



PLANNING & ZONING BOARD AGENDA

Wednesday, March 11, 2026

Broadcast on Cable TV Channel 16
and northmetrotv.com/lino-lakes-stream

ADVISORY BOARD MEETING, 6:30 P.M. Council Chambers (televised)

1. Call to Order and Roll Call
2. Pledge of Allegiance
3. Public Comment (*sign-in prior to start of meeting per Rules of Decorum*)
4. Setting the Agenda: Addition or Deletion of Agenda Items
5. Approval of Minutes: February 11, 2026
6. Action Items
 - A. **PUBLIC HEARING:** Otter Crossing South 2nd Addition Preliminary Plat
7. Discussion Items
 - A. Project Updates
8. Notices and Communications

ADJOURNMENT

**CITY OF LINO LAKES
PLANNING & ZONING BOARD MINUTES**

DATE:	February 11, 2026
TIME STARTED:	6:30 P.M.
TIME ENDED:	8:53 P.M.
MEMBERS PRESENT:	Isaac Wipperfurth, Nathan Vojtech, Michael Root, Suzy Guthmueller, Perry Laden, Neil Evenson
MEMBERS ABSENT:	Patrick Kohler
STAFF PRESENT:	Michael Grochala, Katie Larsen, Kris Keller, Jessica Eller, Marissa Ertel

1. CALL TO ORDER AND ROLL CALL

Chair Root called the Lino Lakes Planning & Zoning Board meeting to order at 6:30 p.m. on February 11, 2026.

2. PLEDGE OF ALLEGIANCE

3. PUBLIC COMMENT

Chair Root declared public comment open at 6:32 p.m.

James Douthit, 11400 Whisper Breeze, San Antonio, Texas, with Valvoline spoke and introduced himself to the Board.

Mr. Vojtech motioned to close public comment at 6:35 p.m. Motion was seconded by Mr. Evenson. Motion carried 6 – 0.

4. APPROVAL OF AGENDA

The agenda was updated to select a Chair and Vice Chair for the Planning and Zoning Board.

5. ELECTION OF CHAIR AND VICE CHAIR

Mr. Root was nominated for Chair and Mr. Laden was nominated as Vice Chair. A vote was taken for approval and it was unanimous approval.

DRAFT MINUTES

6. APPROVAL OF MINUTES

Mr. Vojtech moved to approve the January 14, 2026 and January 28, 2026 joint meeting minutes. Motion seconded by Ms. Guthmueller. Motion carried 6 – 0.

7. ACTION ITEMS

A. Public Hearing: Valvoline (Clearwater Commons) Conditional Use Permit

Ms. Larsen presented the staff report.

The applicant, Valvoline Instant Oil Change Facility, is proposing to construct a Valvoline Instant Oil Change Facility. The property address is 7104 21st Avenue North.

James Douthit, Valvoline, was present to answer questions.

Chair Root wanted to confirm that there would be no vehicles parked overnight on the site. Mr. Douthit confirmed that no vehicles would be parked overnight.

The public hearing was opened at 6:44 p.m.

There was no one present for the public hearing.

Mr. Evenson motioned to close the public hearing. Motion was seconded by Mr. Wipperfurth. The public hearing was closed at 6:44 p.m.

Mr. Laden asked if the site became available for purchase and wanted to start doing major vehicle repair, would that be allowed? Ms. Larsen stated they would have to come back in and present for the Board before making that change.

Mr. Root asked if a condition could be added that no vehicles could be parked in the lot overnight.

Mr. Evenson motioned to approve the Valvoline Conditional Use Permit with staff recommendations. Motion was seconded by Ms. Guthmueller. Motion carried 6 – 0.

B. Public Hearing: Harvest Grange Rezoning and Preliminary Plat

Ms. Larsen presented the staff report.

The applicant, Twin Cities Land Holding, LLC, is proposing a residential development in the southwest quadrant of CSAH 54 (20th Avenue South) and Cedar Street. The development contains three (3) parcels totaling approximately 25 gross acres and 86 housing units.

Mr. Evenson had questions about how residents would access the future park. Ms. Larsen showed the current sidewalks and stated that in the future when the land was developed there would be a connection made.

Mr. Laden had questions about the ownership of outlots on the property. Ms. Larsen stated that if there was an H.O.A. the City would prefer them to be taken care of by the H.O.A. Outlot C is proposed to be owned by the City since there will not be an H.O.A. for that portion of the development.

Mr. Wipperfurth wanted to know why a neighborhood meeting was held and if this was a requirement. Ms. Larsen stated that this is not a requirement but that the meeting minutes would be available by the City Council meeting.

Mr. Wipperfurth also spoke on the trails around the upper outlots. Ms. Larsen clarified those are not trails but access points for maintenance.

Mr. Wipperfurth was curious if there would be a buffer required between the townhomes and the residential lot to the north. Ms. Larsen stated this would not be a requirement since this is not a PUD.

Chair Root had questions about the traffic study and had concerns about access.

Ben Schmidt, Twin Cities Land Development, was available for questions.

Mr. Schmidt spoke on the neighborhood meeting and the challenges of coming up with a site plan that would meet the City density requirements.

The public hearing was opened at 7:21 p.m.

Rick Pike, 1919 Red Oak Lane, stated that he is not opposed to new development. He is concerned that there are no parks or trails for the children in area. Mr. Pike expressed concerns on traffic generated by the new development since there will be a right in right out and traffic will go through existing neighborhood.

Ronald Dickson, 1955 Red Oak Lane, agreed with Mr. Pike regarding park access and traffic safety. Mr. Dickson would like to see a pedestrian crossing added to the area, especially on 20th Avenue.

Danielle Ward-Lorenz, 1987 Norma Way, agreed with the previous speakers regarding park access and expressed concerns about the traffic and townhome density.

Grace Chwialkowski, 6700 Heritage Avenue, worries about people who are trying to cross 20th Avenue currently. Ms. Chwialkowski would recommend lowering the speed limit and adding speed limit signs to the neighborhood.

Kyle Vadner, 6661 Heritage Avenue, had concerns about the walkability of his neighborhood. Mr. Vadner would like to see more walkable access and connections to existing trails. Mr. Vadner also had concerns about the traffic and the Amazon trucks that are coming out of the area.

Ann Davis, 6795 20th Avenue, also expressed concerns about crossing 20th Avenue and worries for the kids who attempt to cross without a crosswalk.

Bortnov Valeriu, 1947 Red Oak Lane, shared the same concerns that were previously mentioned. Mr. Valeriu had questions about the traffic study.

Kevin Higgins, 6656 Heritage Avenue, had concerns about the right in right out and traffic. Mr. Higgins also had concerns about the size of the shoulder along 20th Avenue.

Steve Gitzen, 6681 Heritage Avenue, shared the same concerns about the traffic and the right in right out. Mr. Gitzen had concerns about traffic on Red Oak Lane.

David Vickers, 6756 Centerville Road, had concerns about the wetlands and flooding in his farm fields.

Mr. Vojtech motioned to close the public hearing at 7:45 pm. Motion was seconded by Mr. Laden. Motion carried 6 – 0.

Chair Root spoke on the park access and stated this would be a concern best brought up with the Park Board. Mr. Grochala stated that the park fees are used for parks and trails in the area. The park dedication fees are used to purchase land and with the comments heard tonight the need for a park is apparent. Mr. Grochala stated that the City of Centerville does not want to connect to our trail system. Mr. Grochala stated that if this development comes, the City will look further into making these park connections and looking into development of a park to the East.

Chair Root wanted to know how we could encourage the County to make changes to 20th Avenue. Mr. Grochala stated that the best way to do this would be for the local community to bring this up to the City Council and the County.

Chair Root spoke on the ditch and the water flow that could potentially impact current property owners. Mr. Grochala stated that the developer would work to mitigate this with the grading plan.

Mr. Wipperfurth spoke on the traffic on 20th Avenue and encourages residents who spoke tonight to reach out to the Council. Mr. Wipperfurth would like to recommend that the City Council reach out to the County. Mr. Grochala thinks this is a good idea to make this as a recommendation to show the Council how big of a concern this is for current residents.

Mr. Vojtech would like to make a recommendation to buy the property to the North to avoid the right in right out.

