cedar Street and Red Oak Lane. The proposed development is consistent with the study.

Per Anoka County Highway Department memo dated February 3, 2026, the plat will introduce one new access point (one access in a temporary roadway easement) onto CSAH 54. This is acceptable as this right-in /right-out access is to be removed once a connection to Cedar Street can be made and a roundabout constructed at that location. Our preferred location for the access point is roughly centered between Cedar Street and Red Oak Lane, which is where this access is shown. A SB CSAH 54 right turn lane will be required to be constructed for the proposed right-in / right-out access.

Noise Study

A Traffic Noise Assessment was completed by David Braulau Associates, Inc. dated January 6, 2026.

Minnesota Rule 7030.0040 details noise standards for residential land uses:

	Daytime (7:00 am to 10:00 pm)	Nighttime (10:00 pm to 7:00 am)
L10	65 dBA	55 dBA
L50	60 dBA	50 dBA

L10 is the level exceeded 10% or 6 minutes of an hour. L50 is the level exceeded 50% or 30 minutes of an hour.

Seventeen noise receptor sites on buildings with direct exposure to noise from 20th Avenue have been evaluated and compared with the Minnesota noise standards for residential land uses. While predicted traffic noise levels exceed the nighttime residential standard at building facades closest to 20th Avenue, exceptions to the rules permit the commercial noise standards if a 30 dBA reduction in the exterior-to-interior sound level can be achieved with appropriate exterior façade design.

Staff Comments:

1. All townhome units in the two (2) buildings adjacent to 20th Avenue (CSAH 54) shall be constructed in such a way that the exterior to interior sound level attenuation is at least 30dB(A) as detailed in the noise study.
 - a. Window areas shall require a minimum STC 30 glazing.

Parks, Greenways and Trail Plan

Per Figure 10-2: Neighborhood Service Areas of the 2024 Comprehensive Plan, a future neighborhood park is programmed to the southwest of this site. Trails are not required per the park plan. Staff met with the City of Centerville and confirmed that a trail connection to Dupre Road was not feasible due to the potential wetland impacts and ditch crossing costs. The City will require cash in lieu of land dedication.

Tree Preservation and Landscaping

Per the January 28, 2026 Environmental Board staff report:

Tree Preservation and Mitigation Standards

The purpose of these standards is to protect valuable trees and stands of vegetation while not interfering with landowners' reasonable use and development of property. The goal is to minimize unnecessary loss of habitat, biodiversity, forest resources, and to replace removed trees in areas where tree cover is most critical.

A tree survey was completed as part of the proposal. 280 trees were inventoried on site, primarily consisting of ash, maple, and cotton wood. A total of 215 trees are shown for removal, with a mitigation requirement of 83 trees. The developer is proposing to replace with 90 trees, meeting the requirements, along with 53 required boulevard trees (143 total onsite).

Boulevard trees will be planted at a rate of one per lot, with the exception of corner lots getting a tree on each frontage. Townhomes are required to provide 1 tree per 70 LF of frontage. 31 lots including 2 corner lots will require 33 trees and 20 trees are required for the town homes (1,378/70). A total of 53 trees are being proposed as boulevard trees, meeting requirements.

Open Areas Landscape Standards

The purpose of these standards is to provide general site beautification and high aesthetic quality with a mix of plant materials in open areas. Open area landscape standards call for 1 large tree and 2 large shrubs per 2500 sf.

The site has 223,192 sf of proposed open space. This equates to 90 trees being planted in addition to required boulevard trees.

Buffer and Screen Standards

Screening consisting of 6' planting is required between residential uses and arterial or collector streets (20th Ave S). All planting screens shall require at a minimum a double row of plants with triangulated spacing.

Canopy Cover

Canopy cover requirements do not apply to single-family residential developments.

Foundation Landscaping

Foundation landscaping standards do not apply to single family residential development

Sod and Ground Cover Standards

All areas not otherwise improved in accordance with the approved site plans shall have a minimum depth of 4 inches of topsoil and be sodded including boulevard areas. Seed may be provided in lieu of sod in certain cases, including when the area is adjacent to natural areas or wetlands.

Low maintenance turf should be evaluated throughout the development. Ground covers should be drought resistant to reduce the need for irrigation use.

EQB Environmental Review

An Environmental Assessment Worksheet is not mandated. The 31 unattached units and 55 attached units are under the threshold required for a mandatory EAW.

Wetlands

A wetland report was completed by Kjolhaug Environmental Services on January 5, 2026, for the site. Eleven (11) wetlands were delineated onsite totaling 2.64 acres. The majority of the wetlands onsite are currently being farmed and disturbed annually. The vegetation is primarily agricultural crop and invasive grasses. Because of the existing high level of disturbance, minimal wetland vegetation and communities are found onsite. The wetlands are not within the Wetland Management Corridor. Drainage and utility easements will be dedicated over the outlots containing the wetlands.

The project is proposing to impact 0.86 acres of wetland. Wetland mitigation banking will be used to meet RCWD and USACE replacements.

Floodplain

The 2015 FEMA Floodplain Map indicates Zone A flood plain on site. The RCWD floodplain elevation is 901.18. Floodplain fill (2,764 cy) is being mitigated (16,333 cy) via the construction of stormwater ponds, borrow areas, and lake on site.

Staff Comments:

1. A FEMA CLOMR and LOMR shall be required.

Additional City and Government Agency Review Comments

- Anoka County Highway Department comments are attached.
- Centennial ISD#12 did not provide comments.
- Police Department reviewed the preliminary plat and had no concerns.
- Fire Department reviewed the preliminary plat and had no comments.
- City Engineer comments are attached.
- Environmental Coordinator comments are attached.
- Park Board reviewed on February 4, 2026 and recommended 100% cash in lieu of land dedication.

Neighborhood Meeting

The developer hosted a neighborhood meeting on Monday, February 9, 2026. Meeting minutes shall be provided.

Findings of Fact

Rezoning

The lots will be rezoned from R, Rural to R-2, Two-Family Residential and R-3, Medium Density Residential.

Per City Code Section 1007.015 (4):

(e) The Planning and Zoning Board shall hold the public hearing and consider possible adverse effects of the proposed amendment. Its judgement shall be based upon, but not limited to, the following factors:

1. The proposed action is consistent with the official City Comprehensive Plan.

The rezoning is consistent with the 2040 Comprehensive Plan.

2. The proposed action is or will be compatible with present and future land uses of the area.

The rezoning is compatible with present and future residential land uses of the area.

3. The proposed action conforms with all performance standards contained herein.

The Harvest Grange development conforms with all performance standards with minor revisions as noted.

4. The proposed action can be accommodated with existing public services and will not overburden the city's service capacity.

The Harvest Grange development can be accommodated with existing public services and will not overburden the city's service capacity

5. Traffic generation by the proposed action is within capabilities of streets serving the property as described in § [1007.020\(4\)\(d\)](#) of this chapter.

Traffic generated by the Harvest Grange development is within the capabilities of the streets serving the property.

Preliminary Plat

Per Section 1001.013, Premature Subdivision:

(1) *General.* Any concept plan, preliminary plat or final plat deemed premature pursuant to the following criteria shall be denied by the City Council.

(2) *Conditions for establishing a premature subdivision.* A subdivision may be deemed premature should any of the following conditions not be met.

(a) *Consistency with the Comprehensive Plan.* Including any of the following:

1. Land use plan;
2. Transportation plan;
3. Utility (sewer and water) plans;
4. Local water management plan;
5. Capital improvement plan; and
6. Growth management policies, including MUSA allocation criteria.

The Harvest Grange preliminary plat is consistent with the 2040 Comprehensive Plan.

(b) *Consistency with infill policies.* A proposed urban subdivision shall meet the city's infill policies:

1. The urban subdivision must be located within the Metropolitan Urban Service Area (MUSA) or the staged growth area as established by the city's Comprehensive Plan;
2. The cost of utilities and street extensions must be covered by one or more of the following:
 - a. An immediate assessment to the proposed subdivision;
 - b. One hundred percent of the street and utility costs are privately financed by the developer;
 - c. The cost of regional and/or oversized trunk utility lines can be financed with available city trunk funds; and
 - d. The cost and timing of the expenditure of city funds are consistent with the city's capital improvement plan.
3. The cost, operation and maintenance of the utility system are consistent with the normal costs as projected by the water and sewer rate study; and
4. The developer payments will offset additional costs of utility installation or future operation and maintenance.

The Harvest Grange preliminary plat is consistent with infill policies. The development is within the current Utility Staging Area 1A=2018-2025. The cost, operation and maintenance of the utility system is consistent with the normal costs projected by the water and sanitary system plans. No future utility costs are proposed.

(c) *Roads or highways to serve the subdivision.* A proposed subdivision shall meet the following requirements for level of service (LOS), as defined by the Highway Capacity Manual:

1. If the existing level of service (LOS) outside of the proposed subdivision is A or B, traffic generated by a proposed subdivision will not degrade the level of service more than one grade;
2. If the existing LOS outside of the proposed subdivision is C, traffic generated by a proposed subdivision will not degrade the level of service below C;
3. If the existing LOS outside of the proposed subdivision is D, traffic generated by a proposed subdivision will not degrade the level of service below D;
4. The existing LOS must be D or better for all streets and intersections providing access to the subdivision. If the existing level of service is E or F, the subdivision developer must provide, as part of the proposed project, improvements needed to ensure a level of service D or better;
5. Existing roads and intersections providing access to the subdivision must have the structural capacity to accommodate projected traffic from the proposed subdivision or the developer will pay to correct any structural deficiencies;
6. The traffic generated from a proposed subdivision shall not require city street improvements that are inconsistent with the Lino Lakes capital improvement plan. However, the city may, at its discretion, consider developer-financed improvements to correct any street deficiencies;
7. The LOS requirements in divisions (2)(c)1. to 4. above do not apply to the I-35W/Lake Drive or I-35E/Main St. interchanges. At city discretion, interchange impacts must be evaluated in conjunction with Anoka County and the Minnesota Department of Transportation, and a plan must be prepared to determine improvements needed to resolve deficiencies. This plan must determine traffic generated by the subdivision project, how this traffic contributes to the total traffic, and the time frame of the improvements. The plan also must examine financing options, including project contribution and cost sharing among other jurisdictions and other properties that contribute to traffic at the interchange; and
8. The city does not relinquish any rights of local determination.

The Harvest Grange preliminary plat meets the requirements for level of service (LOS). Existing roads and intersections have capacity to accommodate the proposed subdivision. The city does not relinquish any rights of local determination.

(d) *Water supply.* A proposed subdivision shall be deemed to have an adequate water supply when:

1. The city water system has adequate wells, storage or pipe capacity to serve the subdivision;
2. The water utility extension is consistent with the Lino Lakes water plan and offers the opportunity for water main looping to serve the urban subdivision;
3. The extension of water mains will provide adequate water pressure for personal use and fire protection; and

4. The rural subdivision can demonstrate that each of the proposed lots can be provided with a potable water supply.

The Harvest Grange preliminary plat will have an adequate water supply.

(e) *Waste disposal systems.* A proposed subdivision shall be served with adequate waste disposal systems when:

1. The urban sewerred subdivision is located inside the city's MUSA or is consistent with the MUSA allocation criteria;
2. The city has sufficient MUSA and pipe capacity to serve the subdivision if developed to its maximum density;
3. The subdivision will result in a sewer extension consistent with Lino Lakes sewer plan and capital improvement plan;
4. A rural subdivision can demonstrate that each lot can be served by an adequate sanitary sewer disposal system; and
5. A rural subdivision with a proposed communal sanitary sewer or water system has an effective long range management and maintenance program with proper financing.

The Harvest Grange preliminary plat will be served with an adequate waste disposal system.

RECOMMENDATION

Staff recommends approval of the Harvest Grange rezoning and preliminary plat with the following conditions:

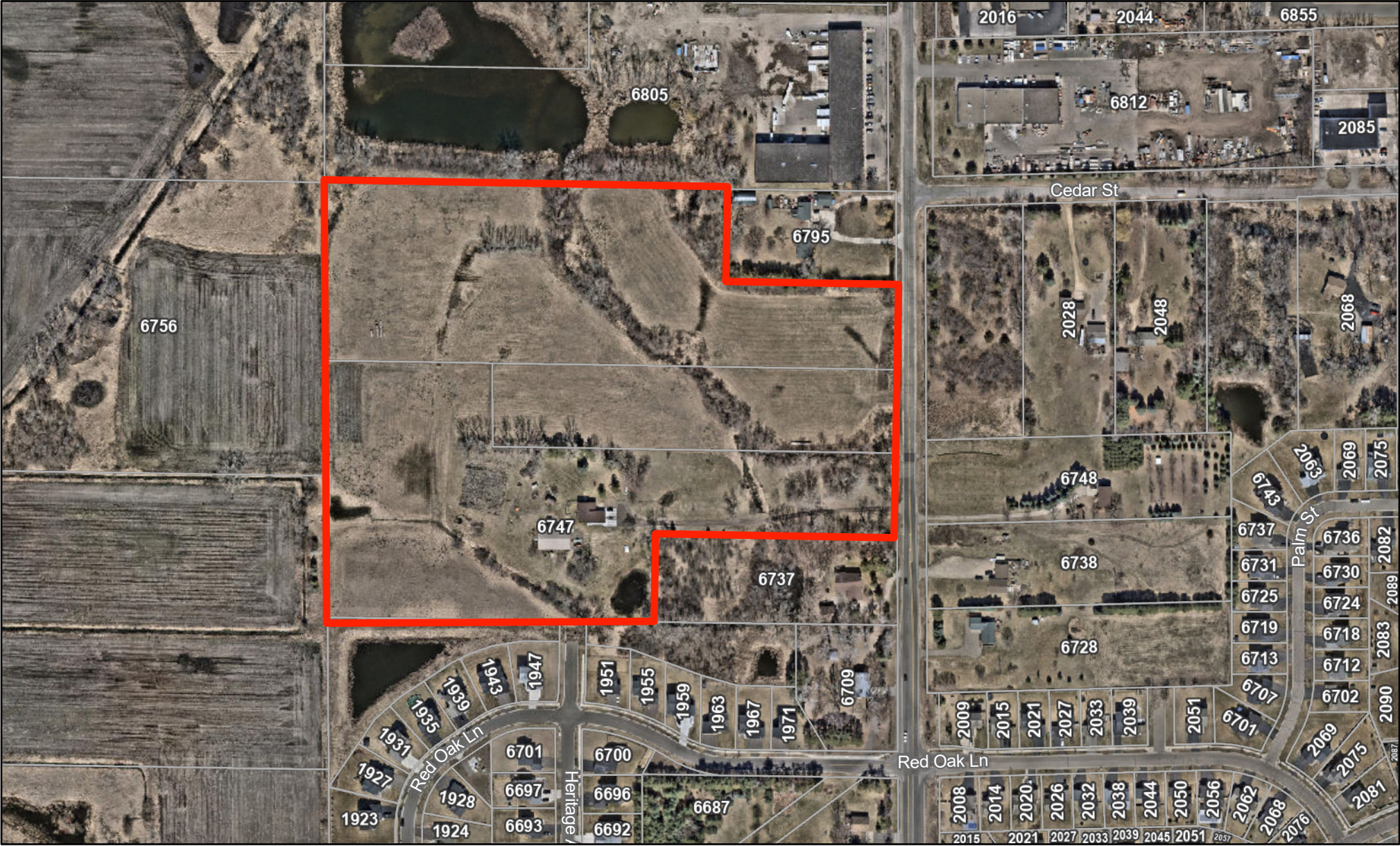
1. Outlots A and B shall be owned and maintained by an HOA.
2. Outlot C shall be owned and maintained by the City.
3. HOA documents shall provide language allowing Street C to extend north to serve potential future development at 6795 20th Avenue.
4. Lots 10-15, and Lot 23, Block 1 do not meet the minimum lot area requirements.
 - a. All lots within the development shall meet the minimum lot area requirements.
5. Local street right-of-way setbacks for the townhomes shall meet 30ft.
6. Rear lot line setbacks for the townhomes shall meet 30ft.
7. The Heritage Avenue cul de sac cannot exceed 500ft and shall be revised.
8. Street D shall have a temporary cul de sac at the north end.
9. Street A shall be platted as public right-of-way.
10. Private Street C exceeds 150ft and shall provide a turn-around at or near its terminus.
11. The private street shall gain access from the public street and shall maintain the street drainage with concrete curb and gutter per City Standard Specifications for Construction. Private street access on urban and rural streets shall have at a

- minimum a five-foot bituminous or concrete apron. The remainder of the private street shall be designed, constructed and surfaced as approved by the City Engineer.
12. Street signs shall be designed and installed in compliance with City General Specifications and Standard Detail Plates.
 13. Signage stating “No Parking - Fire Lane” shall be located along the private street in locations as approved by the City Fire Inspector.
 14. Drainage and utility easements shall be dedicated over the outlots and townhome common lots.
 15. All townhome units in the two (2) buildings adjacent to 20th Avenue (CSAH 54) shall be constructed in such a way that the exterior to interior sound level attenuation is at least 30dB(A) as detailed in the noise study.
 - a. Window areas shall require a minimum STC 30 glazing.
 16. A FEMA CLOMR is required with the final plat application.
 17. A LOMR will be required prior to issuing building permits for impacted lots within the floodplain.
 18. Meeting minutes from the neighborhood shall be provided.
 19. The developer shall submit to the City the MPCA SSTA Abandonment Reporting Form as proof that the private septic system has been properly removed.
 20. The developer shall submit to the City the MDH Well and Boring Sealing Record as proof that the private well has been properly capped.
 21. A legal description and exhibit of the rezoning areas shall be submitted.
 22. Sheet 3, Preliminary Plat:
 - a. Under Site Data-Minimum Townhome Setback Data: Revise to
 - i. Street Right-of-Way Setback
 1. Local = 30ft
 2. Arterial = 40ft
 - ii. Rear Lot Line = 30ft
 - iii. Side Lot Line = 10ft
 23. Sheet 1, Land Use Plan:
 - a. Add a date and revision date.
 - b. The Legend indicated Lake/Borrow Area but none is shown on the plan.

ATTACHMENTS

1. Site Location & Aerial Map
2. Applicant Narrative dated January 12, 2026
3. Harvest Grange Plan Set prepared by Carlson Engineering dated January 2, 2026
4. Land Use Plan prepared by Carlson Engineering dated January 8, 2026
5. Net Area Exhibit prepared by Carlson Engineering dated January 7, 2026
6. City Engineer Memo dated February 4, 2026
7. Environmental Coordinator Memo dated February 2, 2026
8. Anoka County Comments dated February 3, 2026

Site Location and Aerial Map-Harvest Grange



1 in = 300 Ft

Address Labels

Parcels





HARVEST GRANGE

PRELIMINARY PLAT & REZONING SUBMITTAL NARRATIVE

LINO LAKES, MN

JANUARY 12, 2026

DEVELOPMENT TEAM

Developer/Contract Buyer: TCLD Land Holdings, LLC

Ben Schmidt, President
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Civil Engineer/Surveyor: Carlson Engineering

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3890 Pheasant Ridge Drive NE
Blaine, MN 55449

Legal: Mark Radke
MRadke@Felhaber.com

GENERAL DESCRIPTION OF REQUEST:

TCLD Land Holdings, LLC respectfully submits plans for a new residential subdivision located directly west of 20th Avenue S (CSAH 54), between Cedar Street and Red Oak Lane.

Entitlements Requested:

- Rezoning: Parcels 26-31-22-11-0008 (Nelson), 26-32-22-11-0005 (Rehbein), and 26-31-22-11-0009 (Rehbein) from R-Rural to:
 - R-2, Two-Family Residential for single-family homes
 - R-3, Medium-Density Residential for attached townhomes
- Preliminary Plat: Subdivision of 5 to 40 acres

The proposed development will create eighty-six (86) residential lots, supported by full public infrastructure, including city water and sewer. Mass grading will be performed to prepare the site for construction, and the design provides a mix of single-family homes and townhomes to meet the community's housing needs while maintaining neighborhood compatibility.

This project reflects thoughtful planning and design, balancing density, infrastructure capacity, and community character to provide a high-quality residential development.

EXISTING SITE INFORMATION/DESCRIPTION:

LEGAL DESCRIPTION

The north 401 ft. of the NE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 26, Township 31, Range 22, except the north 208.7 ft. of the east 417.42 ft. thereof. Subject to any easements of record.

The east 944 Ft. of the south 688 Ft. of the north 589 ft. of the E $\frac{1}{2}$ of Section 26, Township 31, Range 22. Subject to any easements of record.

That part of the E $\frac{1}{2}$ of the NE $\frac{1}{4}$ of Section 26, Township 31, Range 22 described as follows, Commencing at the SE corner of said E $\frac{1}{2}$, thence northerly along the the east line of said E $\frac{1}{2}$, 1,865 ft. to the point of beginning. Thence westerly, parallel with the south line of said E $\frac{1}{2}$, 578 ft., thence southerly, parallel with said east line 200 ft., thence westerly parallel with said south line 739.7 ft. +/- to the west line of said E $\frac{1}{2}$, thence northerly along said west line 579 ft. +/- to the south line of the north 401 ft. of said East $\frac{1}{2}$, thence easterly along said south line of the North 401 ft. 375.5 ft. to the west line of the East 944 ft. of said West $\frac{1}{2}$, thence southerly along said west line 944 ft., 188.04 ft. to the south line of the North 589 ft. of said E $\frac{1}{2}$, thence easterly along said south line of the North 589 ft., 944.18 ft. to the east line of said East $\frac{1}{2}$, thence southerly along said east line 187.88 ft. to the point of beginning. Except road. Subject to any easements of record. Anoka county, Minnesota.

ADDRESS: 6747 20th Avenue (Nelson parcel), Lino Lakes, MN 55038 / Unassigned (Rehbein parcels)

CITY/COUNTY: City of Lino Lakes, Anoka County

PARCEL ID NUMBERS: 26-31-22-11-0008 (Nelson); 26-32-22-11-0005 (Rehbein); 26-31-22-11-0009 (Rehbein)

TOTAL SITE AREA: Approximately (24.98) acres

EXISTING ZONING: R - Rural

PROPOSED ZONING: R2 – Two Family Residential & R3 – Medium Density

EXISTING CONDITIONS:

The site is comprised of three (3) land parcels, including one (1) single-family home located on the southern portion of the site (the Nelson parcel), a wooded swale running through the central portion of the property, and agricultural fields occupying the remainder of the site.

The land parcel currently owned by the Nelson family was acquired by Jim Nelson in 1987. Shortly thereafter, construction of the single-family residence began. Historically, the property had been vacant agricultural land prior to Mr. Nelson’s purchase. A pole barn was constructed on the property in 1995, and Mr. Nelson currently resides at the site.

The two (2) remaining parcels are owned by the Rehbein family and were purchased in 2008. No structures or dwellings have been constructed on either parcel. Both parcels have been continuously utilized for agricultural purposes, specifically for hay production.

The site is located immediately west of 20th Avenue South (County Road 54), is bordered by the Nadeau Acres residential neighborhood to the south, agricultural fields and floodplain to the west, and an industrial building, wetland, and floodplain to the north. Its northern and western boundaries align with the Lino Lakes–Centerville municipal boundary. The current zoning designation for all three (3) parcels is R – Rural.

LOT SIZES, SETBACKS & DENSITY:

The 2040 Future Land Use Map displays this area as medium density residential that allows for 4.0 to 6.0 units per acre. We are proposing R2 – Two Family Residential for the 60’ single-family lots, and R3 – Medium Density for the multi-unit townhomes and a private street to meet the allowed density requirement. Per the net area exhibit, the net density is 4.69 units per net acre. The Harvest Grange Preliminary Plat displays a total of eighty-six (86) residential lots that consist of the following:

- (31) 60’ Single-Family
- (55) Attached Townhome

Below is a summary of the proposed lot standards and setbacks:

Townhome Unit Configuration:

(4) Unit, (5) Unit & (6) Unit Buildings

Townhome Setbacks

Front – 30 feet

Side - Between Townhome Buildings – 20 feet

Side Corner – 25 feet

Townhome Building Pad Types:

Slab on Grade (SOG)

Single Family Setbacks:

Front – 25 feet

Rear – 25 feet

Side Yard – 10 ft Garage, 10 ft Dwelling

Side Corner – 20/25 feet

Single Family Building Pad Types:

Walkouts (WO)

Lookouts (LO)

We believe the proposed development plan is consistent with the City of Lino Lake’s goals for these parcels.

SANITARY SEWER AND WATERMAIN:

The proposed development will connect to the existing public sanitary sewer system serving the Nadeau Acres development to the south. This sanitary stub is directed at an existing lift station that was designed and constructed to accommodate the Harvest Grange development. Public watermain connections will be made at the existing connection to Nadeau Acres, as well as along 20th Avenue S. to provide a watermain loop.

STREET and SIDEWALKS:

Public street connections are proposed to serve the development, including a connection to the Nadeau Acres neighborhood via the provided street stub and a connection to 20th Avenue South (CSAH 54). The connection to 20th Avenue South will include the required turn-lane and roadway improvements requested by Anoka County and the City of Lino Lakes.

An interior private drive will be constructed to serve two (2) of the ten (10) multi-unit town homes. This private drive is proposed to have a future connection to the parcel directly north of the site, as shown in the Ghost Plat. The length of the private drive will not exceed three hundred (300) feet. Upon future development of the northern parcel, the private drive is intended to connect and

loop back to a public street. The private drive will be constructed in compliance with the City of Lino Lakes General Specifications and Standard Details.

A public ROW easement will be provided for the east-west street that connects to 20th Ave. S.

Sidewalks are proposed along one side of all public streets within the Preliminary Plat, with the exception of the interior private drive serving two (2) of the townhome buildings. The proposed sidewalk system will provide pedestrian connectivity to the Nadeau Acres neighborhood to the south via the extension of Heritage Avenue.

Below is a summary of the proposed roadway widths and linear footage:

Linear Footage:

Total Road Linear Length – Approximately 2,595 L.F

- Public Streets – Approximately 1,910 L.F
- Private Drives – Approximately 685 L.F

Proposed Right-of-Way (ROW):

Internal ROW – 60’ feet

Private Road – 24’ feet back-to-back

Cul-de-sac ROW – 60’-foot min. radius

TRAFFIC STUDY:

A traffic study was completed by Matt Pacyna, PE, of Transportation Collaborative & Consultants, LLC on January 5, 2025. The purpose of the study was to evaluate existing traffic conditions within the study area, analyze anticipated traffic impacts associated with the proposed development, and determine whether roadway or operational improvements would be necessary to maintain safe and efficient traffic operations.

The study concludes that all analyzed intersections and roadway approaches are expected to operate at acceptable Levels of Service during peak-hour conditions with the proposed development in place. The proposed development and access locations are consistent with the recommendations of the recently completed CSAH 54 Corridor Study.

The traffic study was prepared in accordance with the requirements of the Lino Lakes City Code and was coordinated with Anoka County.

TRAFFIC NOISE ASSESSMENT:

A Traffic Noise Assessment was prepared by David Braslau Associates on January 6, 2026, to evaluate potential traffic noise impacts from CSAH 54 on the proposed Harvest Grange residential development. The purpose of the assessment was to determine whether the project complies with the Minnesota State Noise Standards or whether mitigation measures are necessary under Minnesota State Rules to achieve compliance.

The Stamina traffic noise model was utilized to estimate daytime (PM) and nighttime (AM) sound levels at assumed receptor locations corresponding to proposed residential building sites on the property.

As noted in the Executive Summary on page 2 of the assessment, all residential units included in this assessment can be brought into compliance with state noise standards through the installation of appropriately rated Sound Transmission Class (STC) windows.

STREETLIGHTS:

The streetlight style will be standard light fixtures offered by the utility provider. Proposed locations will be provided with final construction plans.

MASS GRADING:

The site is anticipated to be mass graded in one phase, in accordance with the City of Lino Lake's specifications and guidelines. The proposed grading will maintain drainage patterns similar to existing conditions.

RICE CREEK WATERSHED DISTRICT (RCWD):

An application was submitted to the Rice Creek Watershed District (RCWD) on Tuesday, January 5, 2026, for Stormwater Management, Erosion and Sediment Control, Floodplain Alteration, and Wetland Alteration. An email confirmation was received from RCWD on January 8, 2026, indicating that the permit application was deemed complete. The application is currently slated for review on February 25, 2026, RCWD Board Meeting.

STORMWATER MANAGEMENT:

This site will comply with all applicable requirements for the City of Lino Lakes and Rice Creek Watershed District stormwater management rules. Streets, driveways, sidewalks, the fronts of houses are all directed towards a water quality feature. All ponding and water quality features have been designed per city and watershed regulations. Site runoff rates have been reduced for all modeled rain events.

The City of Lino Lakes will assume ownership of the stormwater quality pond, and structures within those ponds/basins at full buildout. Ponds will be maintained, owned, and utilized by the townhome association for their proposed irrigation water reuse system. Drafted Quit Claim deeds were provided for City consideration and feedback.

FLOODPLAIN MITIGATION:

The floodplain elevation for this site was provided by RCWD. Per the floodplain exhibit, all floodplain fills will be mitigated for within borrow areas and ponding. The FEMA flood line in general follows the flood elevation provided by RCWD. The FEMA floodplain will be removed

from lots as feasible with a LOMR-F application. This will occur once grading activities are completed and elevations can be certified.

Below is the floodplain summary per Rice Creek Watershed District Model and as depicted in the floodplain Exhibit F1:

Floodplain Summary

- North Floodplain Fill = 378 CY
- North Floodplain Mitigation = 12,686 CY
- West Floodplain Fill = 2,386 CY
- West Floodplain Mitigation = 3,647 CY

WETLAND:

Kjolhaug Environmental Services prepared two wetland reports. A Wetland Delineation Report for the two Rehbein parcels was completed on October 19, 2021. A separate Wetland Delineation Report for the Nelson parcel was completed on May 13, 2025.

The summary below from the Wetland Buffer Exhibit reflects the combined wetland impacts associated with all three (3) parcels. The identified impacts are primarily related to proposed street alignments and roadway connections.

Wetland Summary:

Wetland Fill (WCA): 21,017 SF (0.48 acres)
Wetland Fill (USACE): 16,273 SF (0.37 acres)
Total Wetland Fill: 45,730 SF (1.05 acres)
Required City Wetland Buffer Area: 34,214 SF (0.79 acres)
City Buffer Width: 10' ft (No Averaging)

Kjolhaug submitted the RPA to the Rice Creek Watershed District (RCWD) and the United States Army Corps of Engineers (USACE) on January 5, 2026. RCWD distributed the Wetland Conservation Act (WCA) Notice Application for the Harvest Grange replacement plan on January 8, 2026.

RARE SPECIES SURVEY RESULTS:

A Rare Plant Survey for the proposed Harvest Grange development was prepared by Midwest Natural Resources, Inc. (MNR) on July 14, 2025. Prior to field investigations, a Rare Plant Survey Protocol was submitted to the Minnesota DNR Endangered Species Coordinator on May 13, 2025. Field surveys were conducted on June 3, 2025, following the MN DNR Species Survey Process and Rare Plant Guidance.

A review of available background data, including the Natural Heritage Information System (NHIS) database, along with the field survey results, indicates:

- No mapped Sites of Biodiversity Significance or mapped Native Plant Communities occur within the project boundary.
- No rare plant features were observed in the immediate vicinity of the property during the survey.
- The NHIS database documents a population of water-willow (*Decodon verticillatus*) approximately one mile south of the project site along Amelia Lake. No rare plants were observed within the project area itself.

The NHIS letter also provided recommended protection measures for water-willow if it occurs in the pond north of the site.

NATURAL HERITAGE REVIEW:

As part of the Harvest Grange development, the Minnesota Department of Natural Resources (MN DNR) conducted a Natural Heritage Review (NHIS) on July 24, 2025, to assess potential impacts to rare species and significant natural features within the project area. Blanding’s turtles were documented near the proposed development site. In response, a project-specific Blanding Turtle Avoidance Plan Memorandum was prepared by Kjolhaug on December 30, 2025.

The NHIS letter outlined the following required measures to protect Blanding’s turtles:

- Limit erosion and sediment control measures to wildlife-friendly options.
- Inspect bare ground within construction areas for turtles before using heavy equipment or performing ground disturbance.
- Provide all contractors with the Blanding’s turtle informational flyer.
- Report sightings using the DNR Plant and Animal Observation Form.
- Handle turtles only if they are in imminent danger, moving them by hand out of harm’s way; otherwise, leave them undisturbed. Guidance for safe handling is provided in Helping Turtles Across the Road.

The project incorporates a comprehensive Blanding Turtle Avoidance Plan consistent with MN DNR guidance. These measures will be enforced throughout construction to minimize impacts on Blanding’s turtles and ensure compliance with state environmental regulations.

TREE INVENTORY/SURVEY:

An onsite Tree Preservation Plan was completed, and a tree removal summary and mitigation plan were prepared in full compliance with the City of Lino Lakes Tree Preservation Administrative Guideline Policy, pursuant to Section 1008.12, Protection of Trees. Please refer to T-1 – T-4 of the Tree Preservation Plans for further details.

PARKS:

Park land dedication for a future park is not proposed. Park dedication requirements shall be paid as a fee.

LANDSCAPING:

A preliminary landscaping plan, together with foundation landscaping plans, has been prepared and submitted for City review and consideration. The proposed landscaping has been designed in accordance with the City of Lino Lakes Code of Ordinances pertaining to landscaping, tree preservation, and tree mitigation requirements.

Based on the applicable ordinance standards and the tree summary calculations identified on Sheet L1 of L2, the total number of required trees for the development is one hundred forty-three (143).

The preliminary landscaping plan demonstrates compliance with all applicable City of Lino Lakes requirements, including landscaping, boulevard tree placement, buffering and screening, and tree preservation and mitigation standards. All required trees are provided within the proposed open space, boulevard, and mitigation areas. The plan meets or exceeds the minimum requirements established by the City of Lino Lakes.

WATER REUSE FOR IRRIGATION:

Water reuse is proposed for the (55) attached townhomes to reduce potable water demand, support sustainable practices, and protect natural resources. Two stormwater basins, “Borrow Area 11,” will provide water for reuse to meet City of Lino Lakes requirements. Carlson Engineering’s January 6, 2026, Stormwater Re-Use Memo details irrigation volume, availability, and sustainability for City consideration. The final irrigation system, including layout and spray patterns, will be prepared by the selected designer and submitted with the Final Plat.

MONUMENT & MAILBOXES:

The residential development will include an entrance monument that will be owned and maintained by the Townhome Homeowners Association. The proposed monument will be located on the south side of Drive A, east of Lot 86 as depicted on the Preliminary Landscaping Plan. The monument will be situated entirely within the townhome base lot, eliminating the need for an easement or the creation of an outlot. The monument will be designed in compliance with the City’s Sign Ordinance (Chapter 1010), and a sign permit will be obtained from the City of Lino Lakes prior to construction.

Cluster mailbox units (CBUs) will be provided to serve all eighty-six (86) lots. The project team will coordinate directly with the mailbox vendor to prepare and submit a Growth Packet to the City of Lino Lakes Post Office for review and approval for mailbox locations. The CBUs will be owned and maintained by the Homeowners Association.

HOUSING INFORMATION:

The Harvest Grange development is planned to include a total of eighty-six (86) homes, thoughtfully designed to provide diverse housing options for the community. The project incorporates two zoning designations: R2 – Two-Family Residential, for the 60-foot single-family lots, and R3 – Medium Density, for the multi-unit townhomes. This combination allows for two

distinct housing types and architectural styles, offering choices that meet the needs of a wide range of homebuyers, from growing families to first-time buyers.

Our detailed elevations, floor plans, and renderings showcase quality design, neighborhood harmony, and architectural character that enhance the surrounding area. Harvest Grange is more than a neighborhood, it's a vibrant, welcoming addition to the City's housing options.

ARCHITECTURAL ELEVATIONS:

The proposed development consists of a mix of single-family detached residences and attached townhomes designed to provide high-quality residential housing consistent with the surrounding context. The project is planned across two designated lot sizes and is intended to deliver a cohesive neighborhood character through coordinated architecture, massing, and materials.

The architectural floor plans, elevations, and color renderings included in this submittal are representative depictions of the proposed residential products. These materials illustrate the anticipated building dimensions, massing, and overall design character of the homes. Final construction documents may include minor refinements while maintaining compliance with applicable zoning standards and the intent of the approved design.

The project has been designed in accordance with the R2 – Two-Family Residential and R3 – Medium Density zoning district requirements. Design considerations include minimum building footprints, required garage areas, maximum building heights, impervious surface limitations, and exterior material and finish standards.

At this stage, three of the four single-family plans do not meet the minimum required garage area of 520 square feet. Revisions will be made to adjust the building footprints by extending the garage depth to meet the required square footage. Similar adjustments will be applied to the townhome units to ensure full compliance with city standards prior to final plat approval.

Overall, the proposed development seeks to provide well-designed residential units that meet zoning requirements, support neighborhood character, and offer a cohesive and attractive living environment.

HOMEOWNER'S ASSOCIATIONS

The Harvest Grange development proposes a mixed residential community consisting of both townhome and single-family residential lots. The development is intended to provide high-quality housing while ensuring the adequate and sustainable long-term maintenance of all common and privately owned areas. The entity referenced in the drafted homeowner documents is anticipated to ultimately serve as the long-term development entity for the project.

Townhome Lots

The townhome portion of the development will be governed by a Homeowner Association (HOA). The Townhome HOA will be responsible for long-term maintenance and upkeep of shared community amenities to preserve their quality and visual appeal. These amenities include the

proposed entrance monument and cluster mailbox units (CBUs). The HOA will also provide yard and grounds maintenance, operate and maintain the community Re-use irrigation system, maintain the borrow stormwater ponds that will serve the Re-use system, and upkeep the private street within the townhome area. Draft Townhome HOA documents have been prepared for review and consideration by the city.

Single-Family Lots

A homeowner association is not proposed for the single-family lots. Instead, draft single-family covenants will establish maintenance responsibilities for CBUs and architectural standards without forming a formal HOA.

The proposed framework ensures that shared and private areas are properly maintained, promotes long-term neighborhood aesthetics, and supports the overall quality and functionality of the community.

TIMING/PHASING/STAGING

According to the Lino Lakes 2040 Utility Staging Plan, this area is scheduled to receive utilities between 2018 and 2025. Our planned development is set to begin in late spring to early summer 2026, which aligns with the projected service timeline. The site is proposed to be constructed in a single phase for grading and a single phase for streets and utilities.

CONCLUSION

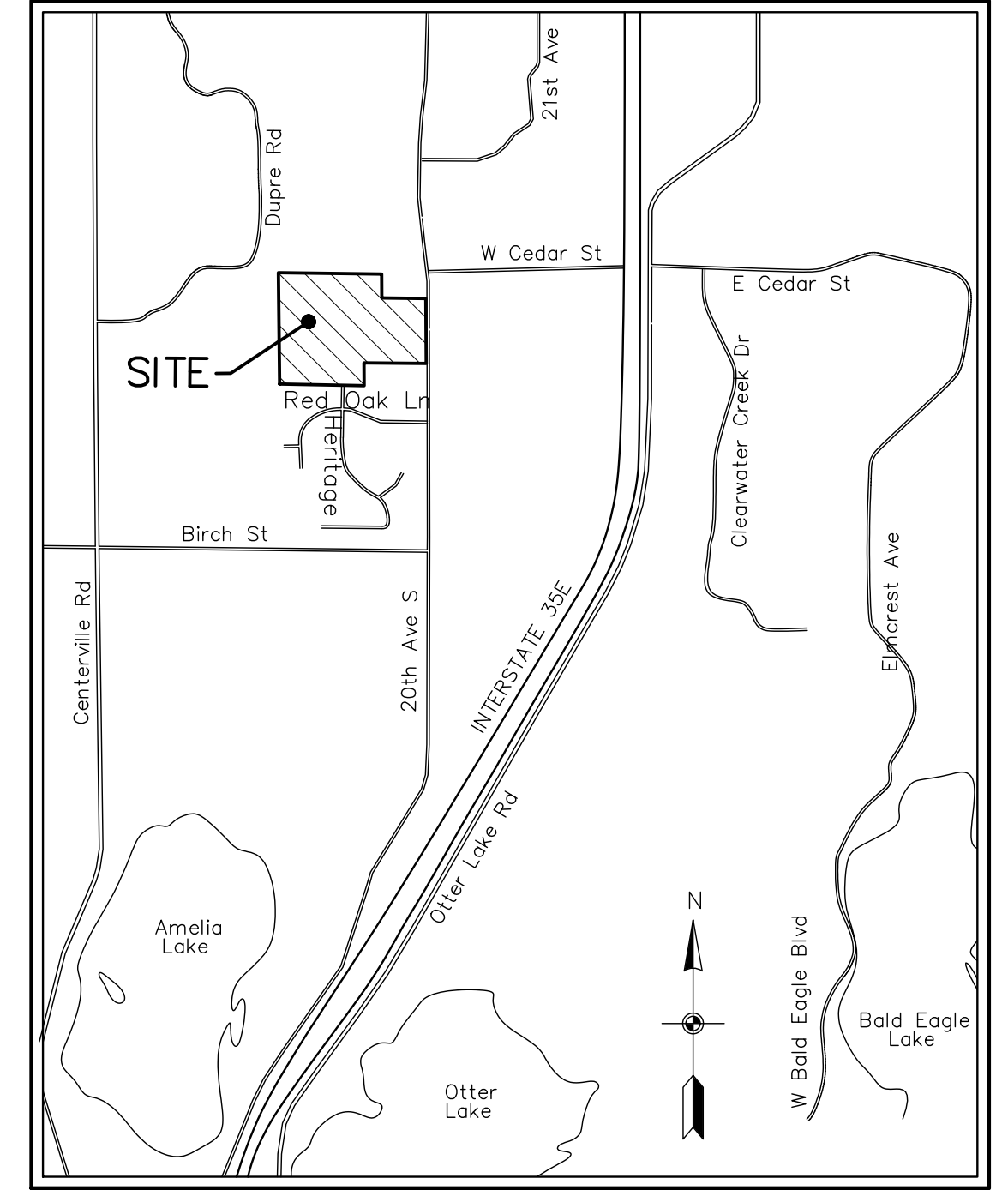
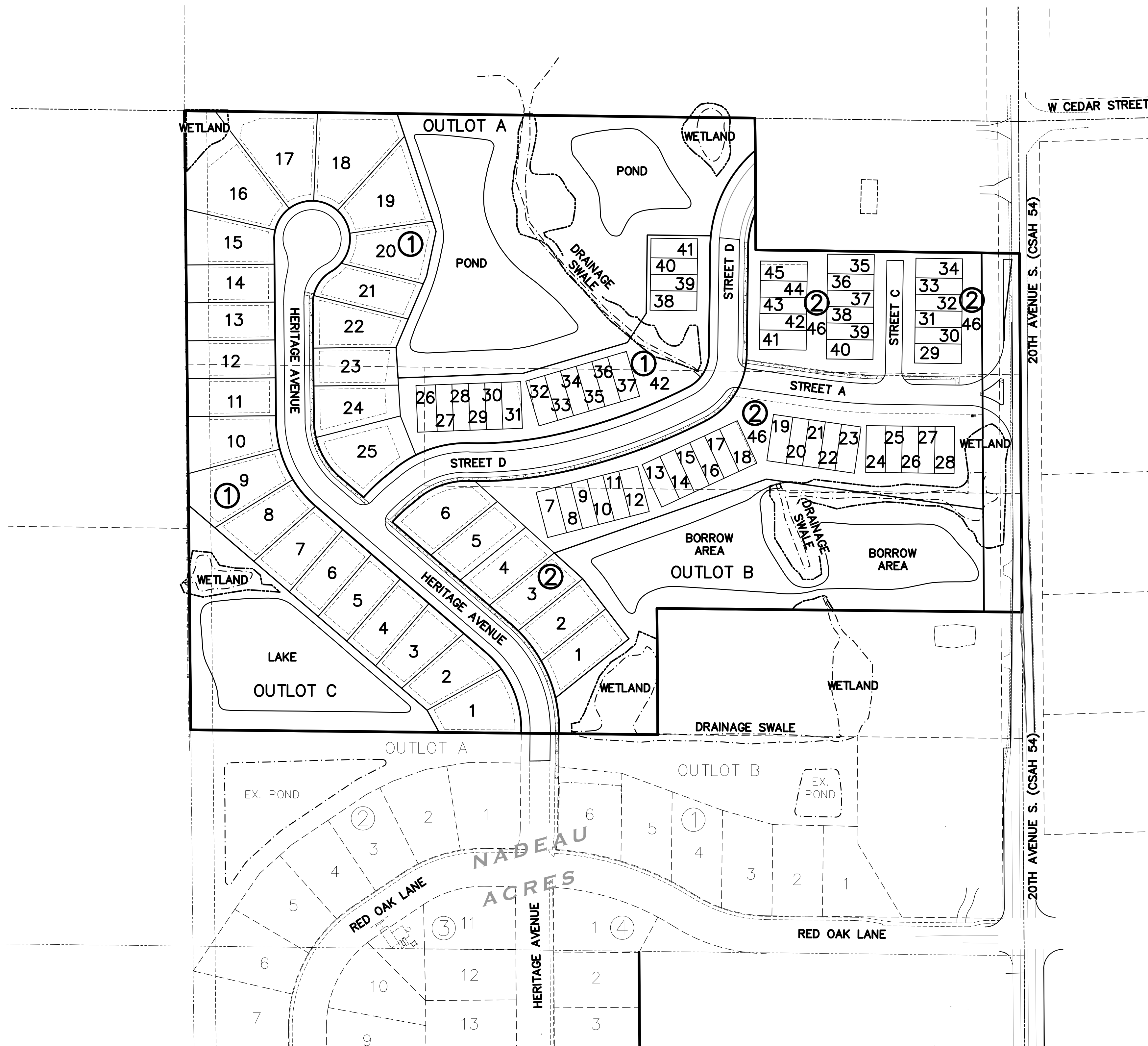
TCLD Land Holdings LLC is pleased to submit this preliminary plat and rezoning application for the Harvest Grange development. We believe the proposed site plan thoughtfully aligns with the City of Lino Lakes' long-term vision and planning objectives, while providing a high-quality residential community that will enhance the area and benefit current and future residents. We look forward to collaborating with the City to ensure a development that meets both community and municipal goals. Accordingly, we respectfully request approval of the Rezoning and Preliminary Plat, allowing the project to proceed to the Mass Grading and Final Plat stages.



HARVEST GRANGE

HARVEST GRANGE

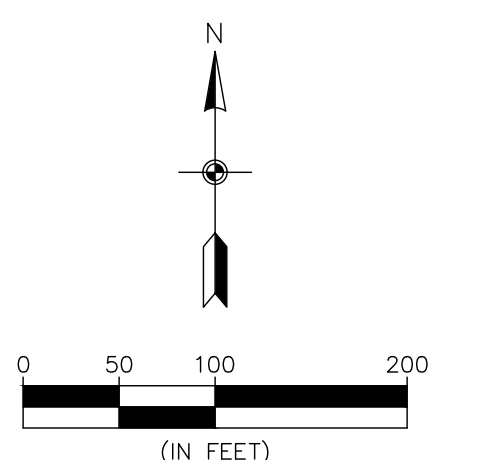
LINO LAKES, MINNESOTA



VICINITY MAP
NOT TO SCALE

SHEET INDEX

- 1. COVER
- 2. EXISTING CONDITIONS
- 3. PRELIMINARY PLAN
- 4. REMOVALS PLAN
- 5. PRELIMINARY SITE & UTILITY PLAN
- 6. PRELIMINARY GRADING & EROSION CONTROL PLAN
- 7-8. DETAILS
- 9. RETAINING WALL PROFILES
- R1-R3. RESOURCE INVENTORY
- T1-T4. TREE PRESERVATION PLAN
- L1-L2. LANDSCAPE PLAN
- V-F1. FLOODPLAIN EXHIBIT
- W1. WETLAND BUFFER EXHIBIT



BENCHMARKS	
1. Minnesota Department of Transportation GSID Station #92399 (Name: 0282 S) ELEVATION: 931.46 ft. (NAVD88)	
2. Minnesota Department of Transportation GSID Station #92394 (Name: 0282 N) ELEVATION: 911.43 ft. (NAVD88)	

CALL BEFORE YOU DIG

Know what's below.
Call before you dig.

The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of C/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."