Chair Root stated that he thinks a lot is going into a small space and understands that there is pressure from the Met Council. Chair Root thinks this should all be zoned as R-2 with no R-3 to avoid adding too much to traffic.

Chair Root stated that he also has concerns about the lack of trails.

Mr. Laden motioned to approve the Harvest Grange Rezoning and Preliminary Plat with staff recommendations. Motion was seconded by Mr. Evenson. Motion carried 4 – 2.

Mr. Wipperfurth motioned bringing to City Council a recommendation for a safe crossing at 20th Avenue and fast tracking a park to the area. Motion was seconded by Mr. Vojtech. Motion carried 6 – 0.

C. Public Hearing: Amending Comprehensive Plan to Provide for Municipal Utility Service to Public Works Building Site

Mr. Grochala presented the staff report.

Mr. Evenson wanted to understand why the houses along 14 would not be getting sewer. Mr. Grochala stated that there would be an obligation to connect for the current residents. The design is to just service the Public Works facility, and the pressure differential would not allow for a connection to a single-family home.

Mr. Laden wanted to see where the current services end and how far it would need to be extended and the cost associated with this extension. Mr. Grochala stated it would be over a million dollars.

The public hearing was opened at 8:27 p.m.

There was no one present to speak for the public hearing.

Mr. Vojtech motioned to close the public hearing at 8:27 p.m. Motion was seconded by Mr. Evenson.

Mr. Wipperfurth motioned to approve the Comprehensive Plan Amendment with staff recommendations. Motion was seconded by Mr. Vojtech. Motion carried 6 – 0.

7. DISCUSSION ITEMS

A. Lyngblomsten PUD Amendment #4 Mixed Use Concept

Mr. Grochala presented the staff report.

Lyngblomsten is considering a new proposal for the five-acre commercial corner. They intend to seek approvals for a four-story mixed-use building that would include first-floor commercial space with independent living units on the upper floors. This concept would require an amendment to the existing PUD.

Mr. Laden wanted to know the requirement for a restaurant on this site. Mr. Grochala stated that there was no planned requirement at this time.

Judd Fenlon, Grand Real Estate Advisors, 90 South Dale Street, St. Paul, was available for questions. Mr. Fenlon spoke on the funding aspect of the skilled nursing unit and the driving factor for wanting to get this application in the following months. Mr. Fenlon stated that there would be a need for an independent living space since there is currently a waitlist.

Mr. Laden wanted to understand the current square footage of the current plan and how that would change with this amendment. Mr. Grochala stated that it would be around 20,000 square feet.

Mr. Evenson wanted to clarify that to get the commercial to the area that there should be a residential aspect, he believes this is the correct way to go.

Ms. Guthmueller wanted to know how many units there would be in this. Mr. Fenlon stated it would be 60 units.

Mr. Laden stated that having retail on the first floor of a residential building has not worked in the past and what would make this site different. Mr. Fenlon stated that he understands that this has been an issue but with the correct design it can be very

beneficial. Mr. Fenlon stated that senior residents typically like having the restaurant on the main floor.

Ms. Guthmueller would like a better understanding of how the space would be utilized and how many commercial units would be available. Mr. Fenlon stated that there could be seven to ten retail users, depending on the size needed for each space.

The Board was generally in favor of the concept and looks forward to seeing plans come in.

B. Project Updates

Mr. Grochala provided project updates to the Board.

Mr. Evenson moved to adjourn the meeting. Motion seconded by Mr. Laden. Meeting adjourned at 8:53 p.m.

Respectfully submitted,
Marissa Ertel – Community Development Administrative Assistant

**PLANNING & ZONING BOARD
AGENDA ITEM 6A**

STAFF ORIGINATOR: Katie Larsen, City Planner

MEETING DATE: March 11, 2026

TOPIC: **PUBLIC HEARING:** Otter Crossing South 2nd Addition Preliminary Plat

CASE NUMBER: PP2026-0001

APPLICANT: TYME Properties, LLC
Attn: Paul Schreier
3435 Labore Road, Ste 150
Vadnais Heights, MN 55110

OWNER: Same

REVIEW SCHEDULE:

Complete Application Date:	February 11, 2026
60-Day Deadline:	April 12, 2026
Environmental Board Meeting:	February 25, 2026
Park Board Meeting:	N/A
Planning & Zoning Board Meeting:	March 11, 2026
City Council Work Session:	April 6, 2026
City Council Meeting:	April 13, 2026

INTRODUCTION

The applicant, TYME Properties LLC, is proposing to preliminary plat Outlot B, Otter Crossing South into two (2) commercial lots. The preliminary plat is south of Main Street and west of Otter Lake Road and is called Otter Crossing South 2nd Addition.

BACKGROUND

The Land Use Application is for the following:

- Preliminary Plat (Otter Crossing South 2nd Addition)

- 2 commercial lots

This staff report is based on the following information:

- Preliminary Plat Plan Set prepared by Pioneer Engineering dated February 10, 2026
- Geotechnical Evaluation Reports prepared by Braun Intertec dated April 7, 2006 and September 21, 2007
- Wetland Permit Application prepared by Midwest Natural Resources, Inc. dated February 6, 2026
- Traffic Study prepared by SSTS Traffic Solutions dated February 16, 2024

ANALYSIS

History

Otter Crossing South final plat was approved in May 2025. It created Lot 1 for ALDI and Outlots A and B for future commercial development. Otter Crossing South 2nd Addition proposes to subdivide Outlot B into two (2) commercial lots.

Existing Site Conditions

The site is a vacant commercial outlot.

Zoning and Land Use

The outlot is zoned GB, General Business and is guided commercial per the City’s 2040 Comprehensive Plan.

Current Zoning	GB, General Business
Existing Land Use	Vacant Commercial
Future Land Use per 2040 Comp Plan	Commercial
Utility Staging Area	1A=2018-2025

The preliminary plat is consistent with zoning code requirements for GB, General Business lot size and lot width.

	Lot Size	Lot Width
GB Requirements	20,000 sf	100 ft
Lot 1	44,243 sf	164 ft

Lot 2	42,873 sf	167 ft
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Surrounding Zoning and Land Use

Direction	Zoning	Existing Land Use	Future Land Use
North	GB, General Business	Commercial	Commercial
South	GB, General Business	Vacant Commercial	Commercial
East	LI, Light Industrial	Industrial	Industrial
West	GB, General Business	Commercial	Commercial

Subdivision Ordinance

Conformity with the Comprehensive Plan and Zoning Code

The preliminary plat is consistent with the comprehensive plan for commercial development and zoning code requirements for GB, General Business with minor revisions as detailed in this staff report.

Blocks and Lots

The proposed preliminary plat contains the following parcels:

Parcel	Acres	Purpose
Lot 1, Block 1	1.02 acres	Taco Bell
Lot 2, Block 1	0.98 acres	Future commercial development
Outlot A	0.57 acres	Private Street
Outlot B	22.85 acres	Future development
TOTAL	25.42 acres	

An additional 10ft of road right-of-way along CR 84 (Otter Lake Road) was dedicated on the Otter Crossing South plat as required.

Sheet 2.40, Master Plan lays out potential future development of the site. This is not a final plan. Future development of Outlot B will require preliminary plat and final plat.

Streets and Alleys

CSAH 14 (Main Street) is an A-Minor Arterial Connector county road. An existing right-in only lane will access the site from Main Street. No additional access points or driveways are allowed along this section of Main Street.

CR 84 (Otter Lake Road) is a minor arterial county road.

Access to the site from Otter Lake Road is 70th Street which is a private street. This will be a temporary full access intersection until future development of Outlot B. Then this access will be right in/right out and full access roundabout will be constructed to the south.

Otter Lake Service Road is a public local road that will provide future access to Outlot B.

There are no public streets being constructed within this phase of development. The internal system currently is the private street and drive lanes.

Lot 1 and Lot 2 have a shared driveway. A shared driveway and maintenance agreement will be required.

Easements

Standard drainage and utility easements at least 10 feet wide shall be provided on the preliminary plat over Lot 1 and Lot 2 lot lines.

Stormwater Management and Erosion and Sediment Control

Per the City Engineer Memo dated March 4, 2026:

Stormwater management for the Otter Crossing South 2nd Addition development is proposing to use the existing City stormwater pond south and east of the project area to provide rate control and water quality treatment. There is a conservation easement for a wetland bank that exists over the existing City pond. Analysis includes a proposed City roundabout on Otter Lake Road south of 70th Street. Runoff will be routed via the existing storm sewer system along the roadway.