CARLSON ENGINEERING
ENGINEERING SURVEYING PLANNING

3890 PHEASANT RIDGE DR NE
SUITE 100
BLAINE, MN 55449
TEL 763.489.7900
FAX 763.489.7959
CARLSON-ENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystofiak, P.E.
Signature: *Brian J. Krystofiak*
Date: 01/02/26 License #: 25063

Drawn: GJS
Designed: BJK
Date: 01/02/26

Revisions: 1.

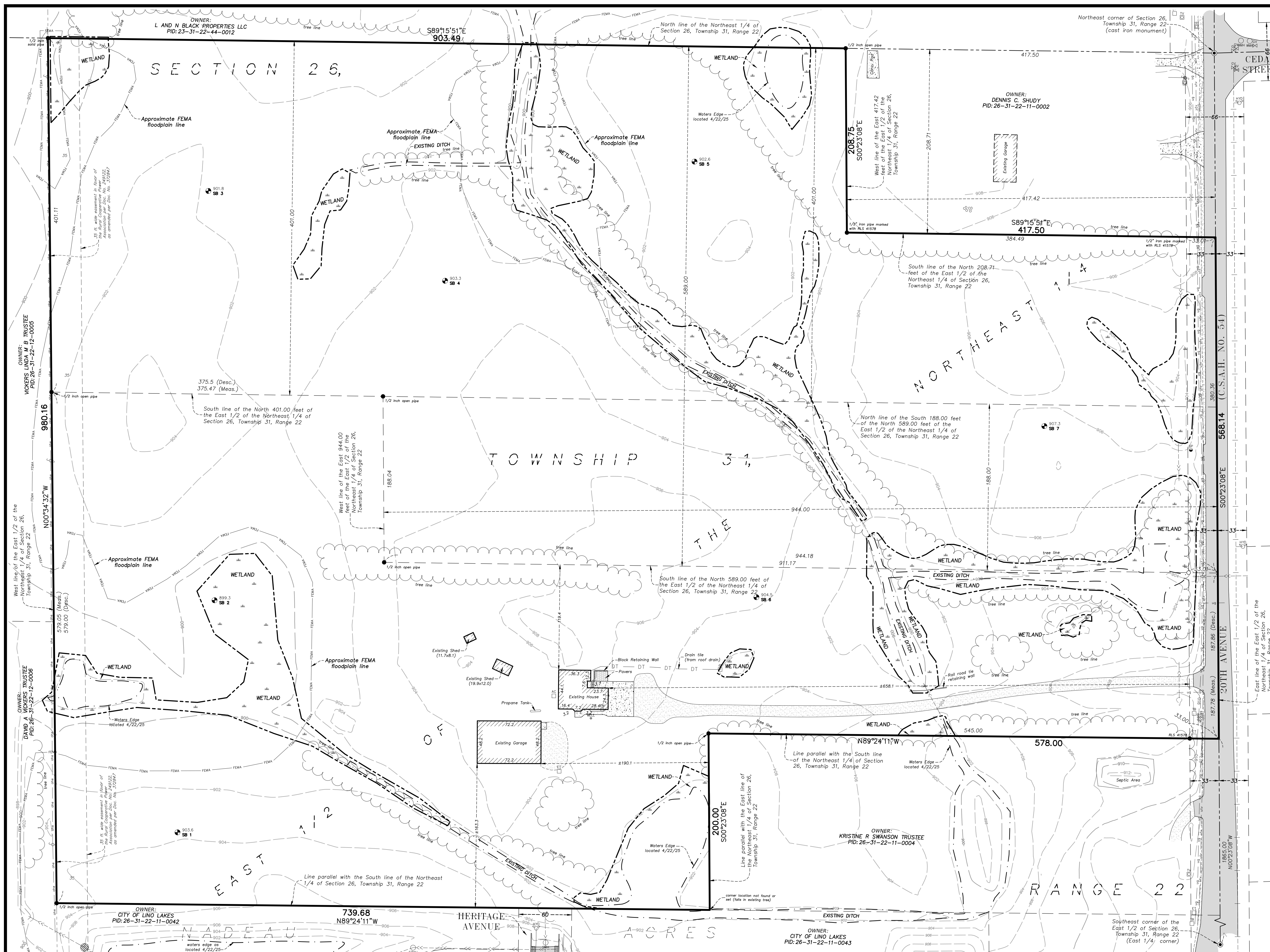
TCLD LAND HOLDINGS, LLC
4800 Olson Memorial Hwy - #100
Golden Valley, MN 55422

HARVEST GRANGE

HARVEST GRANGE
Lino Lakes, MN

COVER

1 of 9



PROPERTY DESCRIPTION: (Per Schedule A of Title Commitment File No. 701447, Revision Number 1, with a commitment date of August 28, 2024 at 7:00 am., prepared by Land Title, Inc., as issuing agent for First American Title Insurance Company)

That part of the East Half (E1/2) of the Northeast Quarter (NE1/4), Section 26, Township 31, Range 22, Anoka County, Minnesota, described as follows:

Commencing at the Southeast corner of said East Half of the Northeast Quarter; thence Northerly, along the East line of said Northeast Quarter, a distance of 1865.00 feet, to the point of the actual point of beginning; thence Westerly parallel with the South line of said Northeast Quarter, a distance of 578.00 feet; thence Southerly, parallel with said East line of the Northeast Quarter, a distance of 200 feet; thence Westerly parallel with said South line, a distance of 739.7 feet, more or less to the West line of said East Half of the Northeast Quarter; thence Northerly along said West line of said East Half of the Northeast Quarter, a distance of 579.00 feet, more or less to the South line of the North 401 feet of said East Half of the Northeast Quarter; thence Easterly along said South line of the North 401 feet, a distance of 375.5 feet to the West line of the East 944 feet of said East Half of the Northeast Quarter; thence Southerly, along said West line of the East 944 feet, a distance of 188.04 feet, to the South line of the North 589 feet of said East Half of the Northeast Quarter; thence Easterly, along said South line of the North 589 feet, a distance of 944.18 feet, to the East line of said East Half of the Northeast Quarter; thence Southerly along said East line, a distance of 187.86 feet to the actual point of beginning.

(abstract property)

AND

PROPERTY DESCRIPTION: (Per Schedule A of Title Commitment File No. 702098, Revision Number 1, with a commitment date of March 10, 2025 at 7:00 am., prepared by Land Title, Inc., as issuing agent for Stewart Title Guaranty Company)

AND

That part of the North 401.00 feet of the East Half of the Northeast Quarter of Section 26, Township 31, Range 22, Anoka County, Minnesota, lying Southerly and Westerly of the North 208.71 feet of the East 417.42 feet, according to the United States Government Survey thereof and situate in Anoka County, Minnesota.

AND

The East 944.00 feet of the South 188.00 feet of the North 589.00 feet of the East Half of the Northeast Quarter of Section 26, Township 31, Range 22, Anoka County, Minnesota according to the United States Government Survey thereof and situate in Anoka County, Minnesota.

(abstract property)

GENERAL NOTES:

- Bearings shown hereon are based on the North line of the East 1/2 of the Northeast 1/4 of Section 26, Township 31, Range 22, which is assumed to bear S89°15'51"E.
- Surveyed property address, per Title Commitment File No. 701447, Revision Number 1: 6747 20th Avenue, Lino Lakes, MN 55038. Surveyed property address, per Title Commitment File No. 702098, Revision Number 1: unassigned.
- Surveyed property contains ±1,088,011 Sq. Ft.
- Above ground utilities have been field located as shown. All underground locations shown hereon are APPROXIMATE. Prior to any excavations or digging, contact Gopher State One Call for an on-site location (651-454-0002).

- LEGEND**
- - Denotes Anoka County
 - - Cast Iron Section Monument
 - - Denotes Found Iron Monument as noted
 - - Denotes 5/8 inch by 14 inch rebar marked with RLS 40361
 - - Denotes Miscellaneous Sign
 - ⊕ - Denotes Guard Post
 - ⊕ - Denotes Sanitary Manhole
 - ⊕ - Denotes Storm Manhole
 - ⊕ - Denotes Catch Basin
 - ⊕ - Denotes Overflow Structure
 - ⊕ - Denotes Fire Hydrant
 - ⊕ - Denotes Gate Valve
 - ⊕ - Denotes Existing Well
 - ⊕ - Denotes Utility Pole
 - ⊕ - Denotes Mail Box
 - ⊕ - Denotes Water Manhole
 - ⊕ - Denotes Cleanout
 - ⊕ - Denotes Television Box
 - ⊕ - Denotes Air Conditioning
 - ⊕ - Denotes Electric Transformer
 - ⊕ - Denotes Telephone Box
 - ⊕ - Denotes Electric Meter
 - ⊕ - Denotes Underground Gas
 - ⊕ - Denotes Underground Telephone
 - ⊕ - Denotes Underground Television
 - ⊕ - Denotes Overhead Utility Line(s)
 - ⊕ - Denotes Watermain
 - ⊕ - Denotes Sanitary Sewer
 - ⊕ - Denotes Storm Sewer
 - ⊕ - Denotes Existing Fence as noted
 - ⊕ - Denotes Gravel Surface
 - ⊕ - Denotes Concrete Surface
 - ⊕ - Denotes Bituminous Surface
 - ⊕ - Denotes Wetlands delineated by Kjothaug Environmental Services in 2025
 - ⊕ - Denotes Existing Contour

BENCHMARKS

1. Minnesota Department of Transportation GSID Station #92399 (Name: 0282 S) ELEVATION: 931.46 ft. (NAVD88)
2. Minnesota Department of Transportation GSID Station #92394 (Name: 0282 N) ELEVATION: 911.43 ft. (NAVD88)

0 25 50 100
(SCALE IN FEET)

CARLSON ENGINEERING
ENGINEERING SURVEYING PLANNING
3890 PHEASANT RIDGE DR NE SUITE 100 BLAINE, MN 55449 TEL 763.489.7900 FAX 763.489.7959 CARLSON-ENGINEERING.COM

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota
Print Name: Thomas R. Balluff, L.S.
Signature: *Thomas R. Balluff*
Date: 1/02/2026 License #: 40361

DRAWN BY: bjs
ISSUE DATE: 1/02/2026
FILE NO: 2884

Revisions:

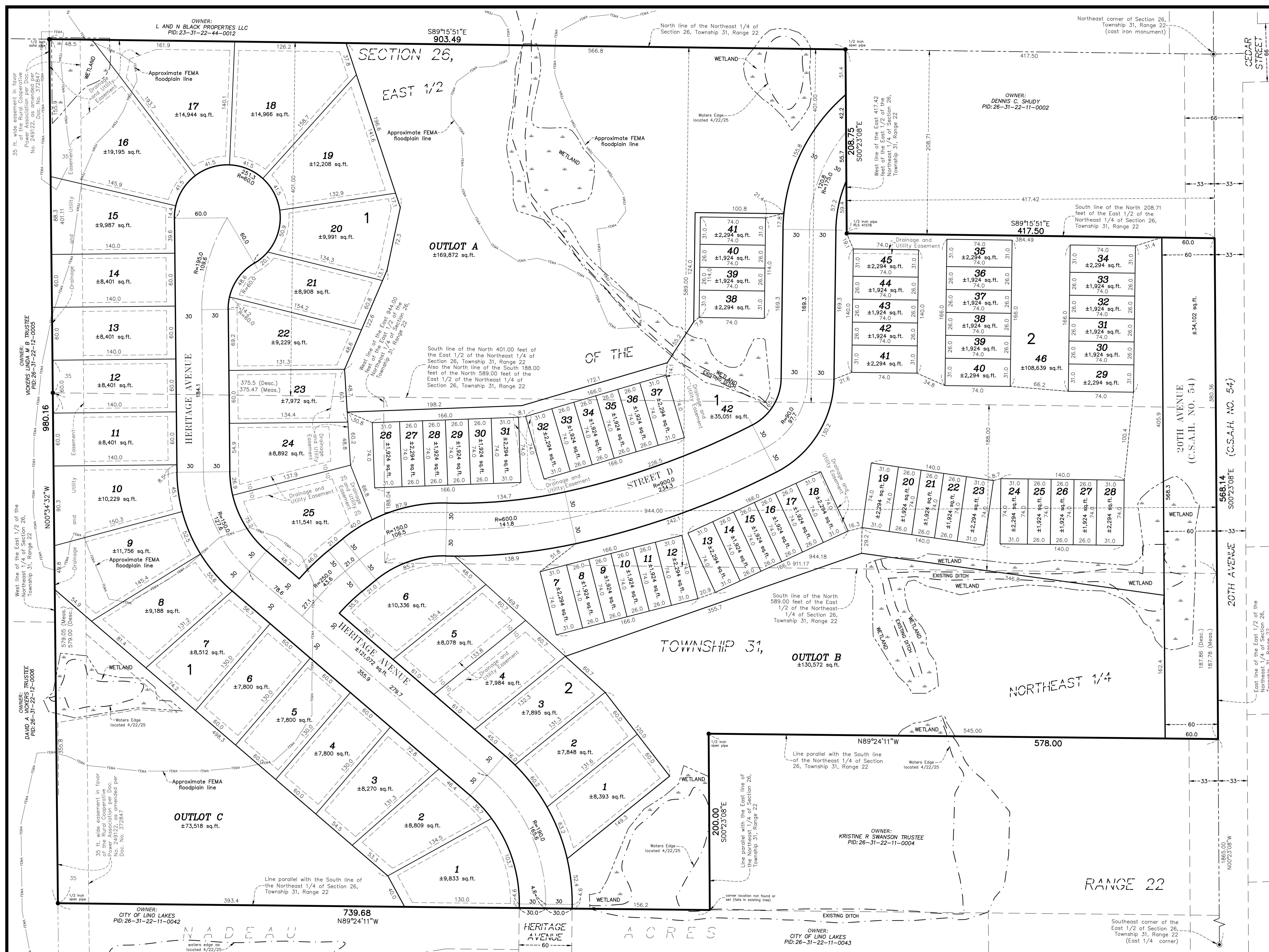
TCLD LAND HOLDINGS, LLC
4800 Olson Memorial Hwy - #100 Golden Valley, MN 55422

HARVEST GRANGE

HARVEST GRANGE
Lino Lakes, MN

EXISTING CONDITIONS

Save Date: 01/02/26 11:35:01 11341 - rehbein ndson parcels\cad\c30\survey\pre-plot\11341_excon.dwg



PROPERTY DESCRIPTION: (Per Schedule A of Title Commitment File No. 701447, Revision Number 1, with a commitment date of August 28, 2024 at 7:00 am., prepared by Land Title, Inc., as issuing agent for First American Title Insurance Company)

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(abstract property)

AND

PROPERTY DESCRIPTION: (Per Schedule A of Title Commitment File No. 702098, Revision Number 1, with a commitment date of March 10, 2025 at 7:00 am., prepared by Land Title, Inc., as issuing agent for Stewart Title Guaranty Company)

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GENERAL NOTES:

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SITE DATA

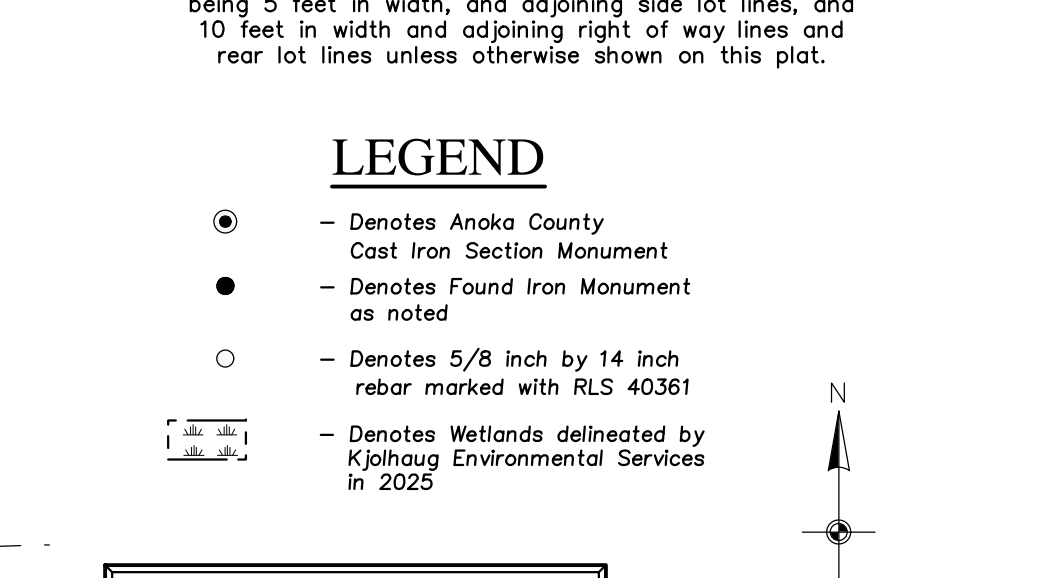
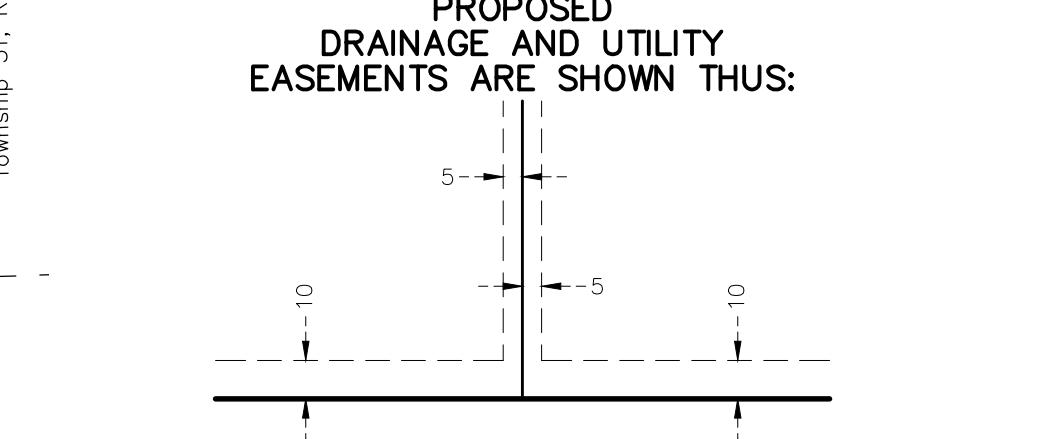
TOTAL SITE AREA	±24.98 AC.
TOTAL ROW AREA	±3.56 AC.
TOTAL OUTLOT AREA	±8.59 AC.
OUTLOT A	±3.90 AC.
OUTLOT B	±3.00 AC.
OUTLOT C	±1.69 AC.
TOTAL LOT AREA	±12.83 AC.
SINGLE FAMILY LOT AREA	±6.93 AC.
TOWNHOME LOT AREA	±2.60 AC.
TOWNHOME COMMON LOT AREA	±3.30 AC.
SMALLEST LOT	±1,924 S.F.
LARGEST LOT	±108,639 S.F.
AVERAGE LOT	±6,351 S.F.
TOTAL NUMBER OF LOTS	88
SINGLE FAMILY LOTS	31
TOWNHOME LOTS	55
TOWNHOME COMMON LOT	2
GROSS DENSITY	3.53 LOTS/AC.
EXISTING ZONING	RURAL
PROPOSED ZONING	R2/R3
UTILITIES	AVAILABLE

MINIMUM RESIDENTIAL SETBACK DATA:

FRONT	25 FT.
SIDE (GARAGE)	10 FT.
SIDE (HOUSE)	10 FT.
SIDE CORNER	25 FT.
REAR SETBACK	25 FT.

MINIMUM TOWNHOME SETBACK DATA:

FRONT	30 FT.
SIDE (BETWEEN BUILDINGS)	20 FT.
SIDE CORNER	25 FT.



BENCHMARKS

1. Minnesota Department of Transportation GSID Station #92399 (Name: 0282 S) ELEVATION: 931.46 ft. (NAVD88)
2. Minnesota Department of Transportation GSID Station #92394 (Name: 0282 N) ELEVATION: 911.43 ft. (NAVD88)

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 ENGINEERING SURVEYING PLANNING
 3890 PHEASANT RIDGE DR NE
 SUITE 100
 BLAINE, MN 55449
 TEL 763.489.7900
 FAX 763.489.7959
 CARLSON-ENGINEERING.COM

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota

Print Name: Thomas R. Balluff, L.S.
 Signature: *Thomas R. Balluff*
 Date: 1/02/2026 License #: 40361

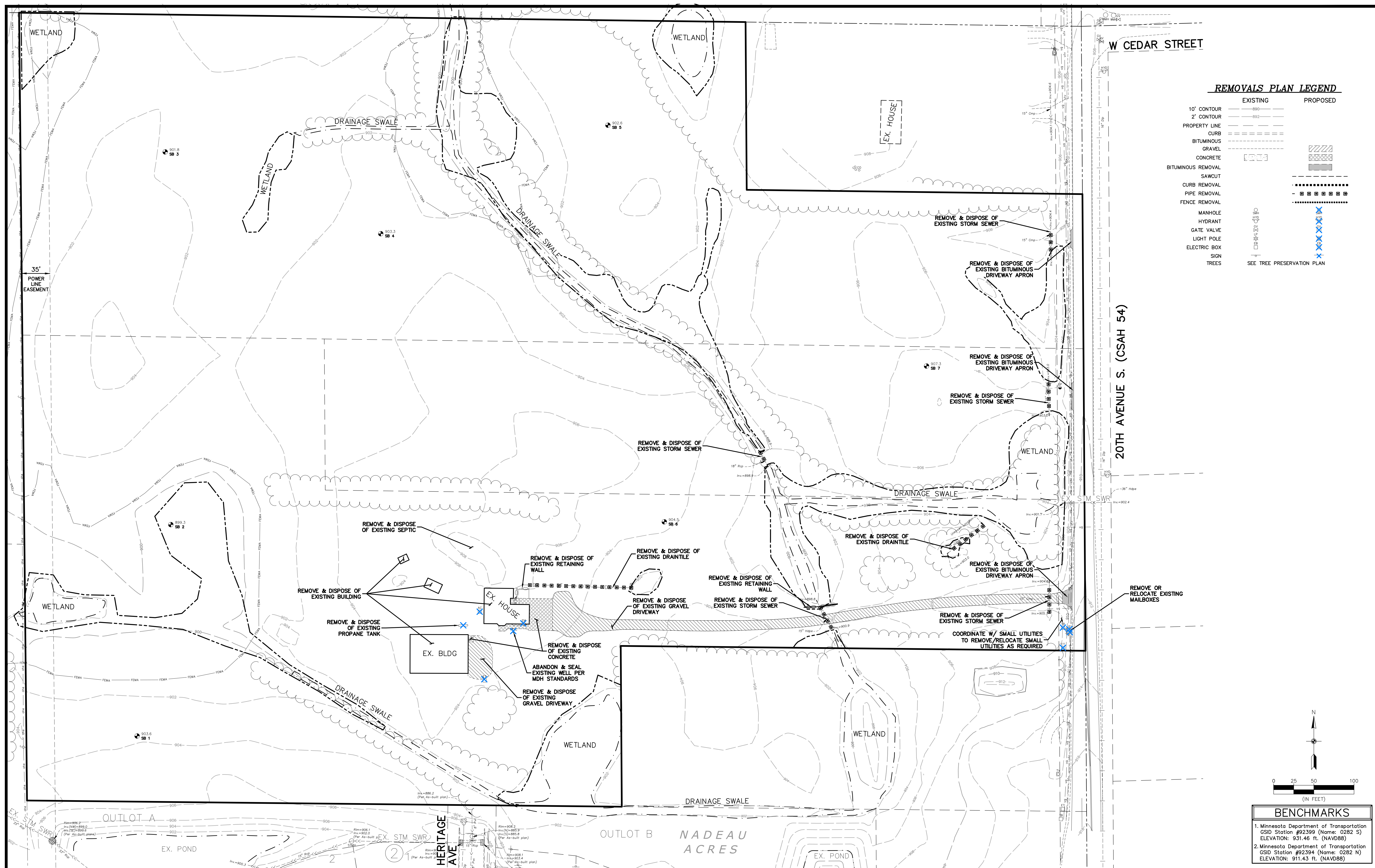
DRAWN BY: NJS
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 FILE NO: 2884

TCLD LAND HOLDINGS, LLC
 4800 Olson Memorial Hwy - #100
 Golden Valley, MN 55422

HARVEST GRANGE
 Lino Lakes, MN

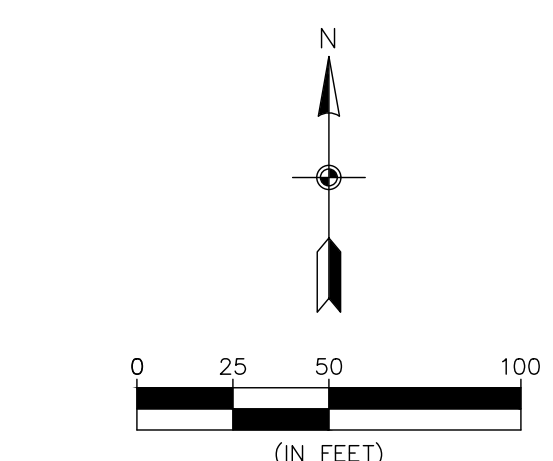
PRELIMINARY PLAT

3 of 9



REMOVALS PLAN LEGEND

	EXISTING	PROPOSED
10' CONTOUR	---	---
2' CONTOUR	---	---
PROPERTY LINE	---	---
CURB	---	---
BITUMINOUS	---	---
GRAVEL	---	---
CONCRETE	---	---
BITUMINOUS REMOVAL	---	---
SAWCUT	---	---
CURB REMOVAL	---	---
PIPE REMOVAL	---	---
FENCE REMOVAL	---	---
MANHOLE	---	---
HYDRANT	---	---
GATE VALVE	---	---
LIGHT POLE	---	---
ELECTRIC BOX	---	---
SIGN	---	---
TREES	---	---



BENCHMARKS

- Minnesota Department of Transportation
GSID Station #92399 (Name: 0282 S)
ELEVATION: 931.46 ft. (NAVD88)
- Minnesota Department of Transportation
GSID Station #92394 (Name: 0282 N)
ELEVATION: 911.43 ft. (NAVD88)

CARLSON ENGINEERING
ENGINEERING SURVEYING PLANNING
3890 PHEASANT RIDGE DR NE SUITE 100
BLAINE, MN 55449
TEL 763.489.7900
FAX 763.489.7959
CARLSON-ENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota
Print Name: Brian J. Krystofiak, P.E.
Signature: *Brian J. Krystofiak*
Date: 01/02/26 License #: 25063

Drawn: GJS
Designed: BJK
Date: 01/02/26

Revisions: 1.

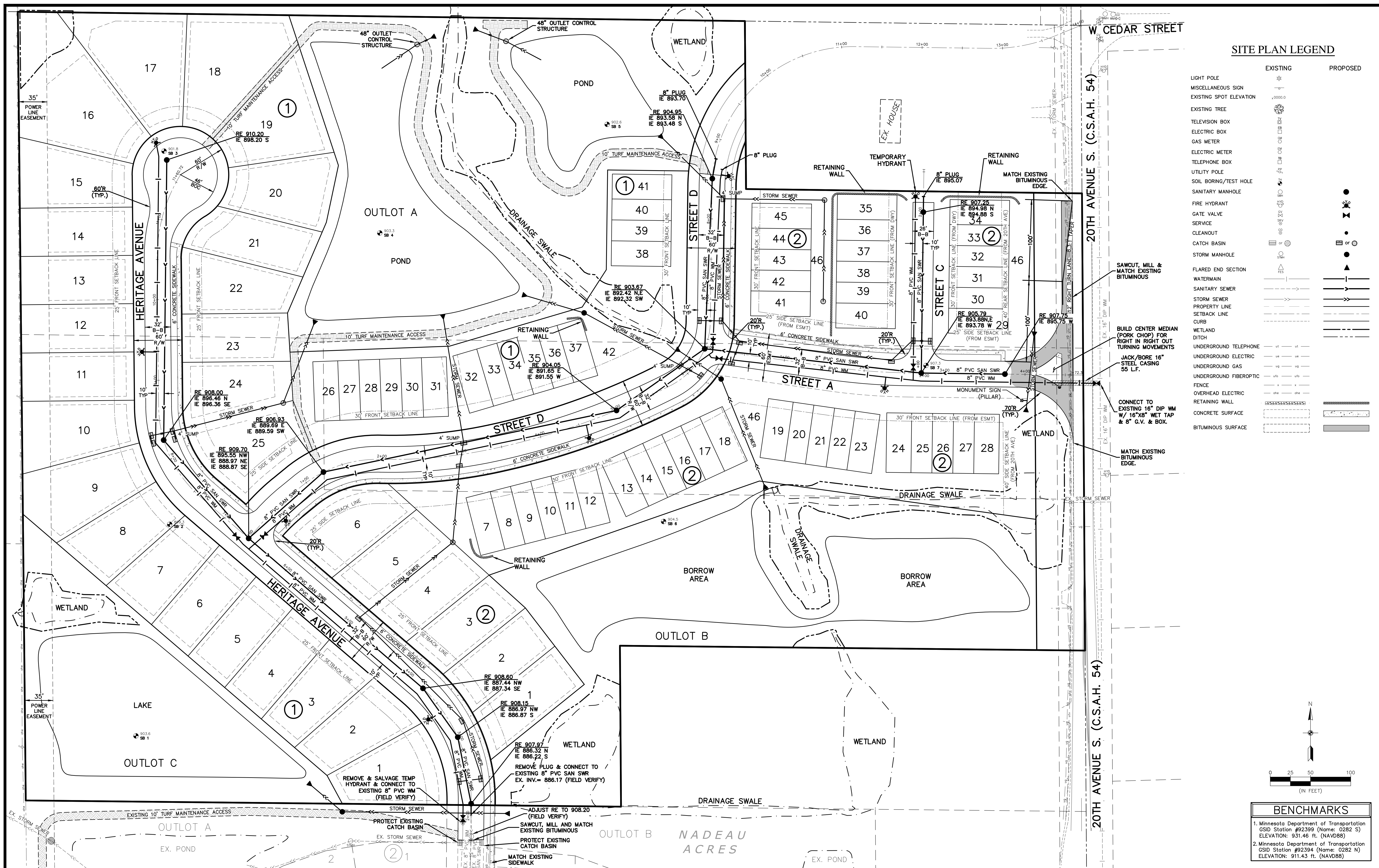
TCLD LAND HOLDINGS, LLC
4800 Olson Memorial Hwy - #100
Golden Valley, MN 55422

HG HARVEST GRANGE

HARVEST GRANGE
Lino Lakes, MN

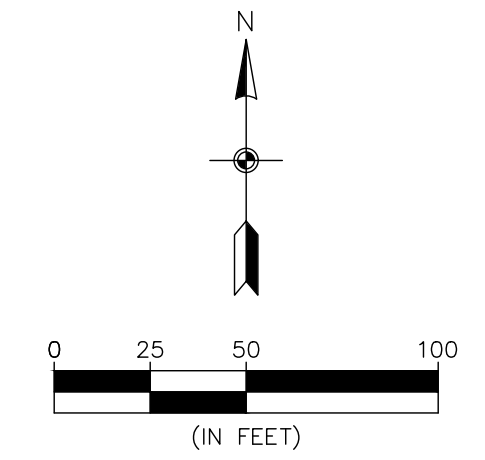
REMOVALS PLAN

4 of 9



SITE PLAN LEGEND

EXISTING	PROPOSED
Light Pole	Light Pole
Miscellaneous Sign	Miscellaneous Sign
Existing Spot Elevation	Existing Spot Elevation
Existing Tree	Existing Tree
Television Box	Television Box
Electric Box	Electric Box
Gas Meter	Gas Meter
Electric Meter	Electric Meter
Telephone Box	Telephone Box
Utility Pole	Utility Pole
Soil Boring/Test Hole	Soil Boring/Test Hole
Sanitary Manhole	Sanitary Manhole
Fire Hydrant	Fire Hydrant
Gate Valve	Gate Valve
Service	Service
Cleanout	Cleanout
Catch Basin	Catch Basin
Storm Manhole	Storm Manhole
Flared End Section	Flared End Section
Watermain	Watermain
Sanitary Sewer	Sanitary Sewer
Storm Sewer	Storm Sewer
Property Line	Property Line
Setback Line	Setback Line
Curb	Curb
Wetland	Wetland
Ditch	Ditch
Underground Telephone	Underground Telephone
Underground Electric	Underground Electric
Underground Gas	Underground Gas
Underground Fiberoptic	Underground Fiberoptic
Fence	Fence
Overhead Electric	Overhead Electric
Retaining Wall	Retaining Wall
Concrete Surface	Concrete Surface
Bituminous Surface	Bituminous Surface



BENCHMARKS

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GSID Station #92399 (Name: 0282 S)
ELEVATION: 931.46 ft. (NAVD88)
- Minnesota Department of Transportation
GSID Station #92394 (Name: 0282 N)
ELEVATION: 911.43 ft. (NAVD88)

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Revisions:
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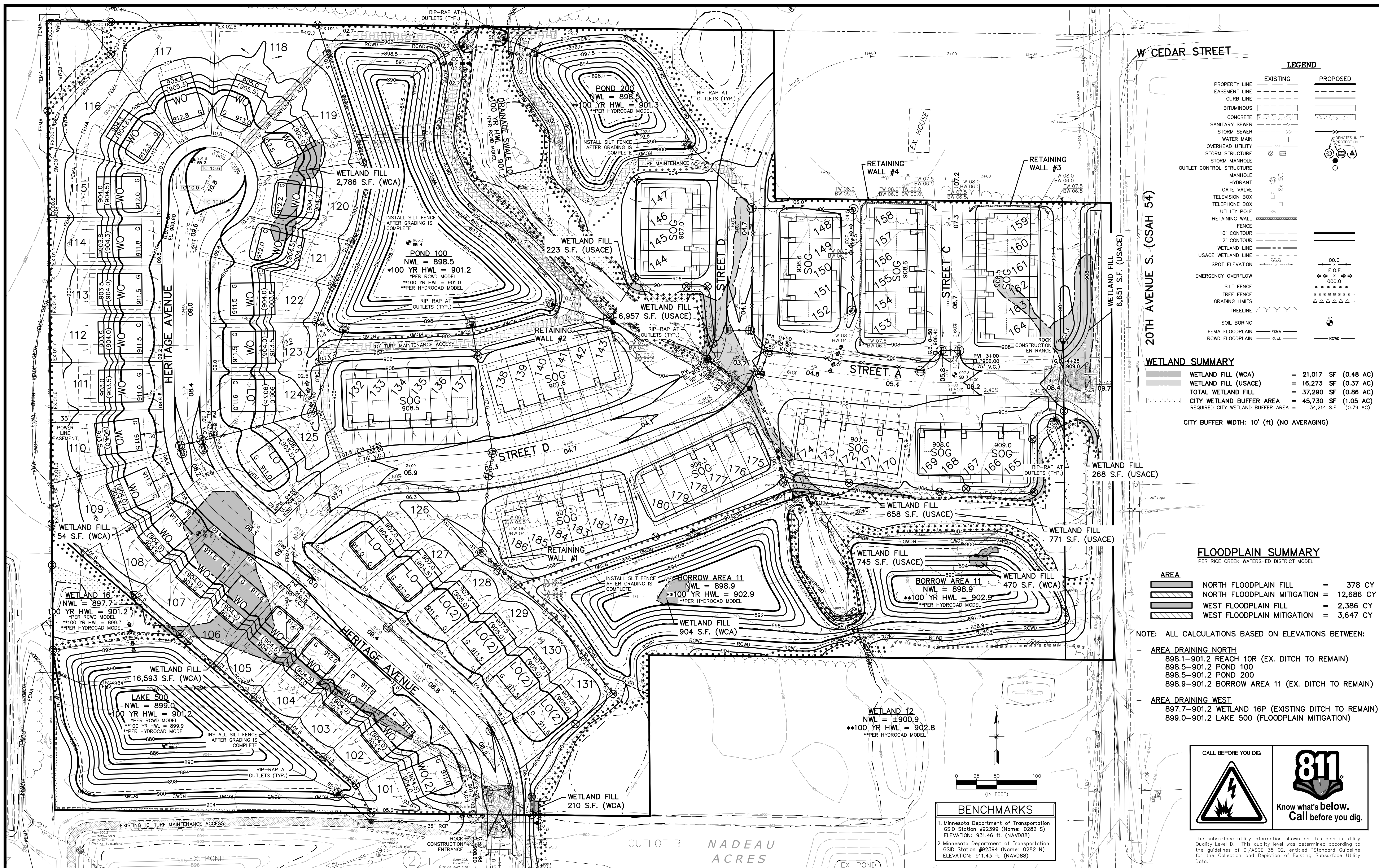
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Golden Valley, MN 55422

HG HARVEST GRANGE

HARVEST GRANGE
Lino Lakes, MN

PRELIMINARY SITE & UTILITY PLAN

5 of 9



LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
CURB LINE	---	---
BITUMINOUS	---	---
CONCRETE	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
WATER MAIN	---	---
OVERHEAD UTILITY	---	---
STORM STRUCTURE	---	---
STORM MANHOLE	---	---
OUTLET CONTROL STRUCTURE	---	---
MANHOLE	---	---
HYDRANT	---	---
GATE VALVE	---	---
TELEVISION BOX	---	---
TELEPHONE BOX	---	---
UTILITY POLE	---	---
RETAINING WALL	---	---
FENCE	---	---
10' CONTOUR	---	---
2' CONTOUR	---	---
WETLAND LINE	---	---
USACE WETLAND LINE	---	---
SPOT ELEVATION	---	---
EMERGENCY OVERTFLOW	---	---
SILT FENCE	---	---
TREE FENCE	---	---
GRADING LIMITS	---	---
TREELINE	---	---
SOIL BORING	---	---
FEMA FLOODPLAIN	---	---
RCWD FLOODPLAIN	---	---

WETLAND SUMMARY

WETLAND FILL (WCA)	= 21,017 SF (0.48 AC)
WETLAND FILL (USACE)	= 16,273 SF (0.37 AC)
TOTAL WETLAND FILL	= 37,290 SF (0.86 AC)
CITY WETLAND BUFFER AREA	= 45,730 SF (1.05 AC)
REQUIRED CITY WETLAND BUFFER AREA	= 34,214 SF (0.79 AC)

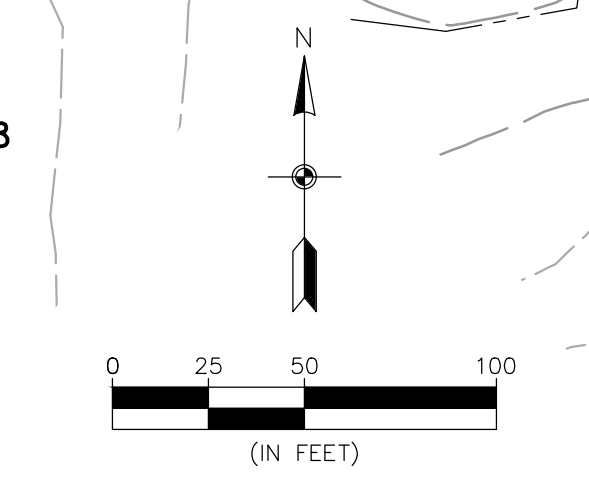
CITY BUFFER WIDTH: 10' (ft) (NO AVERAGING)

FLOODPLAIN SUMMARY
PER RICE CREEK WATERSHED DISTRICT MODEL

AREA	
NORTH FLOODPLAIN FILL	= 378 CY
NORTH FLOODPLAIN MITIGATION	= 12,686 CY
WEST FLOODPLAIN FILL	= 2,386 CY
WEST FLOODPLAIN MITIGATION	= 3,647 CY

NOTE: ALL CALCULATIONS BASED ON ELEVATIONS BETWEEN:

- AREA DRAINING NORTH**
 - 898.1-901.2 REACH 10R (EX. DITCH TO REMAIN)
 - 898.5-901.2 POND 100
 - 898.5-901.2 POND 200
 - 898.9-901.2 BORROW AREA 11 (EX. DITCH TO REMAIN)
- AREA DRAINING WEST**
 - 897.7-901.2 WETLAND 16P (EXISTING DITCH TO REMAIN)
 - 899.0-901.2 LAKE 500 (FLOODPLAIN MITIGATION)



BENCHMARKS

- Minnesota Department of Transportation
GSD Station #92399 (Name: 0282 S)
ELEVATION: 931.46 ft. (NAVD88)
- Minnesota Department of Transportation
GSD Station #92394 (Name: 0282 N)
ELEVATION: 911.43 ft. (NAVD88)



The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of C/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."

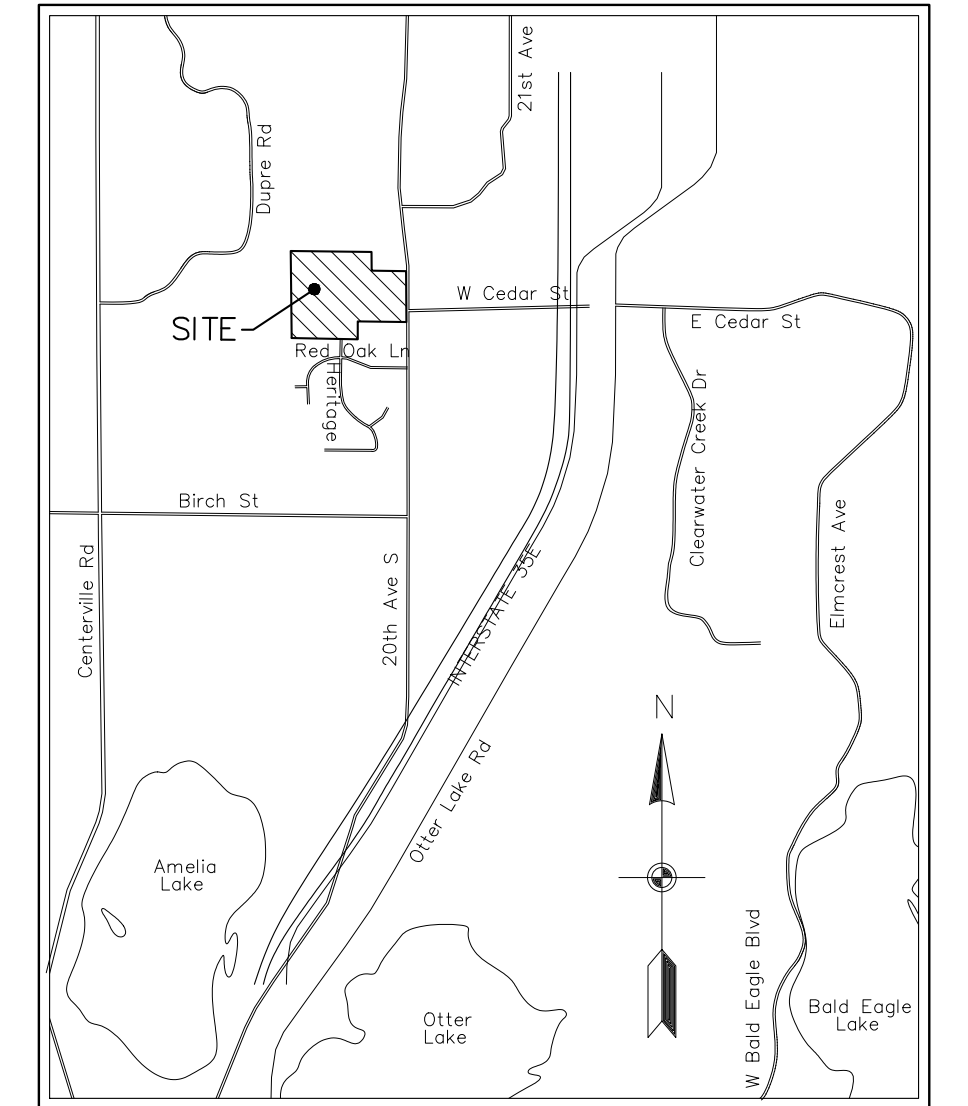
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Revisions: 1.
TCLD LAND HOLDINGS, LLC
4800 Olson Memorial Hwy - #100
Golden Valley, MN 55422

HARVEST GRANGE
Lino Lakes, MN

PRELIMINARY GRADING & EROSION CONTROL PLAN



VICINITY MAP
NOT TO SCALE

LEGEND

SITE BOUNDARY LINE	---
EXISTING PROPERTY LINE	---
SECTION LINE	---
1/4 SECTION LINE	---
1/16 SECTION LINE	---
2' CONTOUR	---
10' CONTOUR	---
WETLAND	---
WATER	---
FLOODPLAIN	FP
TREE LINE	---
FENCE LINE	---
OVERHEAD ELECTRIC	---
UNDERGROUND ELECTRIC	---
TELEPHONE	---
MANHOLE	○
HYDRANT	○
GATE VALVE	○
FLARED END SECTION	---
POWER POLE	---
TELEPHONE BOX	□
TELEVISION BOX	□
MAIL BOX	□
SIGN	△
PHOTO LOCATION, NUMBER, AND DIRECTION (SEE R2)	△

SITE DATA

TOTAL SITE AREA	24.55 AC.
EXISTING ZONING	RURAL (R)

SOIL TYPES

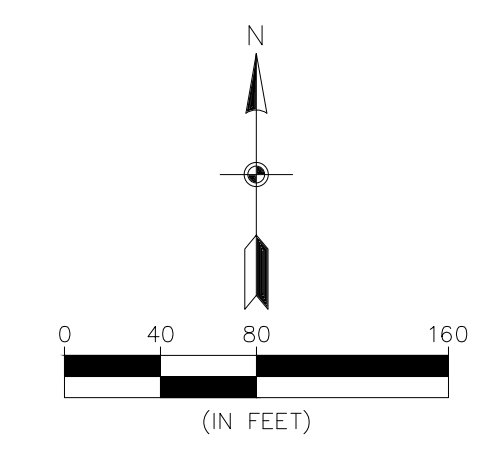
Bm	Blomford loamy fine sand
BtC	Braham loamy fine sand, 6 to 18 percent slopes
Cb	Cathro muck
Du	Dundas loam
Gc	Glencoe loam
NeA	Nessel fine sandy loam, 1 to 4 percent slopes
Rf	Rifle mucky peat
Wb	Webster loam
ZmB	Zimmerman fine sand, 1 to 6 percent slopes

NOTE: SOIL DATA SHOWN IS BASED ON NATIONAL RESOURCE CONSERVATION SERVICE WEB SOIL SURVEY.

LARGE TREES

AS	ASH TREE
CW	COTTONWOOD
PO	POPLAR
SM	SILVER MAPLE

NOTE: APPROXIMATE LOCATION OF TREES 18" DIAMETER (DBH) AND LARGER.



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HARVEST GRANGE
Lino Lakes, MN

RESOURCE INVENTORY WITH AERIAL IMAGERY

R2 of R3

Save Date: 01/02/26 F:\jobs\11341 - 11350\11343 - rehbein netson parcels\cad\c3d\engineering\preliminary\11343_resource_inventory.dwg



PHOTO 1
VIEW LOOKING SOUTH ALONG 20TH AVE S.



PHOTO 2
VIEW LOOKING WEST FROM 20TH AVE S.



PHOTO 3
VIEW LOOKING NORTH ALONG 20TH AVE S.



PHOTO 4
VIEW LOOKING NORTH ALONG 20TH AVE S.



PHOTO 5
VIEW LOOKING SOUTH TOWARDS NADEAU DEVELOPMENT.



PHOTO 6
VIEW LOOKING WEST FROM LAWN SOUTH OF POLE BARN.



PHOTO 7
VIEW LOOKING SOUTH TOWARDS DRAINAGEWAY (TYPICAL).



PHOTO 8
VIEW LOOKING WEST ACROSS HAY FIELD.



PHOTO 9
VIEW LOOKING NORTHEAST TOWARDS ROW OF LARGE COTTONWOODS.



PHOTO 10
VIEW LOOKING NORTHWEST ACROSS NORTH HAY FIELD.



PHOTO 11
VIEW LOOKING SOUTHEAST ACROSS NORTH HAY FIELD.