Future phases of development will provide onsite stormwater management. 2nd Addition flows ultimately discharge to the west for a small northern portion of the site and the rest discharges south to Clearwater Creek from the City pond.

Additional lots and a future roundabout in Otter Lake Road are included in the drainage area to the existing stormwater pond. These areas were included in the original study prepared by TKDA with 1998 Otter Lake Road improvement project. This pond has capacity to provide stormwater management for the development. The pond existing and proposed discharge rates are summarized below.

Pre- and Post- Development Discharge Rates (cfs)				
Condition	2-Year	10-Year	100-Year	10-Day Snowmelt
Existing - Creek	15.00	23.24	56.26	N/A
Proposed - Creek	10.35	13.66	40.14	N/A
Existing - West	5.59	10.15	27.00	N/A
Proposed - West	3.97	6.51	20.40	N/A
Existing – Southeast (wetland)	8.72	18.69	41.10	N/A
Proposed – Southeast (wetland)	8.72	18.69	41.10	N/A

Additional comments/revisions are noted in the attached City Engineer memo.

Public Utilities

The site will be municipally served by an 8” sanitary sewer main and 8” watermain along 70th Street.

Public Land Dedication

The City will collect cash fee in lieu of land dedication for commercial development at the time of final plat.

Otter Crossing South 2 nd Addition	
2.00 acres x \$2,725 per acre =	\$5,450

Tree Preservation, Mitigation Standards and Landscaping

Per the February 26, 2026 Environmental Board staff report:

Tree Preservation

No significant trees are being removed as part of this project.

Landscaping

Landscaping will be required for each lot as it develops and will be required to meet all city requirements. Currently trees are being planted along the private street for screening.

Canopy cover standards are required to mitigate the effects of hardscape by establishing tree canopy cover. The required minimum canopy coverage is 40%.

Foundation landscape zone 6 large shrubs and two large trees are required per 100 LF of building.

Open area landscape is required to provide 1 large tree and two large shrubs per 2,500 SF of open space. Open area on site is $9,410\text{SF}/2500=3.76$ or 4 large trees and 8 shrubs. They are proposing to meet the requirements.

Buffer and screening between vehicle hardscape and public right of way. Minimum height screening of 30" to be provided for Otter Lake Rd. All planting screens require at a minimum a double row of plants with triangulated spacing. Planting plans shall include species which are sized to appropriately screen visibility within five years of planting. Small shrubs shall be planted at a maximum interval of three feet on center; medium shrubs shall be planted at a maximum interval of four feet on center; and large shrubs shall be planted at a maximum interval of six feet on center unless; otherwise authorized by the City.

Screening would not be required between the two lots, unless it is needed to meet canopy coverage. Currently screening is being shown between lot 1 and 2. (Refer to the landscape guidelines for requirements.) Screening can be provided, but would not be required in this location

Site and Building Plan Review

A separate land use application for Site and Building Plan Review for the proposed Taco Bell on Lot 1 has been submitted. A restaurant is a permitted use in the GB, General Business district; therefore, site and building plans will be reviewed administratively by staff.

A separate land use application for Site and Building Plan Review will be required for Lot 2.

Signage

A separate Sign Permit Application with detailed sign information is required for any permanent or temporary signage.

Impervious Surface Coverage

The allowed maximum impervious surface coverage per lot in the GB, General Business District is 75%. Lot 1 impervious is 65.6% which meets requirements. Lot 2 will be reviewed at the time of site and building plan review.

Traffic Study

A Traffic Study was prepared by SSTS dated February 16, 2024 for Otter Crossing South which included commercial development of these 2 lots. The study analyzed the following intersections:

- Main St (CSAH 14) & I-35E SB Ramps
- Main St (CSAH 14) & I-35E NB Ramps
- Main St (CSAH 14) & Otter Lake Rd (CR 84)
- Main St/Frenchman Rd/CSAH 8 & Victor Hugo Blvd
- Otter Lake Rd (CR 84) & Gymnastics/Industrial Building Access
- Access Locations for Build Conditions

Trip Generation

The study analyzed a Phase 1 development scenario that included a supermarket (Aldi), fast food (Taco Bell), and retail (future). The Phase 1 development is expected to generate 1,658 new weekday daily trips. The AM peak is 7:15am to 8:15am and PM peak is 4:15pm to 5:15pm. The table below provides a detailed breakdown of land use, shared trips, and pass-by trips. Pass-by trips occur when motorists already on the highway system stop at the development site prior to continuing their intended route.

Land Use	Type	Land Use Code	Size	Trips Generated:				Weekday ADT
				AM Peak		PM Peak		
				Enter	Exit	Enter	Exit	
Supermarket	Retail	850	19,500 s.f.	33	23	87	87	1,062
Fast Food - w/Drive Thru	Retail	934	3,000 s.f.	68	66	52	48	1,402
Strip Retail Plaza	Retail	822	9,800 s.f.	14	9	32	32	370
Totals - Gross				115	98	171	167	2,834
				213		338		
Shared Trips				12	10	17	17	283
				21		34		
Pass-By Trips				39	39	53	53	893
				78		106		
Totals - Net*				64	49	101	98	1,658
				113		199		

- Pass-by trips per land use are per ITE's Trip Generation Manual, 11th Edition.
 - A 10% shared trip reduction was applied based on review of ITE's internal capture rates.

Level of Service

Level of Service (LOS) is used to describe the operating conditions and driver delay (measured in seconds) of an intersection. Operations are given letter designations from "A" (best operating conditions) to "F" (worst conditions).

City Code Section 1007.020, Site Plan Review and Section 1001.013(2)(c), Premature Subdivision establishes minimum Level Of Service (LOS) requirements. The ordinance states that if the LOS is A or B, the proposed subdivision shall not the degrade the LOS more than one grade. If the LOS is C or D, it shall not degrade the LOS. Intersections with a LOS of E or F must be improved to ensure a LOS of D or better.

Intersection	Measure of Effectiveness (Delay in Sec and Queue in Ft)				
	Criteria	2026 No-Build		2026 Build	
		AM Peak Hour	PM Peak Hour	AM Peak Hour	PM Peak Hour
Main St (CSAH 14) & I-35E SB Off-Ramp (Signalized)	Overall LOS & Delay	A 6.6	A 6.5	A 6.7	A 6.6
	Worst Movement LOS & Delay	D 36.7 (SBL)	D 40 (SBL)	D 35.5 (SBL)	D 40.5 (SBL)
	95th Percentile Queue	SBL - 121'	SBL - 114'	SBL - 130'	SBL - 124'
Main St (CSAH 14) & I-35E NB Ramps (Signalized)	Overall LOS & Delay	A 5.7	A 8.2	A 6.0	A 8.1
	Worst Movement LOS & Delay	C 33 (SBR)	C 20.8 (SBR)	D 35.8 (SBR)	C 21 (SBR)
	95th Percentile Queue	SBR - 133'	SBR - 182'	SBR - 133'	SBR - 180'
Main St (CSAH 14) & Otter Lake Rd (Signalized)	Overall LOS & Delay	B 18.2	C 22.4	C 20.7	C 26.2
	Worst Movement LOS & Delay	D 40.7 (NBT)	D 47.4 (NBT)	D 47.2 (SBL)	E 66.4 (WBL)
	95th Percentile Queue	WBT - 342'	WBT - 398'	WBT - 340'	EBT - 317'
Main St (CSAH 14) & Victor Hugo Blvd (Signalized)	Overall LOS & Delay	B 17.3	C 25.0	B 17.6	C 27.5
	Worst Movement LOS & Delay	D 43.4 (WBL)	E 49.6 (EBL)	D 42.7 (WBL)	E 60.9 (EBL)
	95th Percentile Queue	WBT - 193'	EBL - 220'	WBT - 187'	EBL - 266'
Otter Lake Rd & Gymnastics Access (Side-Street Stop-Controlled)	Overall LOS & Delay	A 0.1	A 0.8	A 0.1	A 0.9
	Worst Movement LOS & Delay	A 0.1 (SBT)	A 6.8 (WBL)	A 1 (SBL)	A 7.3 (WBL)
	95th Percentile Queue	No Queue	WBR - 43'	SBLT - 4'	SBLT - 50'
Otter Lake Rd & Existing Access (Side-Street Stop-Controlled) *	Overall LOS & Delay			A 1.7	A 2.4
	Worst Movement LOS & Delay	NA	NA	A 6 (EBL)	A 8.3 (EBL)
	95th Percentile Queue			EBLR - 46'	EBLR - 70'
Main St (CSAH 14) & Right-In Only Access (Free Right Movements)	Overall LOS & Delay			A 2.4	A 2.1
	Worst Movement LOS & Delay	NA	NA	A 3.6 (WBT)	A 3 (WBT)
	95th Percentile Queue			No Queue	EBT - 15'

- Level of Service reported from an average delay from 10 SimTraffic simulations for overall intersection and worst movement.
- 95th percentile queues are a result from an average of 10 SimTraffic simulations and the longest queue per intersection is reported.
- Overall LOS "D" and individual movement LOS "E" are considered acceptable if queuing is accommodated.
- * A dedicated SBL turn lane is assumed with Build conditions on Otter Lake Rd at the access.

The proposed Level of Service does not degrade by more than one (1) LOS; therefore, the traffic generated by the proposed development is within the capabilities of the City.

EQB Environmental Review

The site is within the 2005 I-35E Corridor AUAR environmental review boundary. The AUAR was updated in July 2025. The AUAR identifies this site as commercial in the land use scenarios. The proposed Taco Bell and future retail building are consistent with commercial development. No further environmental assessment is required.

Wetlands

The preliminary plat includes three (3) wetlands. Wetland 1 within Lots 1 and 2 will be completely impacted (3,910sf). The wetland is not within the Wetland Management Corridor (WMC). Wetland banking credits will be purchased for mitigation.

Any wetland impacts to Wetland 2 and Wetland 4 in Outlot B will be analyzed and mitigated for with development in that area.

Shoreland District

The preliminary plat is not located in the Shoreland District.

Floodplain

There is no FEMA floodplain on site.

Additional City and Government Agency Review Comments

- Anoka County Highway Department comments are in the attached memo.
- Lino Lakes Fire Department did not have any comments.
- Lino Lakes Police Department did not have any comments.
- Environmental Board reviewed the project at their February 26, 2026 meeting and recommended approval with conditions as noted in the attached memo.

Agreements

Stormwater Maintenance Agreement

The City pond will continue to be operated and maintained by the City of Lino Lakes as it currently is in existing conditions.

Development Agreement and Final Plat

The applicant shall submit a Land Use Application for final plat after preliminary plat approval. A Development Agreement will then be prepared by the City as part of the final plat application.

Site Improvement Performance Agreement

Site Improvement Performance Agreements will be required for construction of the Taco Bell fast food restaurant and future retail building.

Comprehensive Plan

The Otter Crossing South 2nd Addition preliminary plat is consistent with the goals and policies of the comprehensive plan regarding land use, housing, economic development, transportation, local water management plan, sanitary sewer, water supply and parks, greenway and trails.

Land Use Plan

The Comprehensive Plan guides this property for commercial use. The preliminary plat is consistent with commercial land use.

Housing Plan

The goals and policies of Housing Plan are not negatively impacted by the commercial development.

Economic Development

The commercial development supports the City's economic development plan.

Transportation Plan

Goals of the Transportation Plan are to ensure that street and roads are as safe as possible and to reduce unnecessary traffic. CSAH 14 (Main Street) is an A-Minor Arterial Connector county road. CR 84 (Otter Lake Road) is a minor arterial county road. The existing road system can accommodate the traffic generated by the commercial development.

Local Water Management Plan

The purpose of the water management program is to protect, preserve, and use natural surface and groundwater storage and retention systems and prevent erosion of soil into surface water systems. The commercial development will construct stormwater management improvements such as curb and gutter to convey stormwater to an existing stormwater pond.

Sanitary Sewer Plan

The goal of the sanitary sewer plan is to maintain the city's residents and businesses with an affordable and safe sanitary sewer system. The commercial development will be served by an affordable and safe sanitary sewer system.

Water Supply Plan

A goal of the water supply plan is to provide residents and businesses with affordable potable water that is safe and of high quality for daily consumption and fire demand. The commercial development will be served with a safe and high quality water supply.

Parks, Greenways and Trails

A goal and policy of the parks, greenways and trails plan is to continue to development and fund recreational activities in the City. The City will require cash in lieu of land dedication for the two (2) new commercial lots.

Findings of Fact-Preliminary Plat

Per City Code Section 1001.013, Premature Subdivision:

(1) *General.* Any concept plan, preliminary plat or final plat deemed premature pursuant to the following criteria shall be denied by the City Council.

(2) *Conditions for establishing a premature subdivision.* A subdivision may be deemed premature should any of the following conditions not be met.

(a) *Consistency with the Comprehensive Plan.* Including any of the following:

1. Land use plan;
2. Transportation plan;
3. Utility (sewer and water) plans;
4. Local water management plan;
5. Capital improvement plan; and
6. Growth management policies, including MUSA allocation criteria.

Otter Crossing South 2nd Addition preliminary plat is consistent with the goals and policies of the comprehensive plan.

(b) *Consistency with infill policies.* A proposed urban subdivision shall meet the city's infill policies:

1. The urban subdivision must be located within the Metropolitan Urban Service Area (MUSA) or the staged growth area as established by the city's Comprehensive Plan;
2. The cost of utilities and street extensions must be covered by one or more of the following:
 - a. An immediate assessment to the proposed subdivision;
 - b. One hundred percent of the street and utility costs are privately financed by the developer;
 - c. The cost of regional and/or oversized trunk utility lines can be financed with available city trunk funds; and
 - d. The cost and timing of the expenditure of city funds are consistent with the city's capital improvement plan.
3. The cost, operation and maintenance of the utility system are consistent with the normal costs as projected by the water and sewer rate study; and
4. The developer payments will offset additional costs of utility installation or future operation and maintenance.

Otter Crossing South 2nd Addition preliminary plat is consistent with infill policies. The development is within the current Utility Staging Area 1A (2018-2025). The cost and timing of the expenditure of city funds are consistent with the city's capital improvement plan. The cost, operation and maintenance of the utility system are consistent with the normal costs projected by the water and sanitary rate study. No future utility costs are proposed.

(c) *Roads or highways to serve the subdivision.* A proposed subdivision shall meet the following requirements for level of service (LOS), as defined by the Highway Capacity Manual:

1. If the existing level of service (LOS) outside of the proposed subdivision is A or B, traffic generated by a proposed subdivision will not degrade the level of service more than one grade;
2. If the existing LOS outside of the proposed subdivision is C, traffic generated by a proposed subdivision will not degrade the level of service below C;
3. If the existing LOS outside of the proposed subdivision is D, traffic generated by a proposed subdivision will not degrade the level of service below D;
4. The existing LOS must be D or better for all streets and intersections providing access to the subdivision. If the existing level of service is E or F, the subdivision developer must provide, as part of the proposed project, improvements needed to ensure a level of service D or better;
5. Existing roads and intersections providing access to the subdivision must have the structural capacity to accommodate projected traffic from the proposed subdivision or the developer will pay to correct any structural deficiencies;
6. The traffic generated from a proposed subdivision shall not require city street improvements that are inconsistent with the Lino Lakes capital improvement plan. However, the city may, at its discretion, consider developer-financed improvements to correct any street deficiencies;
7. The LOS requirements in divisions (2)(c)1. to 4. above do not apply to the I-35W/Lake Drive or I-35E/Main St. interchanges. At city discretion, interchange impacts must be evaluated in conjunction with Anoka County and the Minnesota Department of Transportation, and a plan must be prepared to determine improvements needed to resolve deficiencies. This plan must determine traffic generated by the subdivision project, how this traffic contributes to the total traffic, and the time frame of the improvements. The plan also must examine financing options, including project contribution and cost sharing among other jurisdictions and other properties that contribute to traffic at the interchange; and
8. The city does not relinquish any rights of local determination.

Otter Crossing South 2nd Addition preliminary plat meets the requirements for level of service (LOS). Intersections currently operate at an overall Level of Service (LOS) A. Build condition overall LOS will continue to operate at a level A.