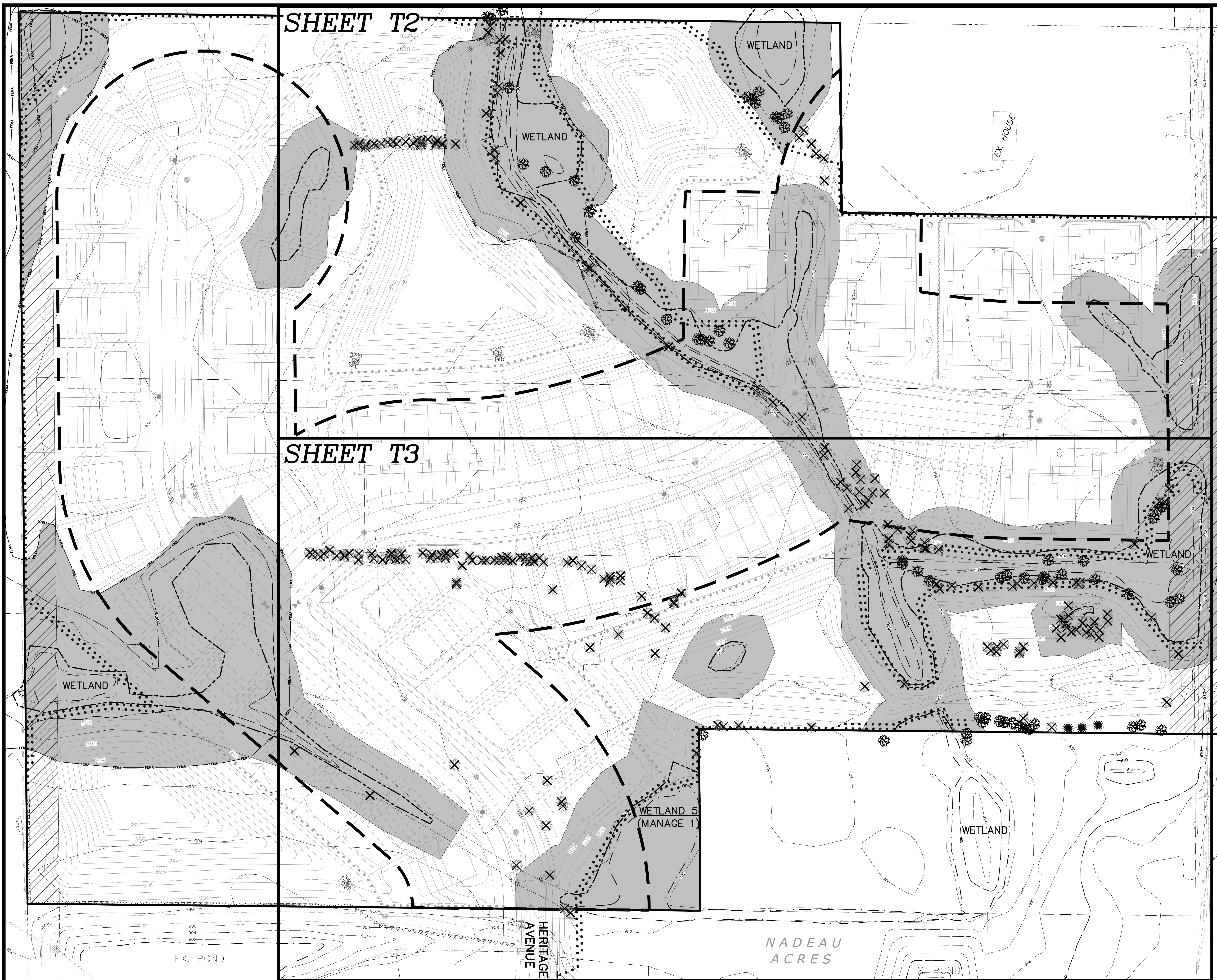


PHOTO 12
VIEW LOOKING EAST ALONG NORTH SIDE OF DRIVEWAY.

NOTE: SEE SHEET R1 & R2 FOR PHOTO LOCATIONS ON MAP.
PHOTOS TAKEN 04/08/25

SHEET T2

SHEET T3



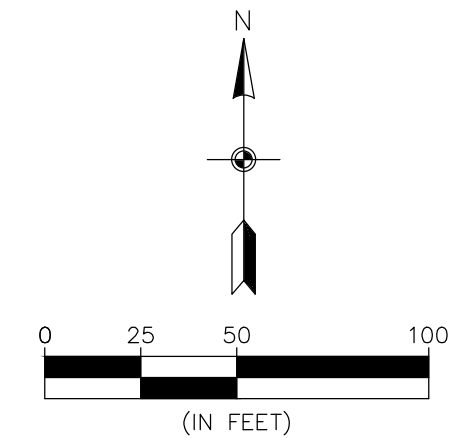
LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
BITUMINOUS PAVEMENT	----	----
CONCRETE WALK	----	----
CURB LINE	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
WATER MAIN	---	---
ENVIRONMENTALLY SENSITIVE AREAS	---	---
EXEMPT AREAS (ROW / EASEMENT)	---	---
BASIC USE AREA	---	---
WETLAND	---	---
FLOODPLAIN	---	---
SILT FENCE	---	---

TREE SYMBOL KEY

	SAVE	REMOVE
DECIDUOUS TREE	● TAG #	✕ TAG #
CONIFEROUS TREE	● TAG #	✕ TAG #

- TREE PRESERVATION NOTES**
- TREE SURVEY FIELD WORK COMPLETED BY CARLSON ENGINEERING ON 11/04/25.
 - EXEMPT AREAS FOR MITIGATION INCLUDE EXISTING GASLINE EASEMENT ALONG WEST BOUNDARY AND DEDICATED RIGHT-OF-WAY FOR 20TH AVENUE S.
 - WETLAND 5 (SOUTHEAST CORNER OF SITE) IS CLASSIFIED AS 'MANAGE 1' AND INCLUDES A 50 FOOT 'BUFFER' AS NATURAL RESOURCE ENHANCEMENT AREA. ALL OTHER WETLANDS ARE CLASSIFIED AS 'MANAGE 2' AND INCLUDE A 30 FOOT 'BUFFER' AS NATURAL RESOURCE ENHANCEMENT AREA.
 - NO NATURAL RESOURCE CONSERVATION AREAS EXIST ON SITE.
 - UNDESIRABLE SPECIES INCLUDING EASTERN COTTONWOOD, SILVER MAPLE AND COLORADO BLUE SPRUCE ARE EXEMPT FROM MITIGATION.
 - EXISTING TREE CONDITION RATED 0-3 AS DEFINED BELOW. TREES WITH A CONDITION OF 0 OR 1 ARE EXEMPT FROM MITIGATION.
 - 0 - DEAD
 - 1 - UNHEALTHY / DYING, MAJOR STRUCTURAL DAMAGE OR DISEASE
 - 2 - HEALTHY BUT SOME MINOR DAMAGE OR POOR GROWTH HABIT
 - 3 - HEALTHY TREE, NO CONCERNS
 - SEE SHEET T4 FOR TREE INVENTORY, REMOVALS, AND MITIGATION REQUIREMENTS.



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Print Name: Ryan J. Rutger, RLA
Signature: *[Signature]*
Date: 01/02/26 License #: 56346

Drawn: RJR
Designed: RJR
Date: 01/02/26

Revisions:
1.

TCLD LAND HOLDINGS, LLC
4800 Olson Memorial Hwy - #100
Golden Valley, MN 55422



HARVEST GRANGE
Lino Lakes, MN

TREE PRESERVATION PLAN

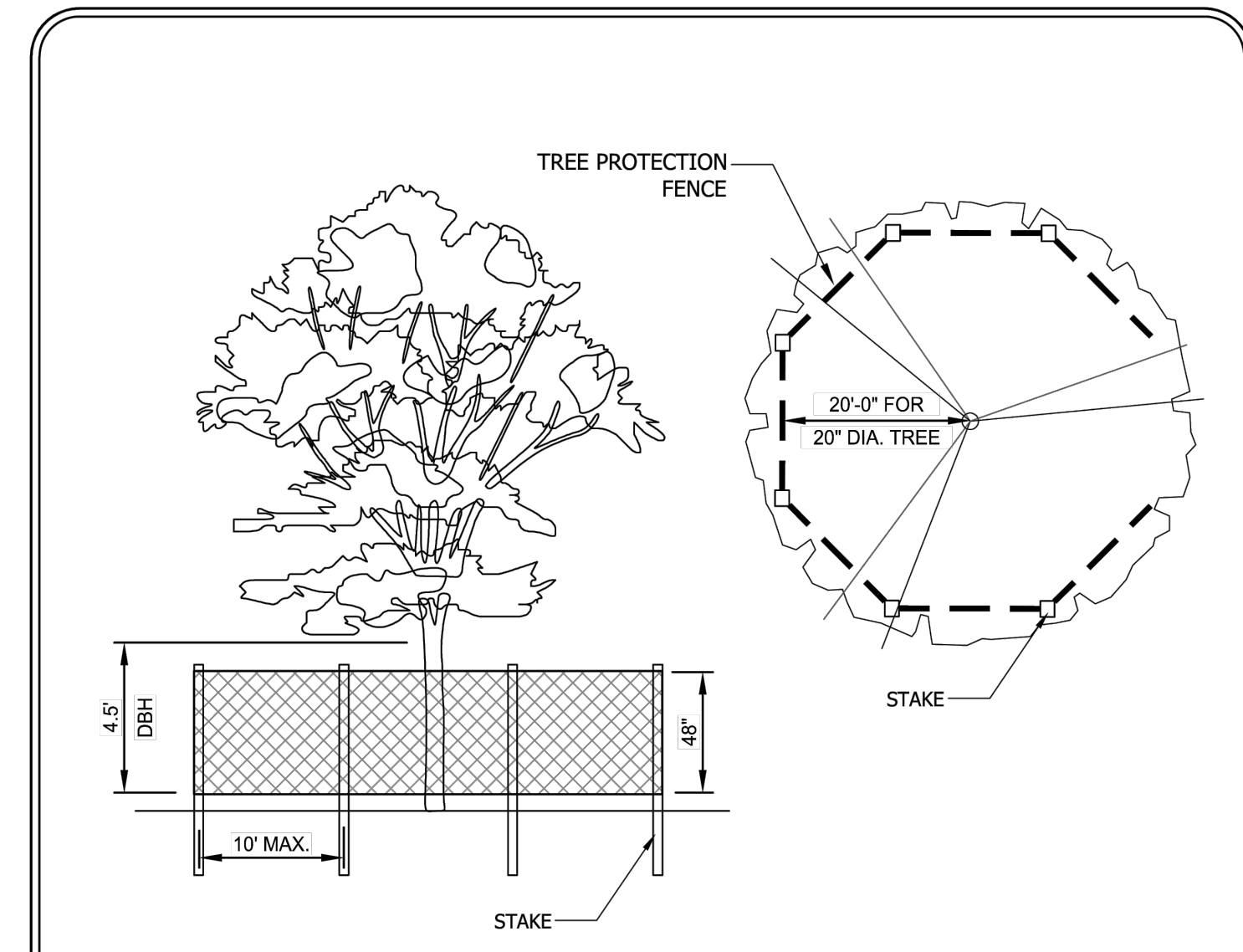
T1 of 4

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
BITUMINOUS PAVEMENT	▨	▨
CONCRETE WALK	▨	▨
CURB LINE	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
WATER MAIN	---	---
ENVIRONMENTALLY SENSITIVE AREAS	▨	▨
EXEMPT AREAS (ROW / EASEMENT)	---	---
BASIC USE AREA	---	---
WETLAND	▨	▨
FLOODPLAIN	---	---
SILT FENCE	---	---

TREE SYMBOL KEY

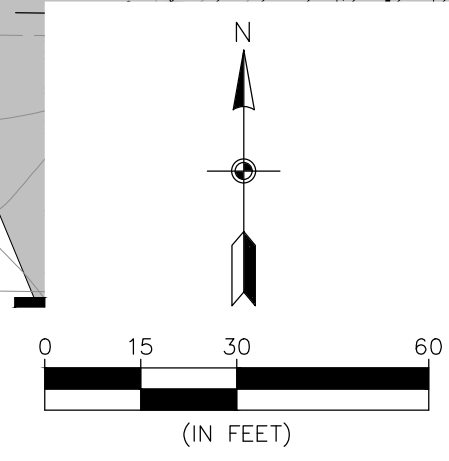
	SAVE	REMOVE
DECIDUOUS TREE	● TAG #	✕ TAG #
CONIFEROUS TREE	● TAG #	✕ TAG #



- Notes:
1. Tree protection fence shall be installed prior to any other construction activity taking place on site and shall not be removed until construction is complete.
 2. Fence shall be placed a minimum of 1 foot per caliper inch DBH (diameter at breast height, measured at 4.5' above grade) away from trunk of tree to be saved.
 3. Groups of trees may share a tree protection fence, provided the distances in note #1 can be maintained, and as approved by the City Forester.
 4. Fence shall be 48" orange safety fence, anchored with 6" metal t-posts or 2" by 2" wooden stakes placed a maximum of 10' apart. Substitutions in materials must be approved by City Forester.
 5. No grading, storage, parking, or any other vehicular traffic or construction activity shall occur within protection fence, including during fence installation and removal.
 6. If there are incursions into the tree protection zone, the trees may be deemed damaged by the City Forester. These trees may have to be mitigated by planting of additional trees.

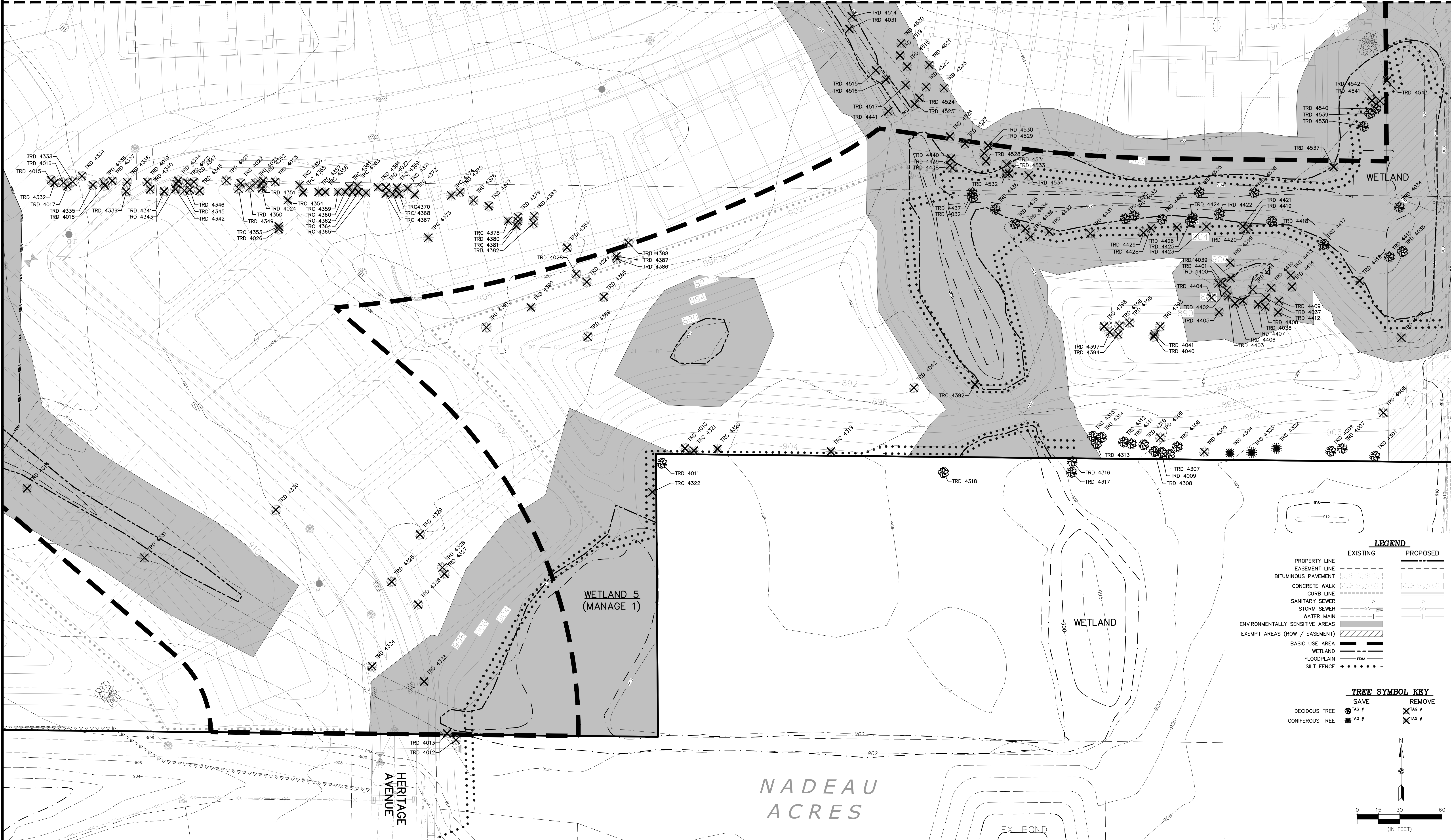
	TREE PROTECTION FENCE DETAIL	JANUARY, 2024
		GEN-27

MATCHLINE - SEE SHEET T3



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	(Save Date: 01/02/26; F:\jobs\11341 - 11350\11341 - rehbein neison parcels\cad_c3d\landscape\11341_tree_preservation.dwg)									

MATCHLINE - SEE SHEET T2

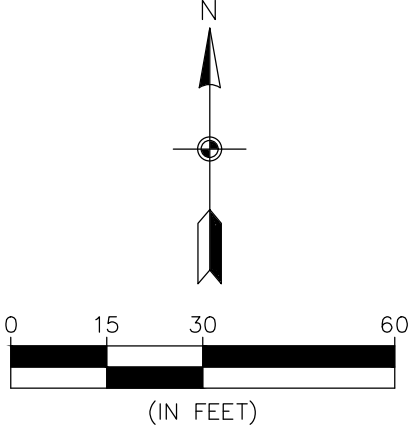


LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
BITUMINOUS PAVEMENT	---	---
CONCRETE WALK	---	---
CURB LINE	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
WATER MAIN	---	---
ENVIRONMENTALLY SENSITIVE AREAS	---	---
EXEMPT AREAS (ROW / EASEMENT)	---	---
BASIC USE AREA	---	---
WETLAND	---	---
FLOODPLAIN	---	---
SILT FENCE	---	---

TREE SYMBOL KEY

	SAVE	REMOVE
DECIDUOUS TREE	○ TAG #	✕ TAG #
CONIFEROUS TREE	● TAG #	✕ TAG #



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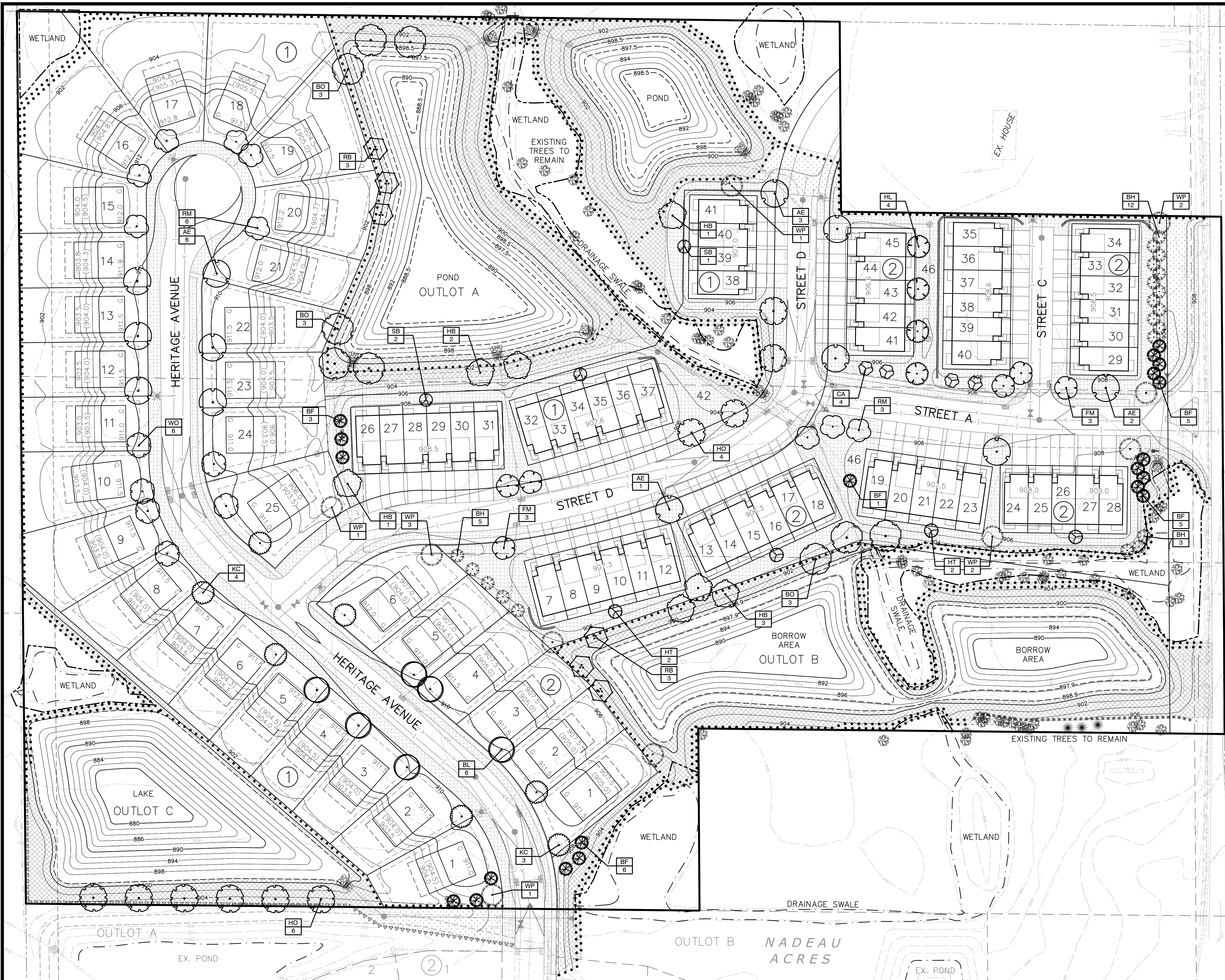
HG HARVEST GRANGE

HARVEST GRANGE
Lino Lakes, MN

TREE PRESERVATION PLAN

T3 of 4

Save Date: 01/02/26; F:\jobs\11341 - 11350\11343 - rehbein\neison\parcels\cad\3d\landscape\11343_tree_preservation.dwg

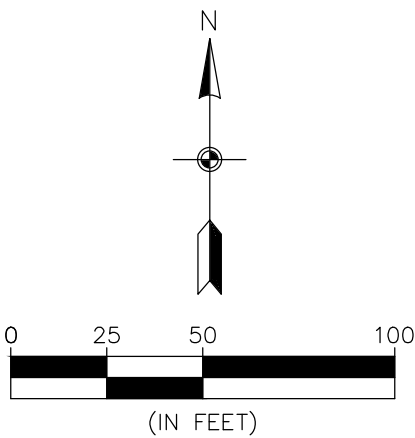


W CEDAR STREET

- CITY OF LINO LAKES LANDSCAPE REQUIREMENTS**
- OPEN AREA LANDSCAPE STANDARDS.** DISTURBED SITE AREAS INCLUDING STORMWATER MANAGEMENT AREAS AND COMMON AREAS IN MULTIFAMILY SITES. ONE (1) LARGE TREE AND TWO (2) LARGE SHRUBS ARE REQUIRED PER 2,500 SQUARE FEET OF OPEN SPACE (ABOVE NORMAL WATER LEVEL). ONE LARGE TREE MAY BE SUBSTITUTED FOR EVERY TWO LARGE SHRUBS IN LIEU OF THE SHRUB REQUIREMENT.
TREES REQUIRED = 90 (223,192 SF EXCLUDING PONDS & WETLANDS / 2,500)
TREES PROVIDED = 90 (INCLUDES MITIGATION TREES PER #4 BELOW)
 - BUFFER AND SCREEN STANDARDS.** SCREENING CONSISTING OF 6FT TALL FENCE OR PLANTING SCREEN REQUIRED BETWEEN RESIDENTIAL USES AND ARTERIAL OR COLLECTOR STREETS (20TH AVENUE S). ALL PLANTING SCREENS SHALL REQUIRE AT A MINIMUM A DOUBLE ROW OF PLANTS WITH TRIANGULATED SPACING.
TREES REQUIRED = NA
TREES PROVIDED = 28 (INCLUDED WITH OPEN AREA LANDSCAPE TREES)
 - BOULEVARD TREE STANDARDS.** BOULEVARD TREES ARE REQUIRED AT THE RATE OF ONE TREE PER LOT FRONTAGE FOR SINGLE FAMILY AND TWO-FAMILY LOTS. TOWNHOME AND MULTI-FAMILY PROPERTIES SHALL PROVIDE BOULEVARD TREES AT A RATE OF ONE TREE PER 70 LINEAR FEET OF STREET FRONTAGE WHERE PROPERTY FRONTS ANY PUBLIC STREET. BOULEVARD TREES SHALL BE PLANTED WITHIN 14 FEET OF THE CURB LINE OR AS OTHERWISE DETERMINED BY THE CITY FORESTER.
TREES REQUIRED = 53 (31 LOTS, INCLUDING 2 CORNER LOTS & 1,378 LF TOWNHOME FRONTAGE / 70)
TREES PROVIDED = 53
 - TREE PRESERVATION AND MITIGATION STANDARDS.** REFER TO TREE PRESERVATION PLAN FOR MITIGATION REQUIREMENTS. REPLACEMENT TREES SHALL BE PLANTED ON SITE AND MAY ALSO FULFILL THE OPEN AREA LANDSCAPE STANDARDS.
TREES REQUIRED = 83 (PER TREE PRESERVATION PLAN)
TREES PROVIDED = 83 (INCLUDED WITH OPEN AREA TREES PROVIDED)
- TOTAL TREES REQUIRED = 143
TOTAL TREES PROVIDED = 143

- LANDSCAPE PLAN NOTES**
- EXISTING CONDITIONS.** CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION START. ANY DISCREPANCIES FOUND THAT AFFECT THE WORK SHALL BE REPORTED TO THE OWNER/LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING OR APPROVING ANY ADDITIONAL WORK REQUIRED.
 - UTILITY LOCATES.** CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL PUBLIC AND PRIVATE UTILITIES, INCLUDING IRRIGATION LINES, AT LEAST 48 HOURS BEFORE EXCAVATING OR IN ACCORDANCE WITH STATE LAW. IN MINNESOTA, CALL COPPER STATE ONE-CALL AT 651-454-0002 FOR FIELD LOCATION OF PUBLIC UNDERGROUND UTILITY LINES. ALL LOCATES AND ITEMS NOTED AS "FIELD VERIFY" ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR AT THEIR EXPENSE.
 - PERMITS.** CONTRACTOR SHALL VERIFY WITH THE OWNER/LANDSCAPE ARCHITECT THAT THE REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION START. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
 - EXISTING ITEMS TO REMAIN.** CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING PAVEMENT, STRUCTURES, UTILITIES, TREES, SITE AMENITIES, ETC. THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DAMAGE (AT CONTRACTOR'S EXPENSE) TO EXISTING ITEMS TO REMAIN.
 - CONSTRUCTION STAGING AND ACCESS.** CONTRACTOR SHALL VERIFY THE LOCATION FOR CONSTRUCTION STAGING AND SITE ACCESS WITH THE OWNER/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PEDESTRIAN AND VEHICLE ACCESS WITHIN AND ADJACENT TO THE SITE THROUGHOUT THE CONSTRUCTION PERIOD UNLESS OTHERWISE NOTED. LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE PERMITTED. ALL WASTE AND/OR UNUSED MATERIAL SHALL BE PROMPTLY REMOVED FROM THE SITE.
 - SITE REMOVALS.** REFER TO CIVIL PLANS FOR GENERAL SITE REMOVALS. ALL ITEMS NOTED TO BE REMOVED SHALL BE COMPLETED BY THE CONTRACTOR AND IMMEDIATELY DISPOSED OF OFF-SITE, IN ACCORDANCE WITH LOCAL REGULATIONS, UNLESS OTHERWISE NOTED. COORDINATE WITH OWNER/LANDSCAPE ARCHITECT FOR ANY ITEMS NOTED AS "REMOVED BY OTHERS" OR "REMOVE AND SALVAGE."
 - UTILITY COORDINATION.** REFER TO CIVIL PLAN SHEETS FOR INFORMATION RELATED TO PROPOSED UTILITIES. COORDINATE WITH ELECTRICAL CONTRACTORS FOR SITE ELECTRICAL WORK AND SITE LIGHTING.
 - CONSTRUCTION STAKING.** UNLESS OTHERWISE NOTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING CONTROL POINTS AND ALL CONSTRUCTION FIELD STAKING DURING THE COURSE OF THE PROJECT.
 - DIMENSIONS.** DIMENSIONS TAKE PRECEDENCE OVER SCALE. DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT/WALKWAY, OR OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - PLAN QUANTITIES.** CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MATERIAL QUANTITIES PER PLAN. MATERIAL SCHEDULES ARE PROVIDED SOLELY FOR CONTRACTOR'S CONVENIENCE.
 - REFERENCE SPECIFICATIONS.** THE FOLLOWING SPECIFICATIONS SHALL GOVERN THIS PROJECT ACCORDING TO THE FOLLOWING ORDER:
1. ADDENDA, WITH THOSE OF A LATER DATE HAVING PRECEDENCE OVER THOSE OF AN EARLIER DATE.
2. LANDSCAPE SPECIFICATIONS.
3. PLAN DRAWINGS.
4. PLANT / MATERIAL SCHEDULES.
5. CITY STANDARD SPECIFICATIONS AND DETAILS.
6. MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.

20TH AVENUE S. (C.S.A.H. 54)



CARLSON ENGINEERING
ENGINEERING
SURVEYING
PLANNING

3890 PHEASANT RIDGE DR NE
SUITE 100
BLAINE, MN 55449
TEL 763.489.7900
FAX 763.489.7959
CARLSON-ENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota

Print Name: Ryan J. Ruttiger, RLA
Signature: *[Signature]*
Date: 01/02/26 License #: 56346

Drawn: RJR
Designed: RJR
Date: 01/02/26

Revisions:
1.

TCLD LAND HOLDINGS, LLC
4800 Olson Memorial Hwy - #100
Golden Valley, MN 55422

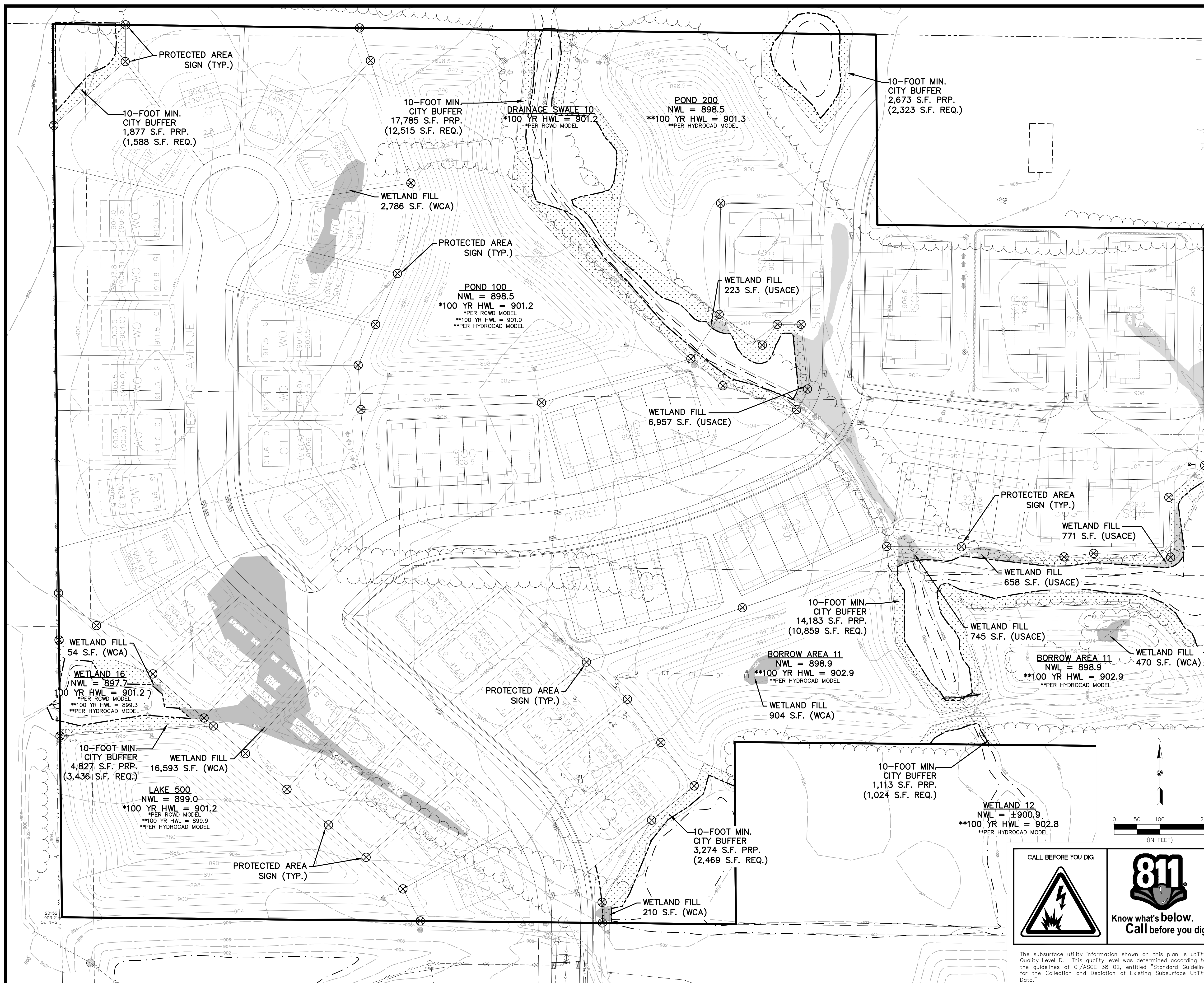


HARVEST GRANGE
Lino Lakes, MN

PRELIMINARY LANDSCAPE PLAN

L1 of 2

Save Date: 01/02/26; F:\Jobs\11341 - 11350\11343 - rehbein neison\parcels\cad\landscape\11341_landscape.dwg



LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT LINE	---	---
CURB LINE	---	---
BITUMINOUS	---	---
CONCRETE	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
WATER MAIN	---	---
OVERHEAD UTILITY	---	---
STORM CATCH BASIN	---	---
STORM MANHOLE	---	---
OUTLET CONTROL STRUCTURE	---	---
MANHOLE	---	---
HYDRANT	---	---
GATE VALVE	---	---
TELEVISION BOX	---	---
TELEPHONE BOX	---	---
UTILITY POLE	---	---
RETAINING WALL	---	---
FENCE	---	---
10' CONTOUR	---	---
2' CONTOUR	---	---
FEMA FLOOD PLAN	---	---
WETLAND LINE	---	---
USACE WETLAND LINE	---	---
SPOT ELEVATION	---	---
EMERGENCY OVERFLOW	---	---
SILT FENCE	---	---
TREE FENCE	---	---
GRADING LIMITS	---	---
TREELINE	---	---
SOIL BORING	---	---
FEMA FLOODPLAIN	---	---
RCWD FLOODPLAIN	---	---
PROTECTED AREA SIGN (SEE DETAIL BELOW)	---	---

WETLAND SUMMARY

WETLAND FILL (WCA)	= 21,017 SF (0.48 AC)
WETLAND FILL (USACE)	= 16,273 SF (0.37 AC)
TOTAL WETLAND FILL	= 37,290 SF (0.86 AC)
CITY WETLAND BUFFER AREA	= 45,730 SF (1.05 AC)
REQUIRED CITY WETLAND BUFFER AREA	= 34,214 S.F. (0.79 AC)

CITY BUFFER WIDTH: 10' (ft) (NO AVERAGING)

PROTECTED OPEN SPACE AREA

Beyond this marker is a protected area of resource management features and natural ground cover abutting a watercourse, wetland or open space. Federal, State and local laws prohibit activities that could disturb this natural area and adjoining water bodies. Any alterations such as dumping, tilting, plowing, mowing and yard waste disposal are prohibited.

SPECIFICATIONS:

MONUMENT

CONSISTS OF A POST AND A PROTECTED OPEN SPACE SIGN

WETLAND BUFFER SIGNS

MOUNTED FLUSH WITH THE TOP OF THE POST FASTENED WITH NON-REMOVABLE SCREWS OR RIVETS SIZE: 5.5" H x 3.75" W ALUMINUM SHALL BE 5052-H38 OR 6061-T6 ALLOY. GAUGE SHALL BE 0.080

SIGN COLOR

COLOR SHALL BE GREEN AND BLUE LETTERS ON A WHITE BACKGROUND.

POST MATERIALS

4" x 4" SQUARE
TREATED WOOD OR OTHER CITY APPROVED MATERIAL

POST INSTALLATION

MOUNTED TO A HEIGHT OF FOUR FEET ABOVE GRADE SET AT LEAST 42 INCHES IN THE GROUND INSTALLED AT EACH LOT LINE WHERE IT CROSSES A WETLAND BUFFER WITH A MAXIMUM SPACING OF 300 FEET BETWEEN SIGNS (IF NO BUFFER IS REQUIRED THE MONUMENT SHALL BE AT THE EDGE OF THE WETLAND).

PLACE ADDITIONAL POSTS AS NECESSARY TO FOLLOW BUFFER CONTOUR LINE

DIGITAL COPY OF SIGN AVAILABLE FROM ENGINEERING DEPARTMENT

4 X 4 TREATED POST

WETLAND BUFFER SIGN JANUARY, 2024
GEN-22

CALL BEFORE YOU DIG

811

Know what's below.
Call before you dig.

The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of CI/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."

CARLSON ENGINEERING

ENGINEERING SURVEYING PLANNING

3890 PHEASANT RIDGE DR NE SUITE 100
BLAINE, MN 55449
TEL 763.489.7900
FAX 763.489.7959
CARLSON-ENGINEERING.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystofiak, P.E.
Signature: *Brian J. Krystofiak*
Date: 01/02/26 License #: 25063

Drawn: GIS
Designed: BJK
Date: 01/02/26

Revisions: 1.

TCLD LAND HOLDINGS, LLC
4800 Olson Memorial Hwy - #100
Golden Valley, MN 55422

HARVEST GRANGE
Lino Lakes, MN

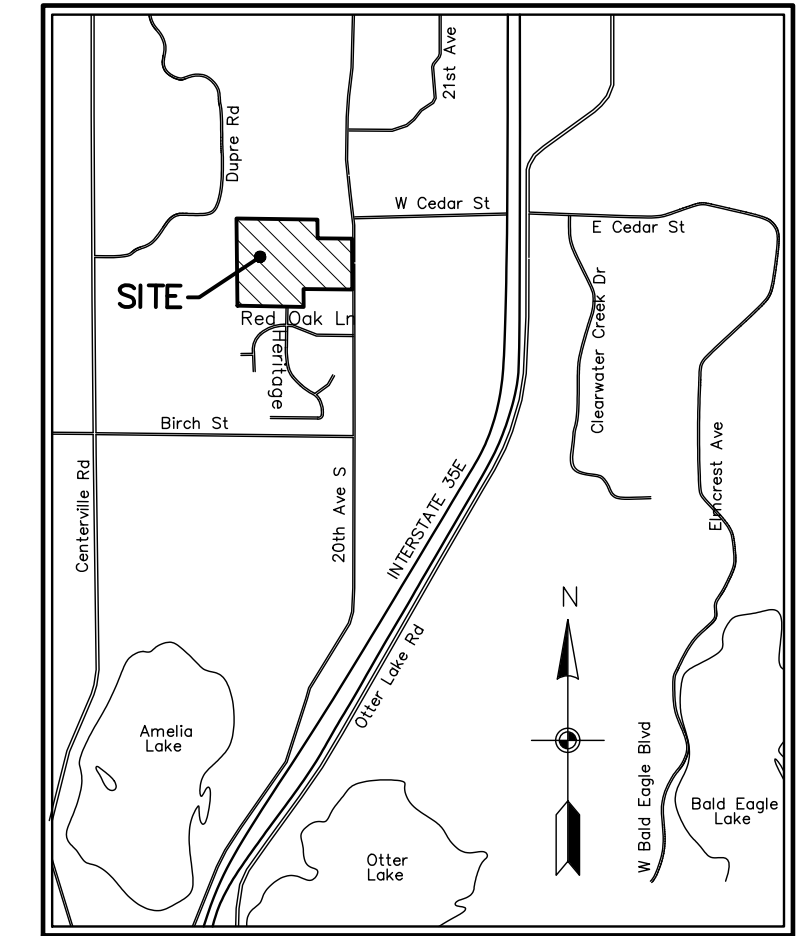
WETLAND BUFFER EXHIBIT

W1 of 9

Page 82 of 105

HARVEST GRANGE

LINO LAKES, MINNESOTA



VICINITY MAP
NOT TO SCALE

SOIL BORINGS
HAUGO GEOTECHNICAL SERVICES
2825 CEDAR AVE. S.
MINNEAPOLIS, MN 55407
(612)729-2959

WETLANDS
KJOLHAUG ENVIRONMENTAL SERVICES COMPANY
26105 WILD ROSE LANE
SHOREWOOD, MINNESOTA 55331
(952)401-8757

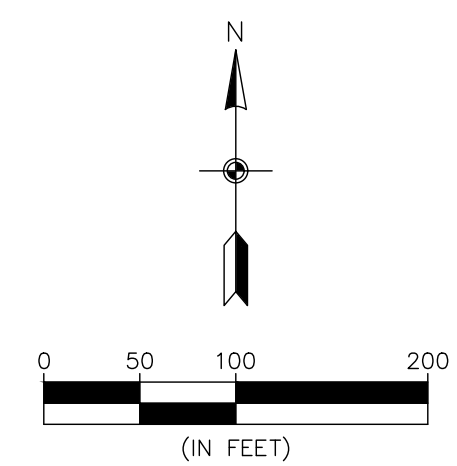
OWNER CONTACT
M/I HOMES OF MINNEAPOLIS, LLC.
5354 PARKDALE DRIVE #100
ST. LOUIS PARK, MN 55416
(763)586-7200

LEGEND

- LAKE/BORROW AREA (NWL)
- STORM PONDS
- WETLANDS (REMAINING)
- SINGLE FAMILY LOTS
- TOWNHOME LOTS
- PUBLIC OPEN SPACE
- PRIVATE OPEN SPACE
- PRIVATE OPEN SPACE ROADWAY

SITE DATA

TOTAL SITE AREA	±24.98 AC.	TOTAL NUMBER OF LOTS/UNITS	89
TOTAL ROW AREA	±4.09 AC.	SINGLE FAMILY LOTS	31
WATER AREA	±3.36 AC.	TOWNHOME LOTS	55
WETLANDS (REMAINING)	±1.47 AC.	TOWNHOME COMMON LOTS	3
*LOT AREA & ROW NOT INCLUDED		MINIMUM RESIDENTIAL SETBACK DATA:	
STORM PONDS	±1.89 AC.	FRONT	25 FT.
TOTAL OPEN SPACE	±8.00 AC.	SIDE (GARAGE)	10 FT.
PUBLIC OPEN SPACE	±5.50 AC.	SIDE (HOUSE)	10 FT.
PRIVATE OPEN SPACE	±2.39 AC.	SIDE CORNER	25 FT.
PRIVATE OPEN SPACE RDWY	±0.11 AC.	REAR SETBACK	25 FT.
TOTAL LOT AREA	±9.53 AC.	MINIMUM TOWNHOME SETBACK DATA:	
		FRONT	30 FT.
		SIDE (BETWEEN BUILDINGS)	20 FT.
		SIDE CORNER	25 FT.



CARLSON ENGINEERING ENGINEERING SURVEYING PLANNING
3890 PHEASANT RIDGE DR NE SUITE 100 BLAINE, MN 55449
TEL 763.489.7900 FAX 763.489.7959 CARLSON-ENGINEERING.COM

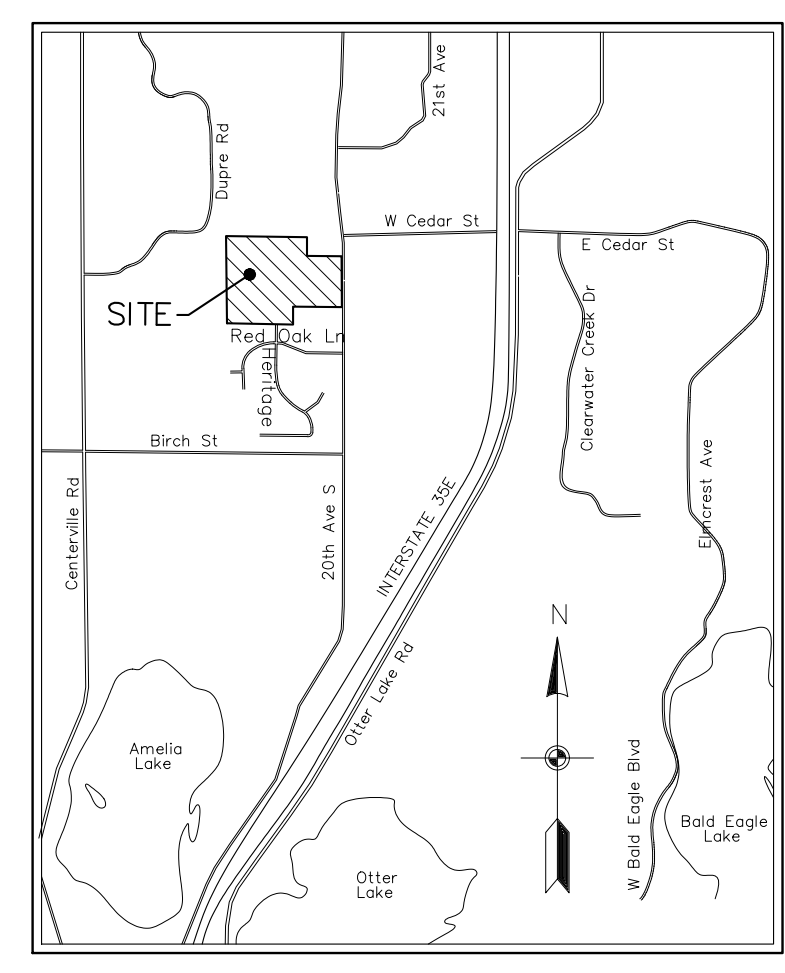
Revisions:
1.

TCLD LAND HOLDINGS, LLC
1660 Hwy 100 South, Suite 400
St. Louis Park, MN 55416

NELSON/REHBEIN PARCELS
Lino Lakes, MN

LAND USE PLAN

Save Date: 01/08/26 1:\jpbs\11341 - 11350\11343 - rehbein nelson parcels\cad\c3d\engineering\exhibits\11343_land use.dwg



VICINITY MAP
NOT TO SCALE

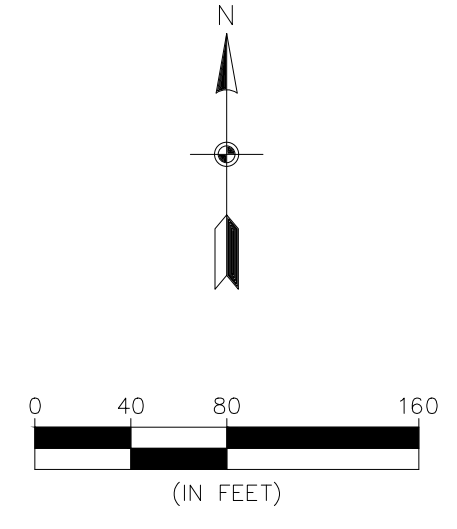
NON-DEVELOPABLE LAND

±1.56 AC.	WETLANDS (REMAINING)
0.00 AC.	DITCH
±0.78 AC.	ARTERIAL ROW
±0.63 AC.	UTILITY EASEMENT (WETLAND & BUFFER NOT INCLUDED)
±1.06 AC.	WETLAND BUFFER AREA
±2.63 AC.	FLOODPLAIN
±6.66 AC.	TOTAL

*CALCULATIONS EXCLUDE OVERLAPPING AREAS

DENSITY CALCULATIONS

±24.98 AC.	GROSS AREA
±6.66 AC.	NON-DEVELOPABLE AREA
±18.32 AC.	NET AREA (GROSS - NON-DEVELOPABLE)
86 UNITS	NUMBER OF UNITS
±3.44 UNITS/AC.	GROSS DENSITY (UNITS/GROSS)
±4.69 UNITS/AC.	NET DENSITY (UNITS/NET)



NET AREA EXHIBIT

HARVEST GRANGE
Lino Lakes, MN

TWIN CITIES LAND DEVELOPMENT
4800 Olson Memorial Hwy - #100
Golden Valley, MN 55422

REVISIONS

1.	10/8/2025	Revise Layout
2.	1/7/2025	Revise Layout
3.		
4.		
5.		
6.		