The proposed Level of Service does not degrade by more than one (1) LOS; therefore, the development is not considered premature. Existing roads and intersections providing access to the subdivision have the structural capacity to accommodate projected traffic from the proposed subdivision. No street improvements are proposed that are inconsistent with the City's capital improvement plan. The city does not relinquish any rights of local determination.

(d) *Water supply.* A proposed subdivision shall be deemed to have an adequate water supply when:

1. The city water system has adequate wells, storage or pipe capacity to serve the subdivision;

2. The water utility extension is consistent with the Lino Lakes water plan and offers the opportunity for water main looping to serve the urban subdivision;
3. The extension of water mains will provide adequate water pressure for personal use and fire protection; and
4. The rural subdivision can demonstrate that each of the proposed lots can be provided with a potable water supply.

Otter Crossing South 2nd Addition preliminary plat will have an adequate water supply.

(e) *Waste disposal systems.* A proposed subdivision shall be served with adequate waste disposal systems when:

1. The urban sewer subdivision is located inside the city's MUSA or is consistent with the MUSA allocation criteria;
2. The city has sufficient MUSA and pipe capacity to serve the subdivision if developed to its maximum density;
3. The subdivision will result in a sewer extension consistent with Lino Lakes sewer plan and capital improvement plan;
4. A rural subdivision can demonstrate that each lot can be served by an adequate sanitary sewer disposal system; and
5. A rural subdivision with a proposed communal sanitary sewer or water system has an effective long range management and maintenance program with proper financing.

Otter Crossing South 2nd Addition preliminary plat will be served with an adequate waste disposal system.

RECOMMENDATION

Staff recommends approval of the Otter Crossing South 2nd Addition preliminary plat subject to following conditions:

1. A shared access and maintenance agreement with exhibit for the private street over Outlot A shall be recorded.
2. A shared access and maintenance agreement with exhibit for the shared driveway between Lot 1 and Lot 2 shall be recorded.

The following comments shall be addressed:

1. All comments from the City Engineer memo dated March 4, 2026.
2. All comments from the Environmental Coordinator memo dated March 4, 2026.
3. All comments from Anoka County Transportation Division letter dated February 12, 2026.
4. Drafts of the following documents shall be submitted:
 - a. Shared access and maintenance agreement with exhibit for the private street over Outlot A.

- b. Shared access and maintenance agreement with exhibit for the shared driveway between Lot 1 and Lot 2.
5. Sheet 2.00, Existing Conditions:
 - a. Show Document No. 629739.003: Declaration of Easements, Covenants and Restrictions.
6. Sheet 2.20, Neighborhood Land Use Plan and Sheet 2.40, Master Plan:
 - a. Revise plan so parking lot islands and driveways meet location, setback, etc. requirements and are not located in public road right-of-way.
7. Sheet 2.30, Preliminary Plat:
 - a. Standard drainage and utility easements at least 10 feet wide shall be provided on the preliminary plat over Lot 1 and Lot 2 lot lines.
8. Sheet 3.10, Preliminary Site Plan:
 - a. Lot lines shall be more defined and easier to differentiate between other lines.
 - b. Only one (1) driveway access is allowed to Lot 2 from 70th Street.
 - i. The access should be located as west as possible.
 - ii. This access shall be shown on all applicable plan sheets.

ATTACHMENTS

1. Site Location & Aerial Map
2. Otter Crossing South Preliminary Plat Plan Set
3. City Engineer Memo dated March 4, 2026
4. Environmental Coordinator Memo dated March 4, 2026
5. Anoka County Highway Department Letter dated February 12, 2026

Otter Crossing South 2nd Addition



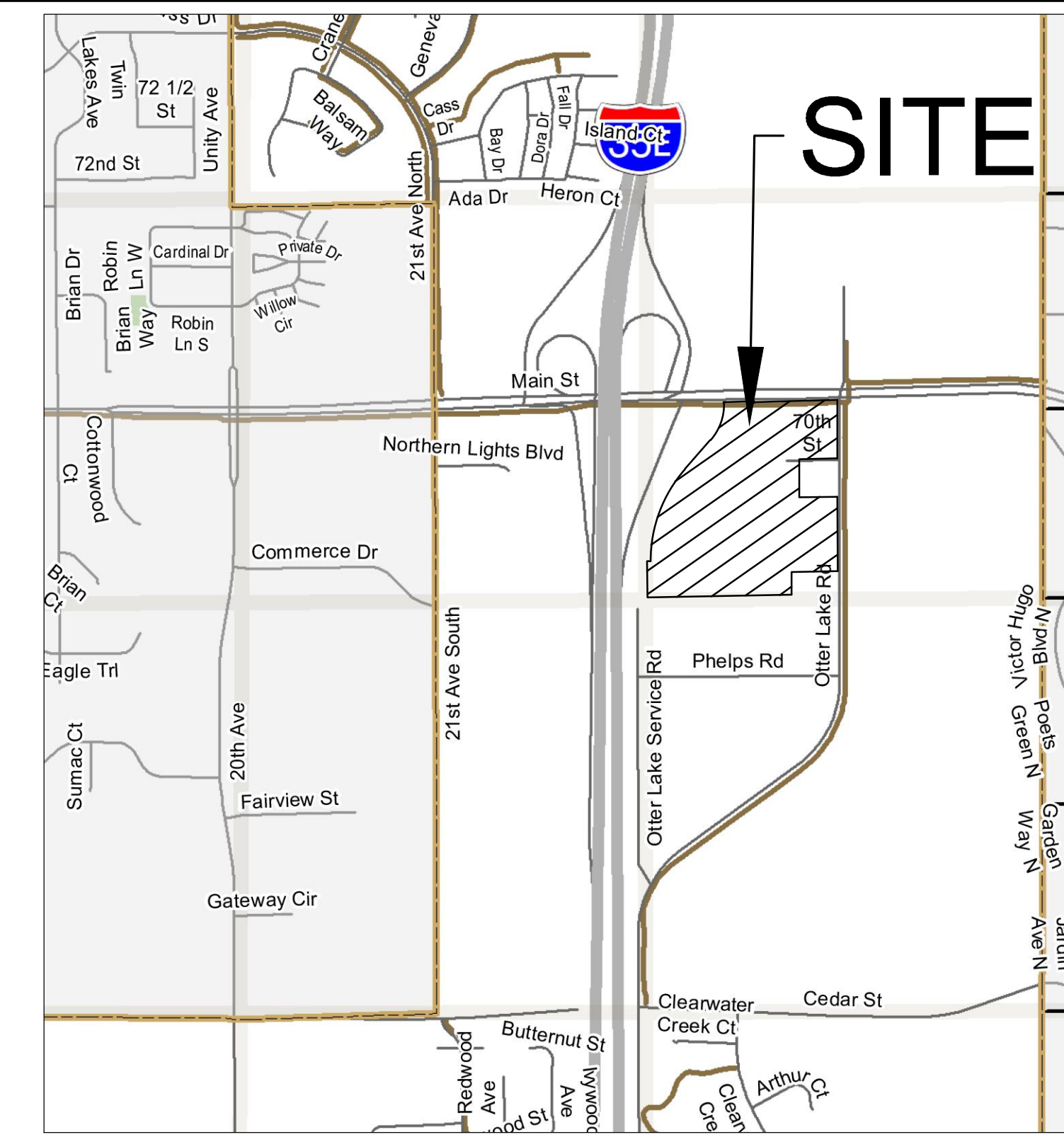
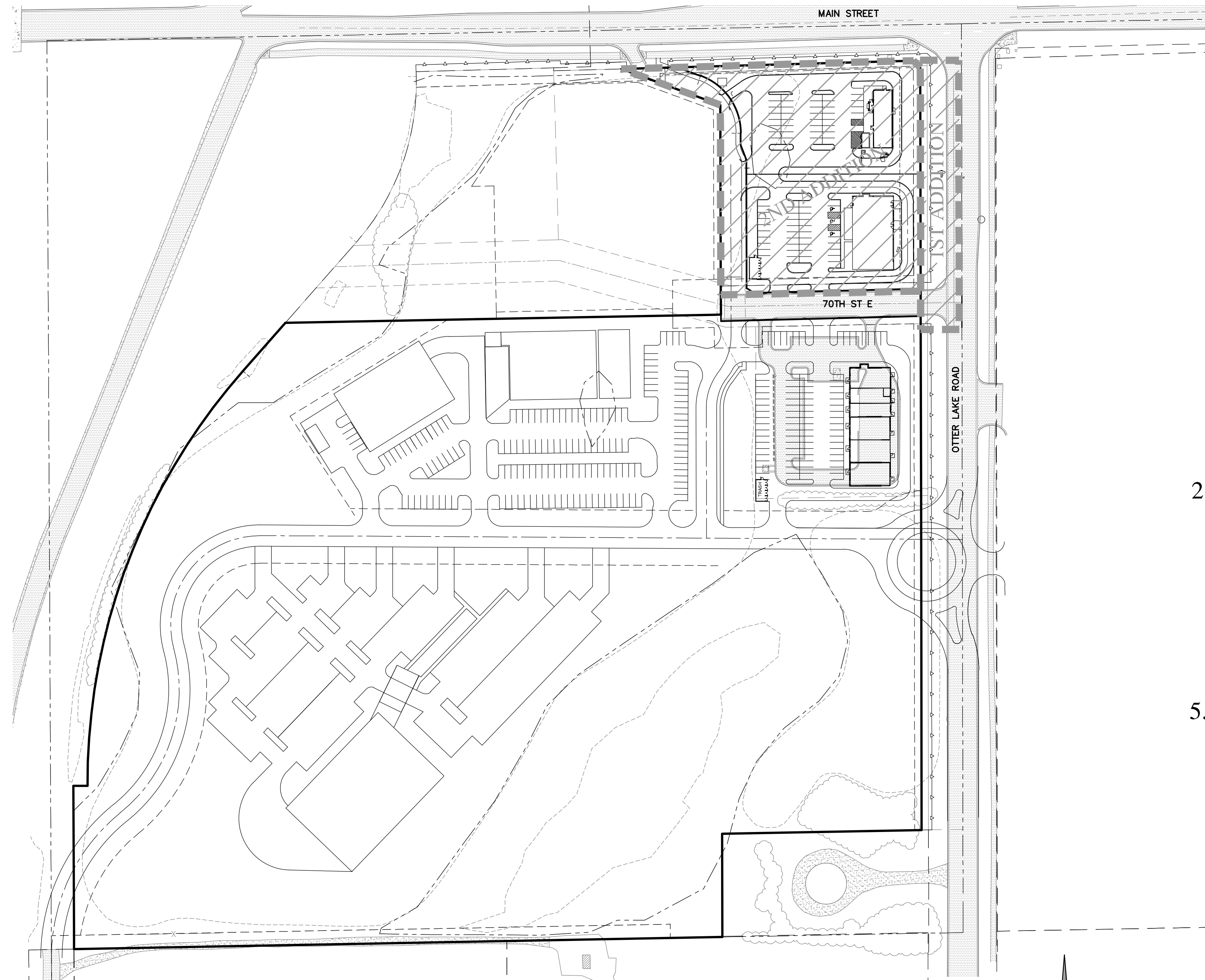
1 in = 300 Ft