DRAWN BY: JJO
ISSUE DATE: 03/21/2025
FILE NO: XXX

REVIEW COPY

Memorandum

To: Katie Larsen, Lino Lakes City Planner

From: Kris Keller PE, WSB
Diane Hankee PE, Lino Lakes City Engineer

Date: February 4, 2025

Re: Harvest Grange (formerly Nelson-Rehbein) Parcels
Preliminary Plat Review
028815-000

WSB's review of the Preliminary Plat for the **Harvest Grange (formerly Nelson-Rehbein)** development in Lino Lakes, MN, prepared by Carlson Engineering and received January 13, 2026. Our comments were made on the following documents:

- Harvest Grange – Preliminary Plat Submittal prepared by Carlson Engineering, dated January 2, 2026.

The following review comments should be responded to in writing by the applicant.

Engineering

- **General**

The Harvest Grange development includes approximately 25 acres west of 20th Avenue (CSAH 54), between Red Oak Lane and West Cedar Street. The current conceptual project proposes 31 single family lots and 57 Townhome lots (2 common) (88 lots total) and associated infrastructure.

- **Grading**

The Harvest Grange development includes site grading for the 88 lots/units as well as extensions of Heritage Avenue, and two other local public streets (Streets A and D) and a private street (Street C) that are yet to be named.

Comments

1. Remove 10' turf maintenance access route leg connecting to Heritage Avenue
2. Provide additional 10' turf maintenance access route leg connecting to Street D
3. 10' turf maintenance access routes shall be in minimum 20' easement
4. Provide grading for a future trail on the West side of 20th Ave (CSAH 54)
5. See additional red line comments on plan sheets

- **Stormwater Management**

Stormwater management for the Harvest Grange site consists of a two sedimentation basins to provide rate control and water quality treatment. Additional grading is proposed for borrow material and floodplain fill mitigation. There is a significant amount of offsite flows from the east and south that will be passed through the site via an existing ditch system. Existing and proposed discharge rates are summarized below.

Pre- and Post- Development Discharge Rates (cfs)				
Condition	2-Year	10-Year	100-Year	10-Day Snowmelt
Existing	30.62	64.80	129.01	Needed if basins landlocked
Currently Proposed	11.84	28.74	67.10	Needed if basins landlocked

Comments

1. More detailed utility design will be required in future submittals to review constructability and conflicts. More comments may be generated at that time.
2. Show the EOF location and elevation for pond 13P on the grading plan. Ensure there is sufficient freeboard to the proposed townhomes to the west.
3. Stormwater reuse calculations should include the RCWD-specific reuse spreadsheet.
4. Confirm no water appropriation permit is needed from the MN DNR due to potential groundwater withdrawal in basin 11 for irrigation needs.
5. Deconflict storm sewer and proposed trees to the extent practical, overlap of planting can result in root intrusion long-term, especially where trees are proposed near structures.
6. Review impacts of grading to drainage of existing culverts under 20th Avenue (CSAH 54)
7. Provide a rear yard drainage system to keep site water from draining on to adjacent private property at the westerly development line.
8. The existing ditch system needs to be cleared and cleaned out and regraded with the project. Please incorporate into the final construction plans accordingly.

- **Water Supply**

Water supply for the Harvest Grange development will be served by an existing 16-inch diameter trunk watermain along 20th Avenue (CSAH 54) that will be looped through the site to an existing 8" diameter watermain within Heritage Avenue. Otherwise, the development will include a water system with predominately 8- inch diameter ductile iron pipe (DIP) water main with 1-inch Type K copper services being extended to each lot. An additional water stub will be extended to the north along Street D for looping and future development.

The development is in the City's Drinking Water Study Management Area and has moderate vulnerability and would be subject to those requirements.

The City's water system has the pumping capacity to supply the proposed project. However, due to the City's limited firm capacity each project is being evaluated on a case-by-case basis to determine its impact on the system's peak day demand. Based on this evaluation the projected use falls within our available firm capacity.

Comments

1. Additional review required for placement of utility services and future plan and profile sheets
 - a. Identify potential utility conflicts and proposed solutions
2. Applicant to verify water pressure is adequate for all locations within the development. All proposed units are required to be on the municipal water supply.
3. See additional red line comments on plan sheets

• **Sanitary Sewer**

Sanitary sewer collection for the Harvest Grange development will be served by the existing 8-inch polyvinyl chloride (PVC) sanitary sewer within Heritage Avenue and will be extended north to serve the site. The site will be served along with 4-inch Schedule 40 PVC service pipe to each lot. An additional sanitary sewer stub will be extended to the north along Street D.

Comments

1. See additional red line comments on plan sheets

• **Transportation**

The Harvest Grange property is adjacent to 20th Avenue (CSAH 54) which is A-Minor Arterial Reliever, Heritage Avenue and Red Oak Lane, which are local roads. The applicant is showing connections with the right of way to Heritage Avenue in the south portion of the development and 20th Avenue (CSAH 54) in the east portion as a right-in, right-out access. In the future when a connection to Cedar Street can be completed, the right-in, right-out access may be closed per Anoka Co.

A traffic study has been completed for the proposed development. The Level Of Service analysis of intersection capacity meets the City's Ordinance. The proposed traffic volume increase on local roads is well within the capacity of the roadway. The City of Lino Lakes' Transportation Plan details the importance of neighborhood street connections.

Trails and sidewalks

Additional trails and sidewalks will be required along the interior and connector roads as directed by the City Planner.

Comments

1. Traffic study comments are included as a separate PDF. Major comments include:
 - a. Clarify that no detour was present at the 20th Ave/ Birch St intersection when counts were collected
 - b. Clarify letter grades shown in the tables
 - c. Are there other future developments west of 20th Ave that will utilize the Cedar Street or Red Oak Lane intersections?
 - d. Provide full intersection analysis results in the Appendix
2. The traffic study meets the requirements outlined in City ordinances and the ten-year forecast review of 2040. The build (with development traffic) scenario does not decrease letter grades compared to the no build scenario.
3. Anoka County to verify turn lane requirements at the temporary right-in, right-out.
4. Verify intersection sight distance requirements are met at the 20th Avenue and Street A intersection for eastbound right-turning vehicles.
5. Provide proposed signing and pavement marking on future site plans.
6. Provide a temporary cul de sac at the north end of Street D
 - a. Include type 3 barriers with future thru street sign
7. Provide street profiles with horizontal and vertical curves that meet 30 MPH stopping sight distance requirements

- **Landscaping**

A Landscape Plan for the Harvest Grange development has been submitted and is being reviewed by staff and the City's Environmental Coordinator. The Environmental Coordinator will provide separate additional comments.

Comments

1. Deconflict storm sewer and proposed trees to the extent practical, overlap of planting can result in root intrusion long-term, especially where trees are proposed near structures.

- **Floodplain**

The site includes ~5% Zone A Floodplain. The Base Flood Elevation is currently shown as 901.18 per RCWD and will need to be approved by FEMA but, typically, the RCWD elevation is accepted by FEMA. A LOMR will ultimately be required as well as applicable floodplain mitigation prior to the issuance of building permits for affected lots. The CLOMR-F application will need to be submitted along with and part of the final plat approval. The floodplain cut and fill figure indicates a net increase in floodplain volume, this must be maintained for RCWD and FEMA floodplain permitting.

- **Drainage and Utility Easements**

Roadways are proposed within right-of-way and lots include standard drainage and utility easements. Larger drainage and utility easements will be required to be provided over any utilities outside the right of way and any surface water management features. The

western 60' feet of CSAH 54 should be dedicated as right of way to Anoka County as well as an additional trail easement.

Conservation easements will be required over wetlands. Standard side yard drainage and utility easements and easements over public utilities will be required.

Comments

1. Street A to be public with dedicated right of way
2. Additional drainage and utility easement will be required for utilities outside the right of way that meet a 1:1 slope with the utility invert and a minimum of 20' width
3. Note additional lot restrictions due to western 35' power line easement

- **Development Agreement**

A development agreement will be required with the final plat.

- **Grading Agreement**

Grading agreement not required at this time.

- **Stormwater Maintenance Agreement**

The surface water maintenance for public facilities (Pond 100 and 200) in the Harvest Grange development will be covered under the City's Programmatic Stormwater Management Agreement after the facilities have been installed and accepted by the City.

The surface water maintenance of the ditch and borrow areas will be maintained by the HOA and a Declaration for Maintenance of Stormwater Facilities will be required. Both the Rice Creek Watershed District (RCWD) and the City of Lino Lakes shall be parties to the Declaration.

- **Permits Required**

Required permits will be determined at the time of preliminary plat submittal. Potential permits may include some of the following and others:

1. NPDES General Construction Permit
2. City of Lino Lakes Zoning Permit for Construction
3. Minnesota Pollution Control Agency Sanitary Sewer Extension Permit
4. Minnesota Department of Health
5. Rice Creek Watershed District Permit
6. Anoka County Right-of-Way Permit
7. FEMA CLOMR and LOMR

If you or the applicant have any questions regarding these comments, please contact Kris Keller at (612) 419-3083 or kkeller@wsbeng.com. You may also contact Diane Hankee at (651) 982-2430 or dhankee@linolakes.us.



Environmental Memo

To: Katie Larsen, City Planner

From: Tom Hoffman, Environmental Coordinator

Date: February 2, 2026

Re: Environmental Comments – Harvest Grange Preliminary Plat

The Environmental Board recommended the following at their January 28, 2026 meeting:

1. Stormwater management to be reviewed by City Engineer.
 - a. Use of stormwater for irrigation purposes for the site should be evaluated and if feasible, required as part of site development. Larger stormwater ponds constructed for fill should be evaluated for water reuse.
 - b. Infiltration is not feasible onsite.
2. Final wetland banking mitigation credits shall be submitted to the city with confirmation of the bank location.
3. Floodplain alterations shall be completed through RCWD and FEMA for any changes. Any LOMR-F should be completed by the developer to ensure property owners aren't required to obtain flood insurance.
 - a. Floodplain mitigation is being completed onsite and is meeting the required replacement ratio. Any changes within the floodplain or mitigation areas shall be submitted to the city and watershed for review.
4. Several green ash trees are shown in the tree inventory as being saved. Based on the widespread nature of EAB in Lino Lakes, the majority of Ash are infected or dead.
 - a. If the ash tree hasn't been treated for EAB in the past, removal should be evaluated as part of the project to limit dead trees and maintenance issues after home construction.
5. Seed mixes should be updated to MNDOT seed mix design numbers for final plans. Please provide more site-specific mixes for each location.
 - a. Native weed free seed mixes should be proposed to promote wildlife habitat and native ecosystems.

6. Low maintenance turf should be evaluated throughout the development. Ground covers should be drought resistant to reduce the need for irrigation use.
7. Plans show 10' turf maintenance area. 10' is not a large enough access area to provide future maintenance and trucking. Lot 25 block one should show maintenance access extending into the drainage and utility easement.
 - a. Turf is acceptable through the yards, but should be native ground cover along the basin and through outlot A.
 - b. Lot 38 of the town homes appears to have turf going into the buffer area along the drainage swale. Additional buffer should be provided where possible to enhance sediment and pollutant removal.
8. Provide maintenance access to manhole between lots 37 and 38. Between the retaining wall and drainage swale access for future maintenance looks difficult.
9. EOF's between the stormwater basins and drainage swale should be stabilized to prevent future maintenance and erosion concerns.
10. Confirm ownership and maintenance for the drainage swale, understanding is that the city would maintain pipe crossings conveying public drainage. The rest of the system would be privately owned.
11. Provide final calculations and plans for the water re-use irrigation system.
 - a. Include maps of green space to be irrigated.
 - b. Maintenance and Use agreements will need to be completed for water re-use.
12. The project will disturb more than an acre of soil and will be required to obtain an NPDES permit. Proof of permit shall be required before construction.
 - a. A SWPPP shall be required in additional submittals as required by the MPCA meeting sections 5.2-5.26
 - b. Final erosion and sediment control will be reviewed with future submittals
13. Tree removal should be completed in the fall or winter to minimize impacts to migrating or nesting bat populations



Anoka County
TRANSPORTATION DIVISION
Highway

Katie Larson
City of Lino Lakes
600 Town Center Pkwy
Lino Lakes, MN 55014-1182

February 03, 2026

RE: Preliminary Plat – Harvest Grange

Dear Katie,

We have reviewed the Preliminary Plat for Harvest Grange to be located west of CSAH 54 (20th Avenue) and north of Red Oak Lane within the City of Lino Lakes, and I offer the following comments:

- The proposed right of way along CSAH 54 should be sufficient for future reconstruction purposes (60 feet total right of way width west of CSAH 54)
- As proposed, the plat will introduce one new access point (one access in a temporary roadway easement) onto CSAH 54. This is acceptable as this right-in / right-out access is to be removed once a connection to Cedar Street can be made and a roundabout constructed at that location. Our preferred location for the access point is roughly centered between Cedar Street and Red Oak Lane, which is where this access is shown. A SB CSAH 54 right turn lane will be required to be constructed for the proposed right-in / right-out access.
- The right of access along CSAH 54 should be dedicated to Anoka County with exception for the proposed access point. Any other existing driveways and field entrances shall be removed, and the ditch section restored to match existing depth, slope, and grades.
- Internal site grading shall not commence until the requested ACHD Engineering plan approvals are received, and the applicable permits can be issued.
- Any utility relocation in the CSAH 54 right of way, will be required to be coordinated directly by the city/developer.
- Please note that no plantings or private signs will be permitted within the county right of way and care must be exercised when locating private signs, building, structures, plantings, berms, etc. outside of the county right of way, so as not to create any new sight obstructions for this section of CSAH 54.

The ACHD Engineering Plan Review process will apply to this site. The following items should be submitted to Camila Arenas, Engineer I, Camila.Arenas@anokacountymn.gov (checklist and payment information are available on our website: <https://www.anokacountymn.gov/4072/Development-Review>):

Our Passion Is Your Safe Way Home

1440 Bunker Lake Boulevard N.W. ▲ Andover, MN 55304-4005
Office: 763-324-3100 ▲ Fax: 763-324-3020 ▲ www.anokacounty.us/highway

Affirmative Action / Equal Opportunity Employer

- Construction plans (including turn lane plans)
- Utility relocation plans
- Traffic Control plans
- Grading and erosion control plans
- Drainage calculations – Note that the post-developed rate/volume of runoff must not exceed the pre-developed rate/volume of runoff for the 10-year critical design storm
- ACHD Design Requirements Checklist
- Engineering plan review fee (estimated at \$350.00)

Following completion of the ACHD Engineering Plan Review process, the contractor(s) who will be completing any work within the county right of way must begin the ACHD Permit process. One Street Access/Connection (\$400.00) must be obtained prior to the commencement of any construction. License permit bonding, methods of construction, design details, work zone traffic control, restoration requirements and follow-up inspections are typical elements of the permitting process. Contact Sue Burgmeier via phone at 763.324.3176 or via email at HighwayPermits@anokacountymn.gov for further information and to coordinate the ACHD Permit process.

Thank you for the opportunity to comment. Feel free to contact me if you have any questions regarding this review.

Sincerely,



Brandon Ulvenes
Civil Engineer II

xc: CSAH 22/Plats+Developments/2026
Jerry Auge, Assistant County Engineer
David Zieglmeier, County Surveyor
Sean Thiel, Traffic Engineering Manager
Sue Burgmeier, Traffic Technician
Camila Arenas, Engineer I

**PLANNING & ZONING BOARD
AGENDA ITEM 6C**

STAFF ORIGINATOR: Michael Grochala, Community Development Director

P & Z MEETING DATE: February 11, 2026

REQUEST: **PUBLIC HEARING.** Amending Comprehensive Plan to Provide for Municipal Utility Service to Public Works Building Site

CASE NUMBER: CPA2026-001

APPLICANTS: City of Lino Lakes

OWNERS: City of Lino Lakes

REVIEW SCHEDULE:

Complete Application Date:	NA
P & Z Board Meeting:	February 11, 2026
City Council Work Session	March 2, 2026
City Council Meeting:	March 9, 2026
60-Day Review Date:	N/A

BACKGROUND

The City is in the process of completing plans and specifications for a new Public Works building to replace the existing facility at 1189 Main Street. Constructed in 1971, the current buildings are substandard and no longer meet the operational needs of the City. This capital improvement project has been under consideration by the City Council for more than 15 years. A site analysis and needs study was completed in 2017, followed by an alternatives review in 2019. In 2025, the City retained Oertel Architects to design the new facility and RJM Construction to serve as construction manager. The design phase is nearing completion, with construction anticipated to begin in May 2026.

The existing facility is currently served by on-site well and sewage treatment systems. Following review of site constraints, high ground water table, facility operations and fire protection requirements, connection to municipal utilities is preferred option for potable water supply and wastewater disposal. Extension of municipal utilities to the site requires amendment to the 2040 Comprehensive Plan to change the properties Utility Staging Designation from Stage 3 (Post 2040) to Stage 1A (2018- 2025).

ANALYSIS

Existing Conditions

The existing public works facility is located on a 28-acre parcel, divided diagonally by a large wetland and floodplain complex. The property is currently served by onsite septic system and well. City Hall park is also located on the property. One softball field and the ice hockey rink will be removed as part of the project. Three new pickleball courts will be added as part of the improvements to the site.

The City published notice of the public hearing and proposed change in the official newspaper.

Land Use Plan

The site is currently guided public/semi-public in the 2040 Comprehensive Plan. No change is proposed.

Utility Staging Plan

The property currently lies within the Stage 3 Planned Service Area (Post 2040). The amendment proposes to change the City's property to Stage 1A Planned Service Area (2018 – 2025).

Sanitary Sewer

The public works property lies with sanitary sewer subdistrict 2C which is intended to be served by a future sanitary sewer lift station that pumps effluent to the sanitary sewer trunk line along Lake Drive (subdistrict 2B), west of the site. The City is proposing to construct a small pump station that will only service the proposed building. No additional areas of subdistrict 2C will be served by this line. Projected flows from the Public Works building will likely be rerouted to a future larger Lift Station serving subdistrict 2C when it develops. The balance of subdistrict 2C is not intended to develop until after 2040.

The limited flows from the public works station are within the available capacity and projected flows of Sewer District 2.

Water

A 12" water main will be extended from either 81st Avenue or Janes Avenue to service the site. The water main will serve as a future trunk line for service within district 2C and as a possible distribution line for a future well field near Public Works, identified in the City's comprehensive

plan. The planned water use of approximately 2.4 million gallons a year is within the available capacity of the existing system and our permitted annual appropriation.

In summary:

1. The 28 acre public works property will be changed from Stage 3 Planned Service Area to Stage 1A Planned Service Area on the Utility Staging Map.
2. No other properties outside of the existing Stage 1A area will be served by the proposed extension without an amendment to the City's Comprehensive Plan.
3. No utility service stubs will be provided to abutting properties outside of the Stage 1A Urban Service Area.

Consistency with the Comprehensive Plan

The proposed amendments are supported by and consistent with the Sanitary Sewer (Chapter 8) goals and policies as noted below:

Goal 1c. Provide for the capacity and extension of sanitary sewer to developed areas of the city currently served by on-site systems.

The proposed amendments are supported by and consistent with the Community Facilities (Chapter 11) goals and policies as noted below:

Goal 3. Maintain quality public facilities and the full complement of city services to the residents of Lino Lakes.

Findings of Fact

The following are Findings of Fact for the Comprehensive Plan Amendment:

1. The proposed 2040 Comprehensive Plan amendments are needed to provide municipal services to the City's Public Works Building.
2. The proposed staging plan changes are consistent with the policy text for the 2040 Comprehensive Plan.
3. The proposed amendment is consistent with Sanitary Sewer Plan planned infrastructure improvements and simply allows those improvements to occur earlier.
4. The proposed amendment is consistent with Water Supply Plan planned infrastructure improvements and simply allows those improvements to occur earlier.
5. The municipal utility service will be limited to the Public Works Building and no other properties outside of the Stage 1A Planned Service Area will be allowed to connect without an amendment to the Comprehensive Plan.
6. Municipal utility services are not being provided to any properties outside of the Stage 1A Planned Service Areas and no special assessments are proposed for properties abutting the proposed extension.

Next Steps

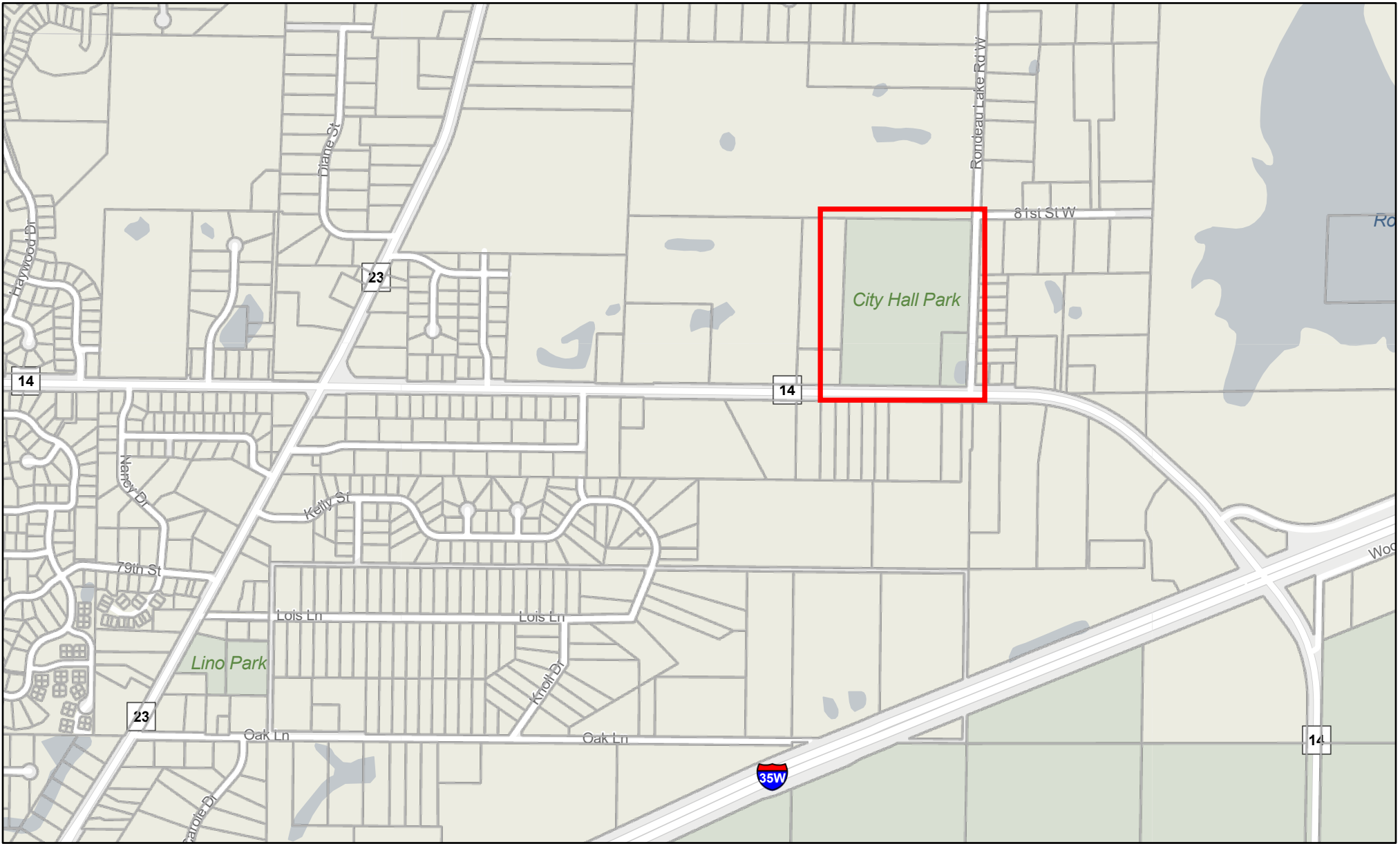
1. If the Comprehensive Plan Amendment is approved by the City, it will be submitted to the Metropolitan Council for review.

RECOMMENDATION

Staff recommends approval of the Public Works Building Comprehensive Plan Amendment.