Address Labels

 Parcels



OTTER CROSSING SOUTH 2ND ADDITION PRELIMINARY PLANS LINO LAKES, MINNESOTA

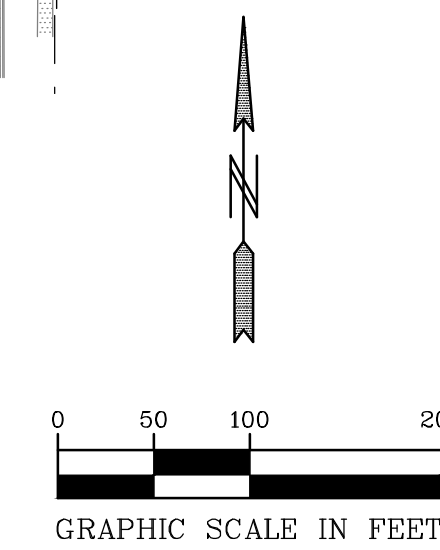


SHEET INDEX

- 1.00 COVER SHEET
- 1.10 LEGEND
- 2.00-2.01 EXISTING CONDITIONS
- 2.10 RESOURCE INVENTORY
- 2.20 NEIGHBORHOOD LAND USE PLAN
- 2.30 PRELIMINARY PLAT
- 2.40 MASTER PLAN
- 3.00 REMOVALS PLAN
- 3.10 PRELIMINARY SITE PLAN
- 4.00 PRELIMINARY GRADING PLAN
- 4.10 PRELIMINARY EROSION CONTROL PLAN
- 4.20 PRELIMINARY SEEDING PLAN
- 5.00-5.02 PRELIMINARY GRADING DETAILS
- 6.00 PRELIMINARY SANITARY SEWER & WATERMAIN PLAN
- 7.00 PRELIMINARY STORM SEWER PLAN
- 8.00 PRELIMINARY WETLAND PLAN

- S1-S2 STORMWATER POLLUTION PREVENTION PLAN
- S3 MPCA MAP
- S4 EXISTING HYDROLOGY
- S5 PROPOSED HYDROLOGY

- L1 LANDSCAPE PLAN



BENCH MARK
TOP NUT HYDRANT IN N.W. QUAD. OF
OTTER LAKE ROAD & PRIVATE DRIVE
370 FT. NORTH OF MAIN STREET
EL=920.47 NVGD88(DATUM)
02-ENG-119015-SHEET-COVR



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www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: *Paul J. Cherm*
Paul J. Cherm
Reg. No.: 19860 Date: 02-09-2026

Revisions
1. 02-10-2026 City Comments

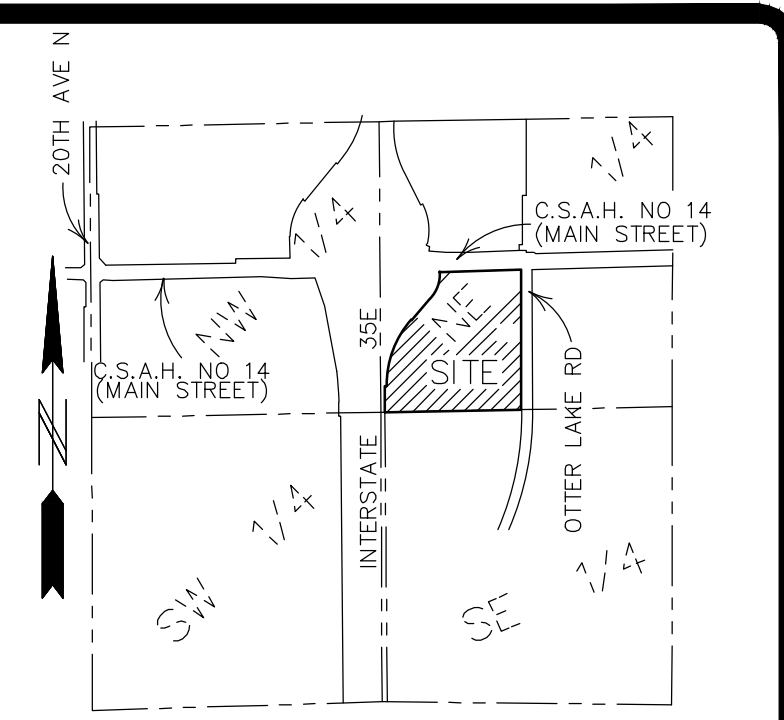
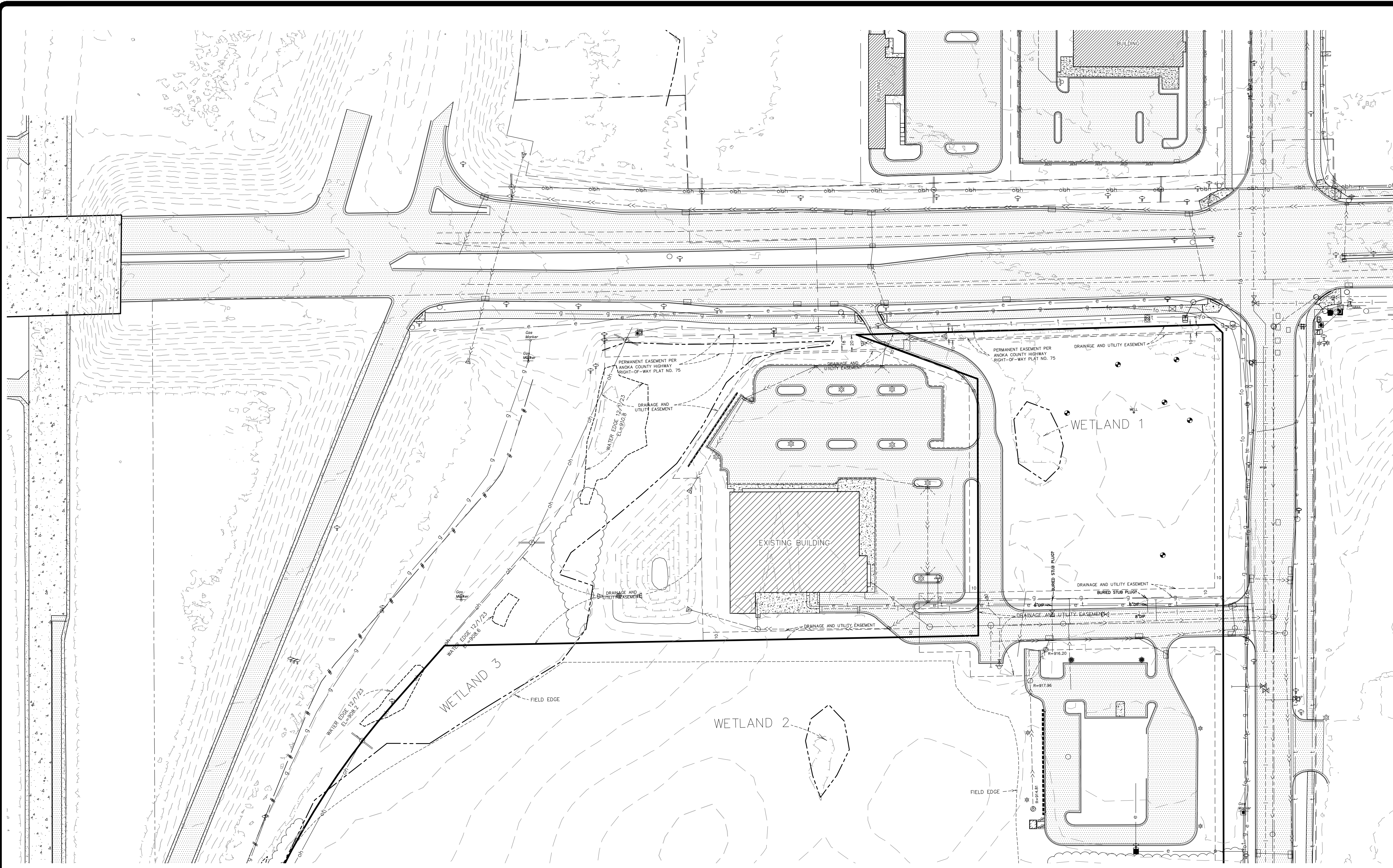
Date: 02-09-2026
Designed: PIC
Drawn: NJK, JLT

COVER SHEET

TYME PROPERTIES
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
LINO LAKES, MINNESOTA

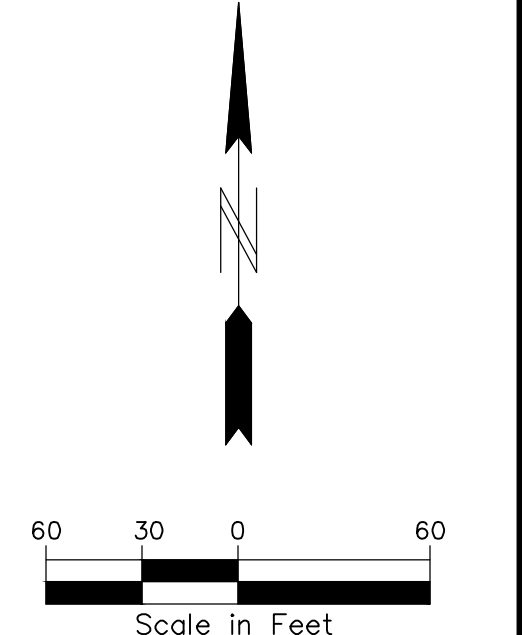
1.00 OF 19



SECTION 24, TWP. 31, RGE. 22
 ANOKA COUNTY, MINNESOTA
 LOCATION MAP
 NO SCALE

- LEGEND**
- Denotes concrete
 - Denotes gravel
 - Denotes bituminous
 - Denotes tree line
 - Denotes storm sewer line
 - Denotes sanitary sewer line
 - Denotes water line
 - Denotes overhead utility lines
 - Denotes underground television line
 - Denotes underground telephone line
 - Denotes underground fiber optic line
 - Denotes underground electric line
 - Denotes underground petroleum lines
 - Denotes underground gas line
 - Denotes fence (barbed wire)
 - Denotes fence (chain link)
 - Denotes 100 year flood level
 - Denotes Fema flood plain boundary
 - Denotes catch basin
 - Denotes catch basin beehive
 - Denotes flared end section
 - Denotes gate valve
 - Denotes hydrant
 - Denotes service
 - Denotes hand hole
 - Denotes manhole other than sanitary or storm
 - Denotes sanitary or storm manhole
 - Denotes utility pole
 - Denotes transformer box
 - Denotes fiber optic box
 - Denotes electric box
 - Denotes light pole
 - Denotes semaphore
 - Denotes telephone box
 - Denotes television box
 - Denotes cast iron monument
 - Denotes found iron pipe
 - Denotes pk nail
 - Denotes mailbox
 - Denotes sign

LEGAL DESCRIPTION FOR PRELIMINARY PURPOSES ONLY
 OUTLOT A, AND OUTLOT B, OTTER CROSSING SOUTH, according
 to the recorded plat thereof, Anoka County, Minnesota.



BENCH MARK
 TOP NUT HYDRANT IN N.W. QUAD. OF
 OTTER LAKE ROAD & PRIVATE DRIVE
 370 FT. NORTH OF MAIN STREET
 EL=920.47 NVGD88(DATUM)
 EX02-SURV-119015-BASE.DWG

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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor under the laws of the State of Minnesota