ATTACHMENTS

1. General Location map
2. Site Constraints Map
3. 2040 Future Land Use Map
4. Existing 2040 Utility Staging Plan
5. Proposed 2040 Utility Staging Plan
6. Sewer Subdistrict and Utility Routing Map



1 in = 1,000 Ft

PUBLIC WORKS COMPREHENSIVE PLAN AMEMDMENT



GENERAL LOCATION MAP



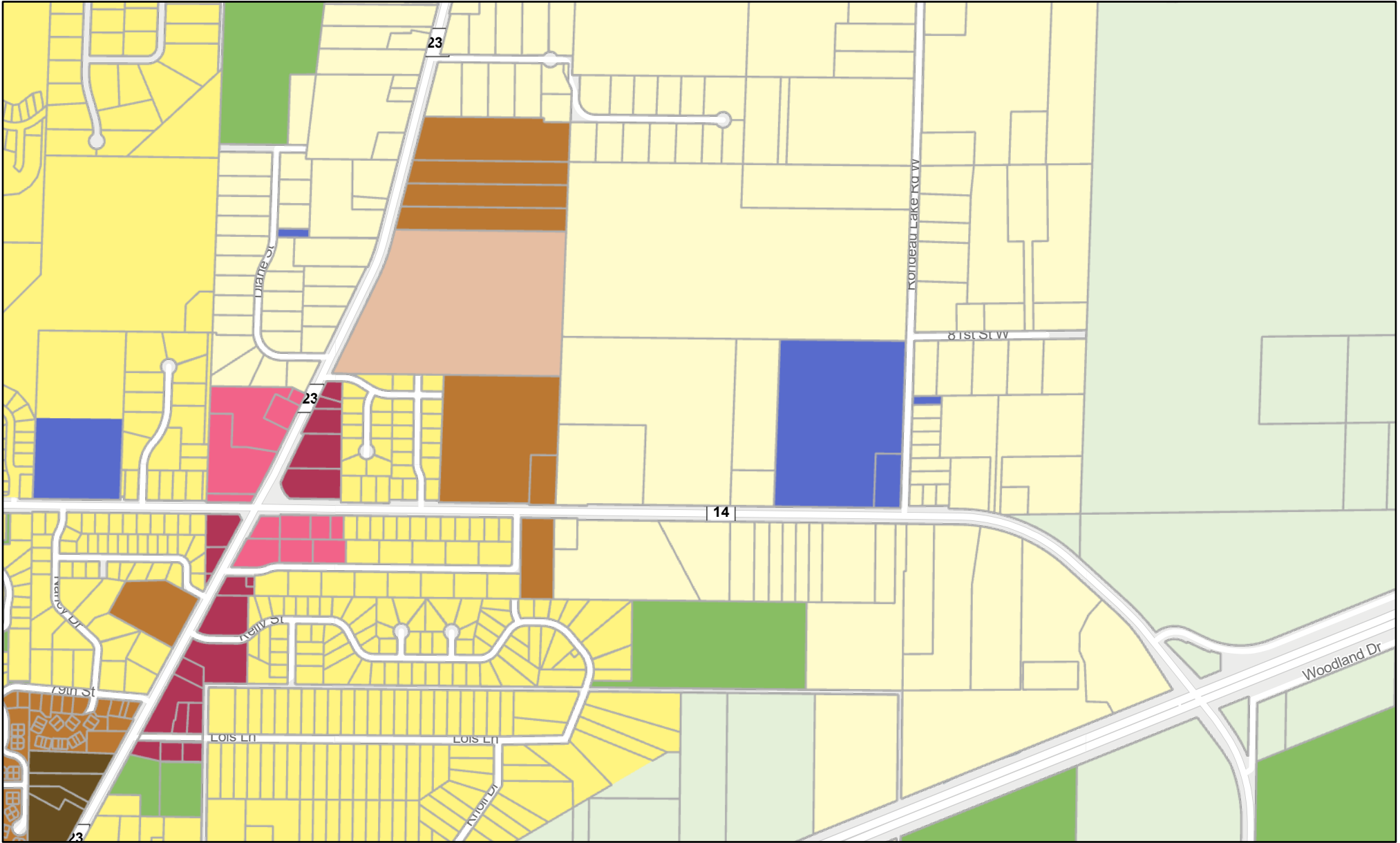
PUBLIC WORKS COMPREHENSIVE PLAN AMEMDMENT
SITE CONSTRAINTS MAP














1 in = 200 Ft

-  Parcels
-  Wetland Delineations
-  RCWD Floodplain

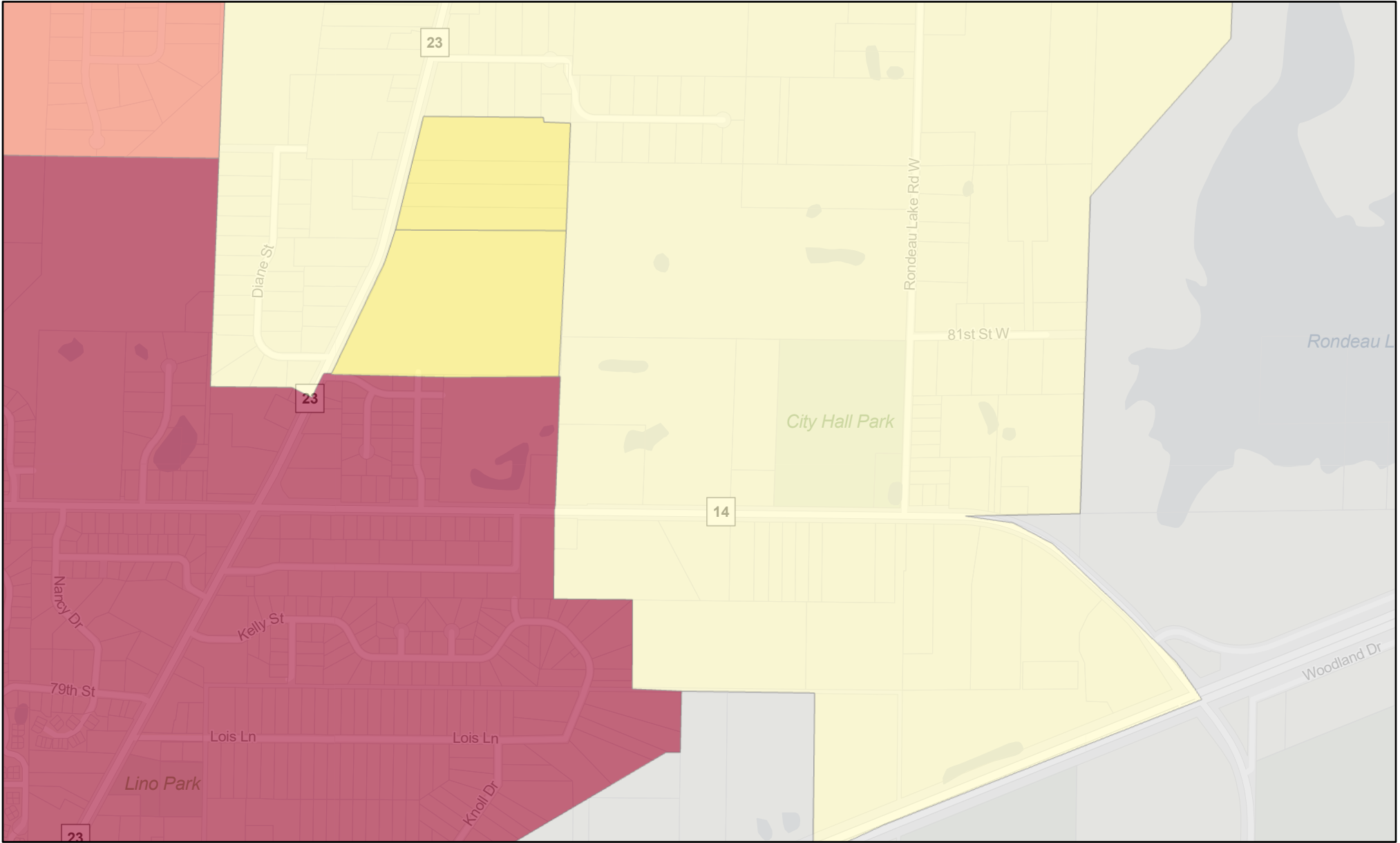




1 in = 1,000 Ft

- | | | |
|---|--|---|
|  Parcels |  Medium Density Residential |  Commercial |
|  Permanent Rural |  High Density Residential |  Civic and Institutional |
|  Urban Reserve |  Planned Residential / Commercial |  Parks and Open Space |
|  Low Density Residential |  Signature Gateway District | |



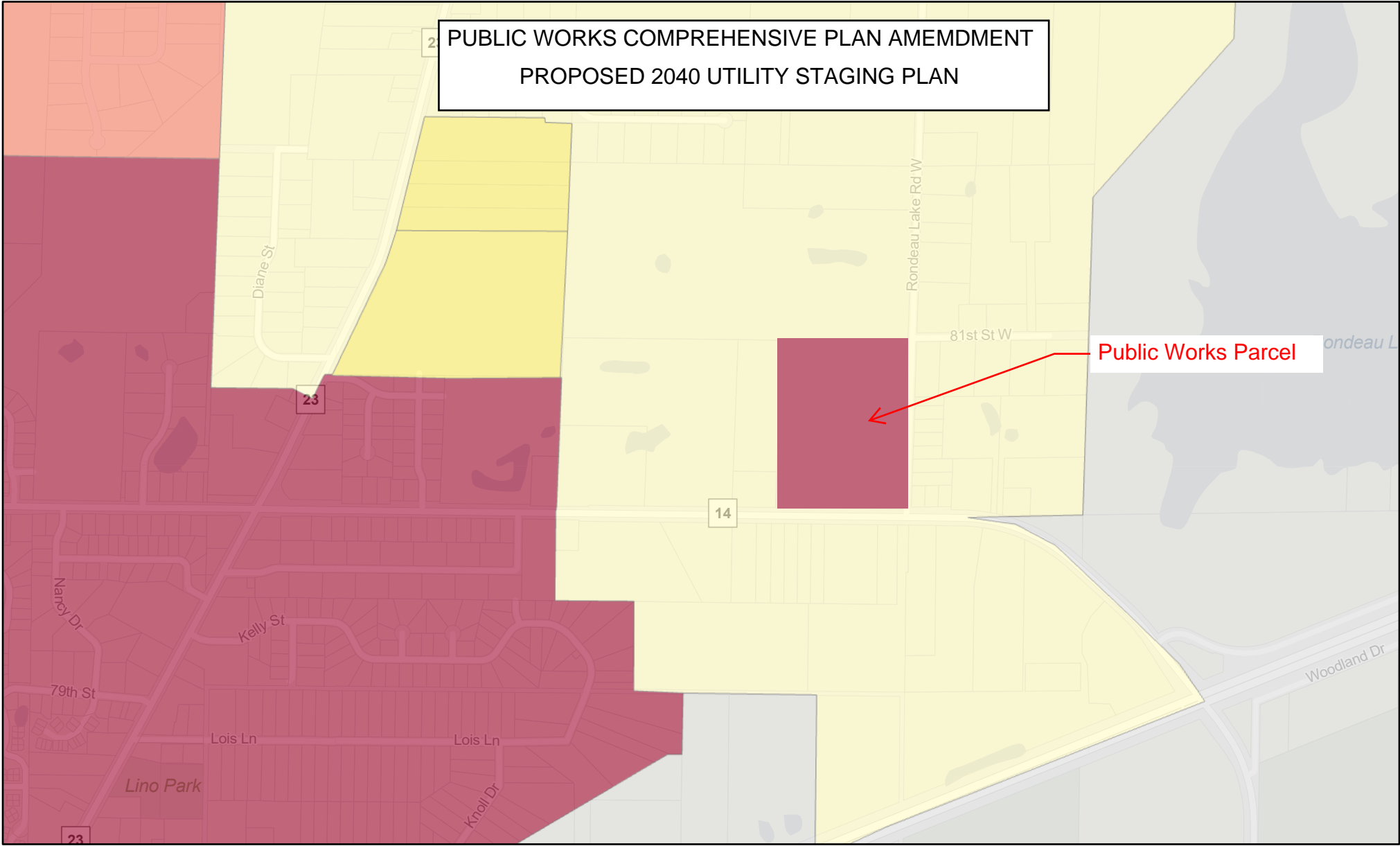


1 in = 1,000 Ft

- Stage 1A Planned Service Area (2018 - 2025)
- Stage 1B Planned Service Area (2025 - 2030)
- Stage 2B Planned Service Area (2035 - 2040)
- Stage 3 Planned Service Area (Post 2040)
- No Service

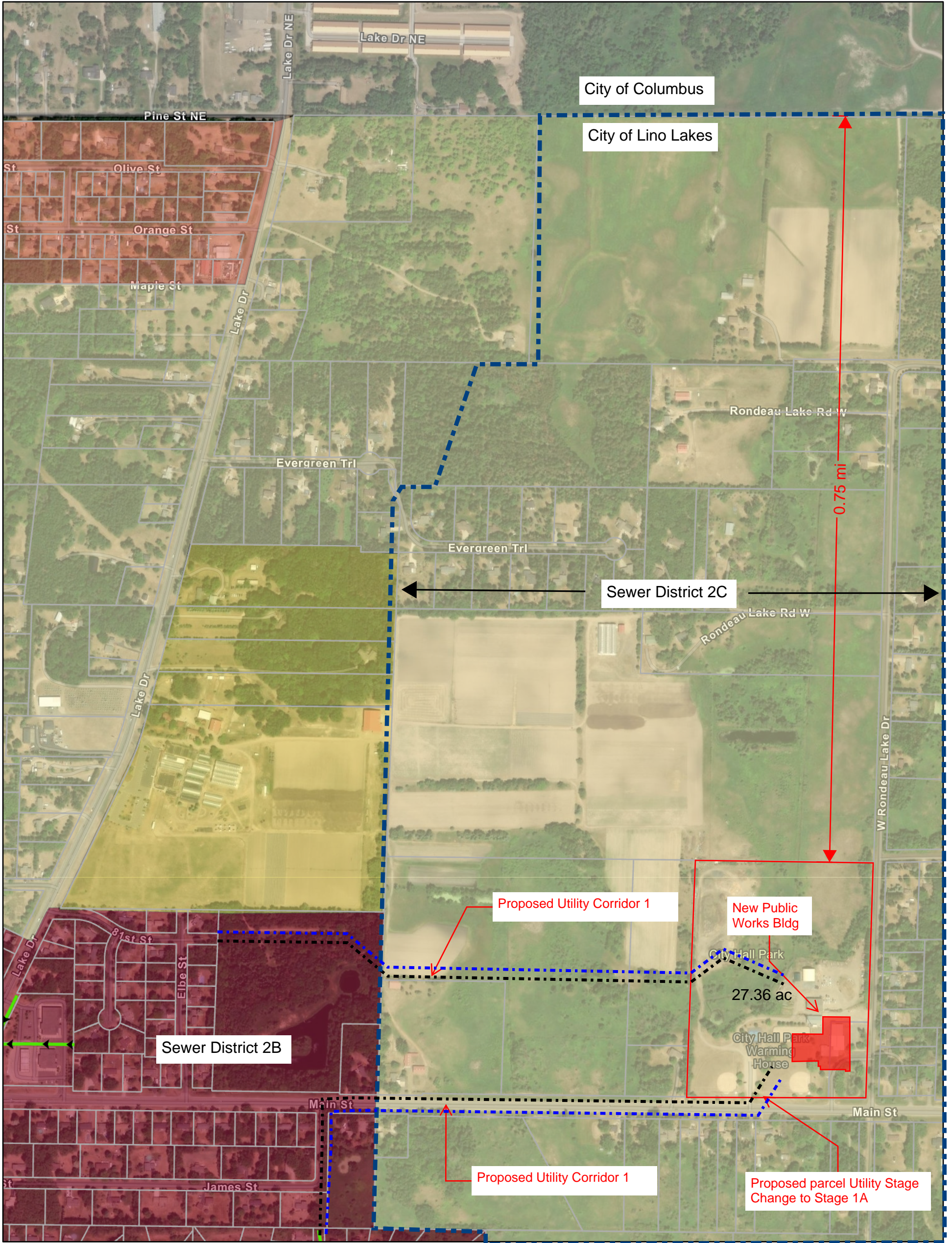









**PUBLIC WORKS COMPREHENSIVE PLAN AMEMDMENT
PROPOSED 2040 UTILITY STAGING PLAN**



- Stage 1A Planned Service Area (2018 - 2025)
- Stage 1B Planned Service Area (2025 - 2030)
- Stage 2B Planned Service Area (2035 - 2040)
- Stage 3 Planned Service Area (Post 2040)
- No Service





-  Sewer Gravity Mains
-  Parcels
-  Stage 1A Planned Service Area (2018 - 2025)
-  Stage 1B Planned Service Area (2025 - 2030)
-  Stage 2B Planned Service Area (2035 - 2040)
-  Stage 3 Planned Service Area (Post 2040)
-  City Mask

New Public Works Building
 1189 Main Street
 PIN: 04-31-22-44-0001

1 in = 500 Ft

2040 Land Use: Civic/Institutional
 Proposed 2040 Land Use: Civic/Institutional

Current 2040 Stage: Stage 3 (Post 2040)
 Proposed 2040 Stage: Stage 1A (2018-2025)

Proposed Building Size:
 92,054 SF
 24 SAC Units


 January 16, 2026
 Map Powered By Datafi



**PLANNING & ZONING BOARD
AGENDA ITEM 7A**

STAFF ORIGINATOR: Michael Grochala, Community Development Director

MEETING DATE: February 11, 2026

TOPIC: Lyngblomsten PUD Amendment #4 Mixed Use Concept

BACKGROUND

The Lyngblomsten Senior Community, located at the intersection of Hodgson Road and County Road J, received Planned Unit Development (PUD) approval in 2019. The approved plan included redevelopment of approximately 20 acres to accommodate senior rental townhomes, senior independent living apartments, assisted living/memory care, and a skilled nursing facility. Approximately five acres at the corner of Hodgson Road and County Road J were reserved for future commercial development.

Lyngblomsten recently obtained a PUD amendment modifying the skilled nursing facility from a two-story, double-wing design to a three-story, single-wing structure. Construction of the project is currently on hold.

Lyngblomsten is now considering a new proposal for the five-acre commercial corner. They intend to seek approvals for a four-story mixed-use building that would include first-floor commercial space with independent living units on the upper floors. This concept would require an amendment to the existing PUD.

At this time, no formal plans have been submitted. Staff is recommending an initial discussion with the Board to gather preliminary comments, questions, and concerns regarding the concept. Representatives from Lyngblomsten and their development team will attend the meeting to provide a high-level overview and engage in early dialogue with the Board.

The Economic Development Advisory Committee (EDAC) discussed the concept on February 5, 2026. There was general support the proposal.

PLANNING & ZONING BOARD CONSIDERATION

Discussion only to identify pros and cons and general acceptability of the proposal.

ATTACHMENTS

1. Existing Site Plan



CAMPUS SUMMARY:

96 INDEPENDENT LIVING (IL) UNITS
35 ASSISTED LIVING (AL) UNITS
16 MEMORY CARE (MC) UNITS
61 SKILLED CARE (SNF) UNITS
20 TOWNHOMES

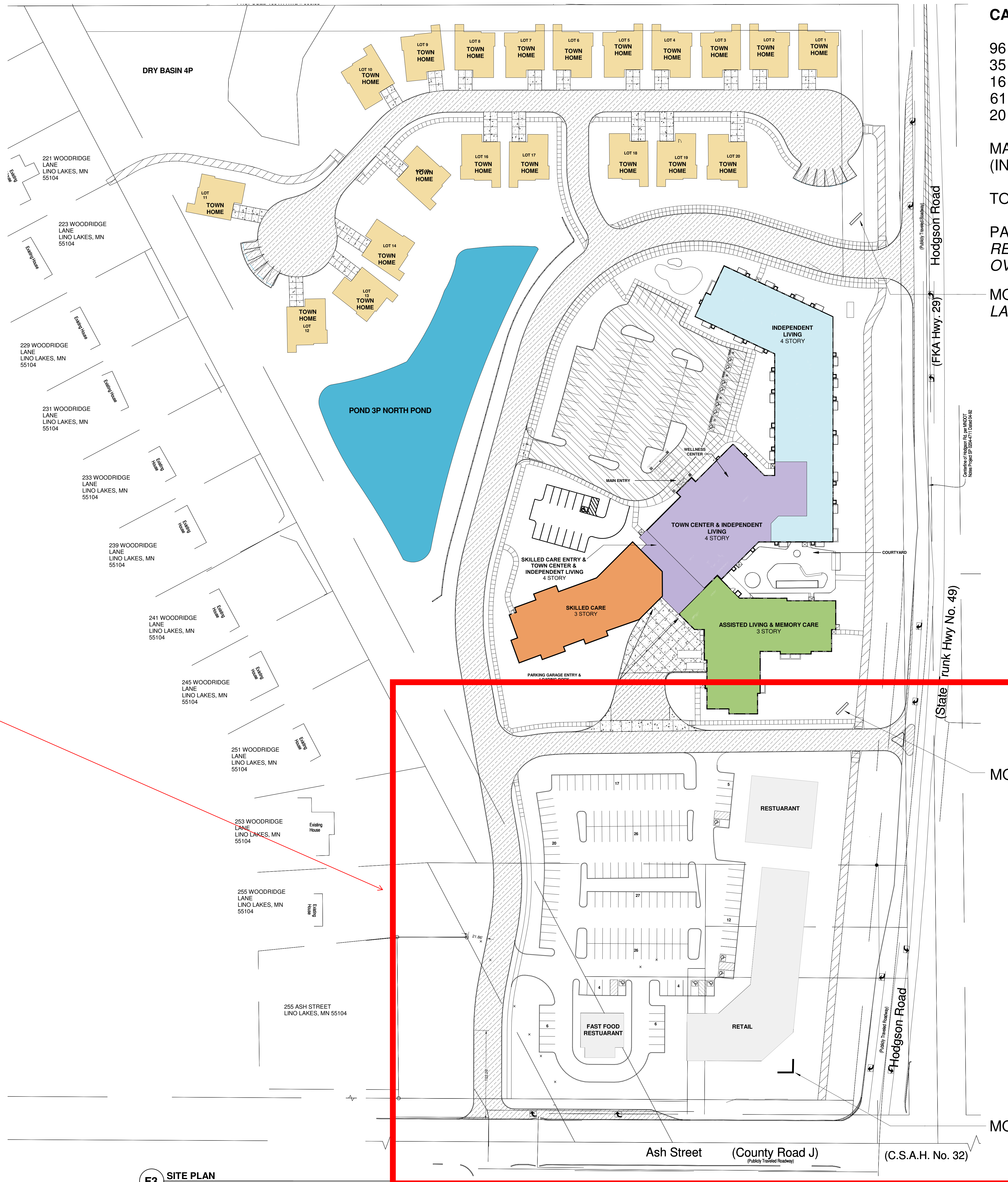
MAIN BUILDING GSF: 293,402 SF
(INCLUDING BASEMENT)

TOWNHOME SF: 1,480 SF

PARKING STALL COUNTS:
REFER TO CIVIL SHEET: SITE PLAN
OVERALL - C1.20

MONUMENT SIGN, SEE SITE
LAYOUT PLAN - L1.0 FOR LOCATION

MN



Proposed Amendment Area

MONUMENT SIGN, SEE SHEET SIGNAGE EXTERIOR, A17

MONUMENT SIGN, SEE SHEET SIGNAGE EXTERIOR, A17

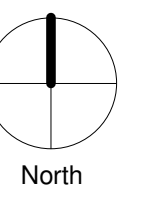
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of MINNESOTA

Sara Malin
Sara Malin
Date: _____

License Number: 40063

Description	Revisions	Date	Num
PUD Submittal		10/08/2018	1
PUD Resubmittal		01/14/2019	2
PUD Resubmittal		03/11/2019	3
DD SET		06/28/2019	4
CD CHECK SET		08/30/2019	5
CD QAOQ CHECK SET		09/22/2019	6
CD SET		10/04/2019	7
PUD DEV STAGE RESUB		06/11/2020	8
PUD AMENDMENT 3		11/16/2023	9

Comm: 196015
Date: 10/4/19
Drawn: Author
Check: Checker



SITE PLAN

Scale: 1" = 50'-0"

A2

F3 SITE PLAN
1" = 50'-0"
0 37'-6" 75'