Name: Peter J. Hawkinson
 Reg. No.: 42299
 Date: 02-09-2026

Revisions:
 1. 02-10-2026 City Comments

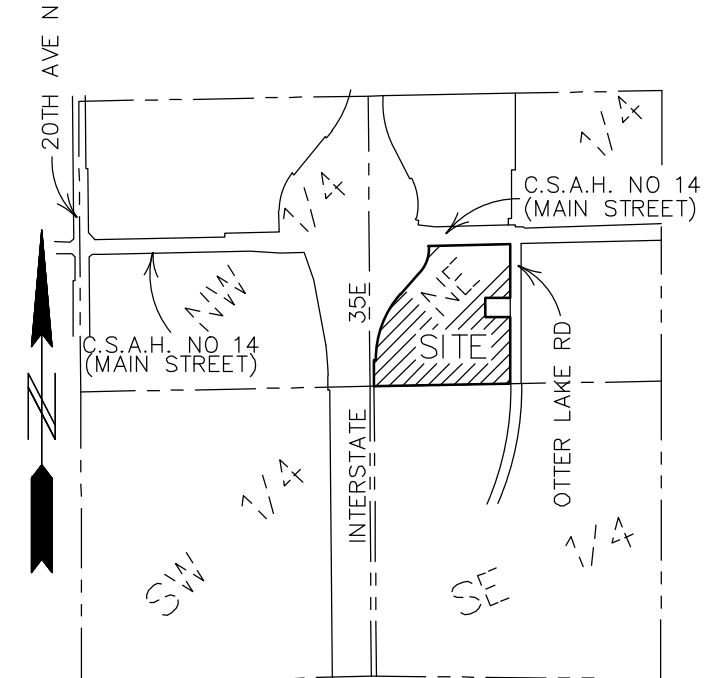
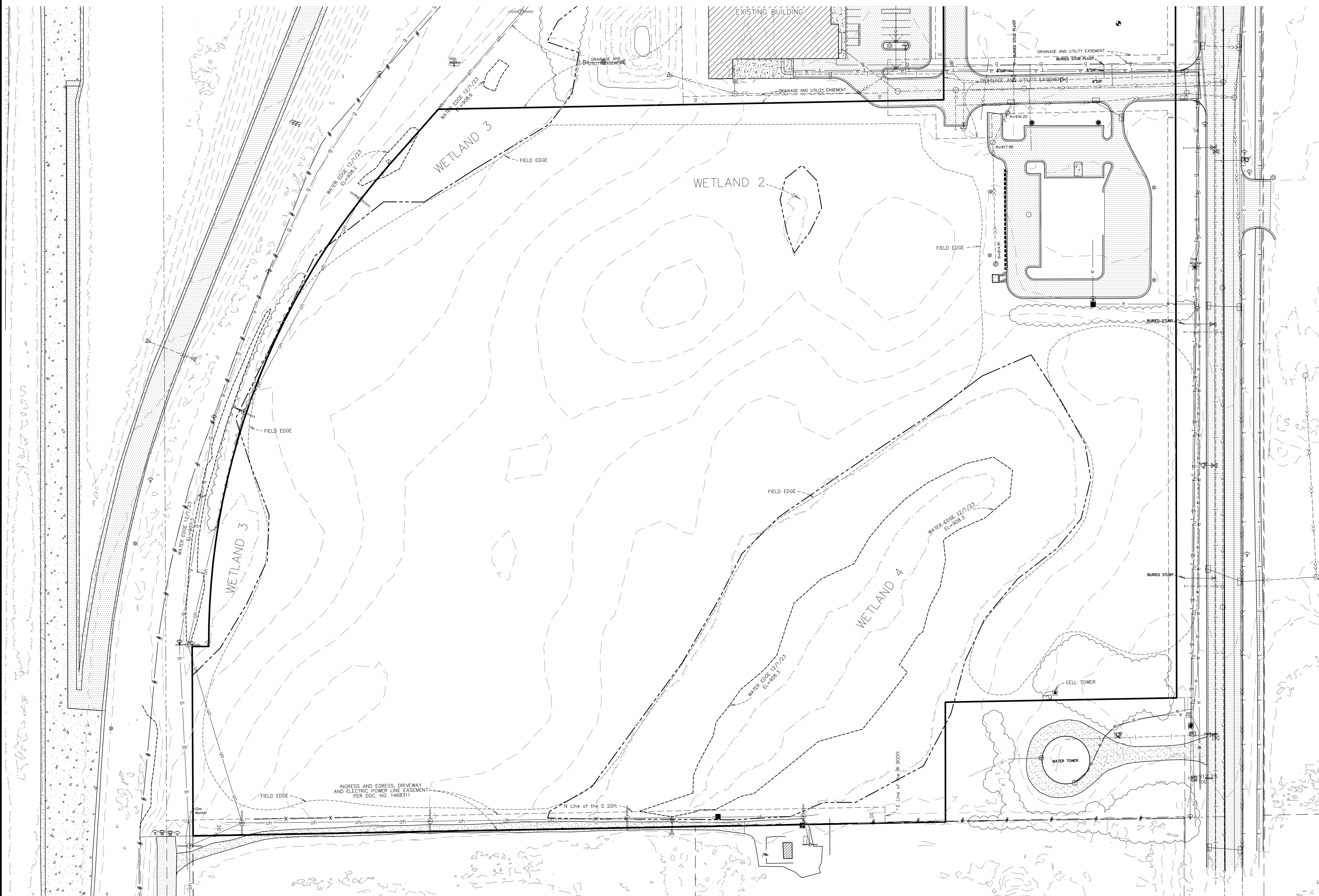
Date: 02-09-2026
 Designed: PIC
 Drawn: NJK/JLT

EXISTING CONDITIONS

TYME PROPERTIES
 3435 LABORE ROAD SUITE 150
 VADNAIS HEIGHTS, MN 55110

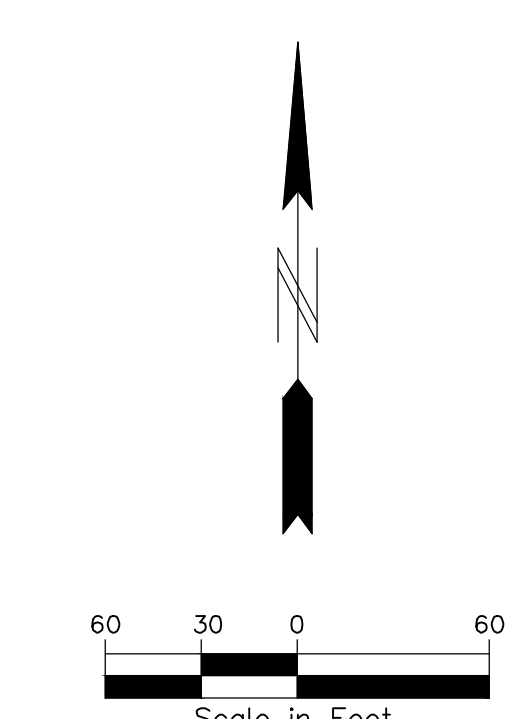
OTTER CROSSING SOUTH 2ND ADD.
 LINO LAKES, MINNESOTA

2.00 OF 19



SECTION 24, TWP. 31, RGE. 22
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Revisions:
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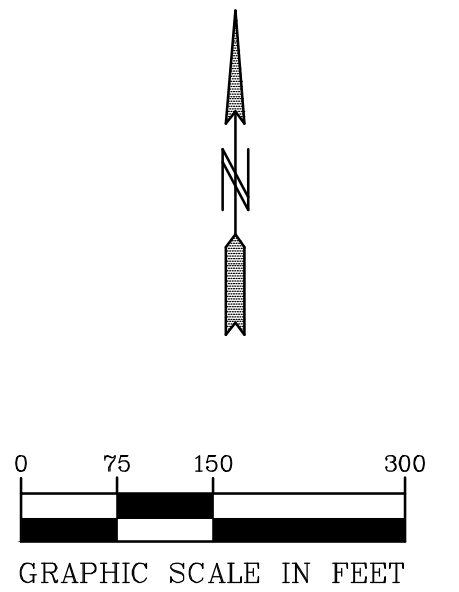
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 Designed: PIC
 Drawn: NJK, JLT

EXISTING CONDITIONS

TYME PROPERTIES
 3435 LABORE ROAD SUITE 150
 VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
 LINO LAKES, MINNESOTA

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Name: Jennifer L. Thompson
Reg. No.: 44763
Date:

Revisions
Date: 2-9-2026
Designed: JLT
Drawn: JLT

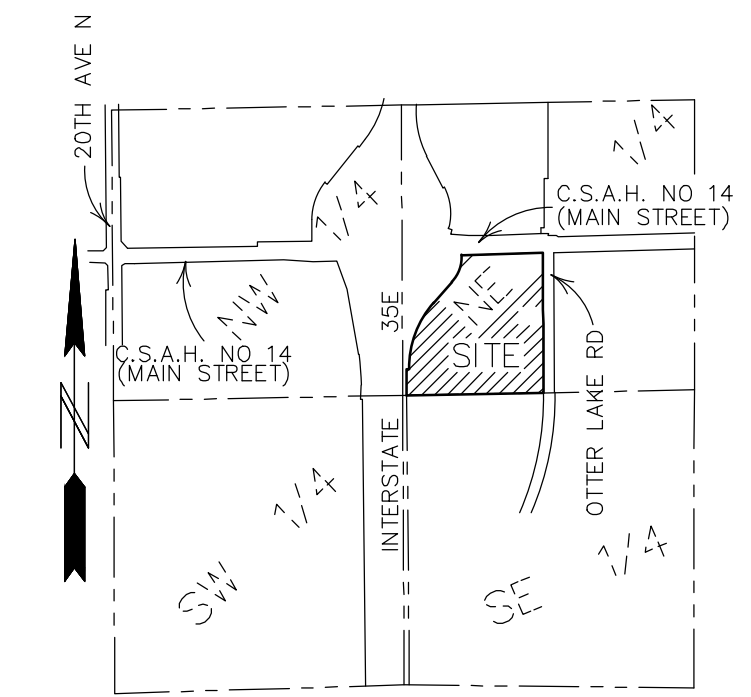
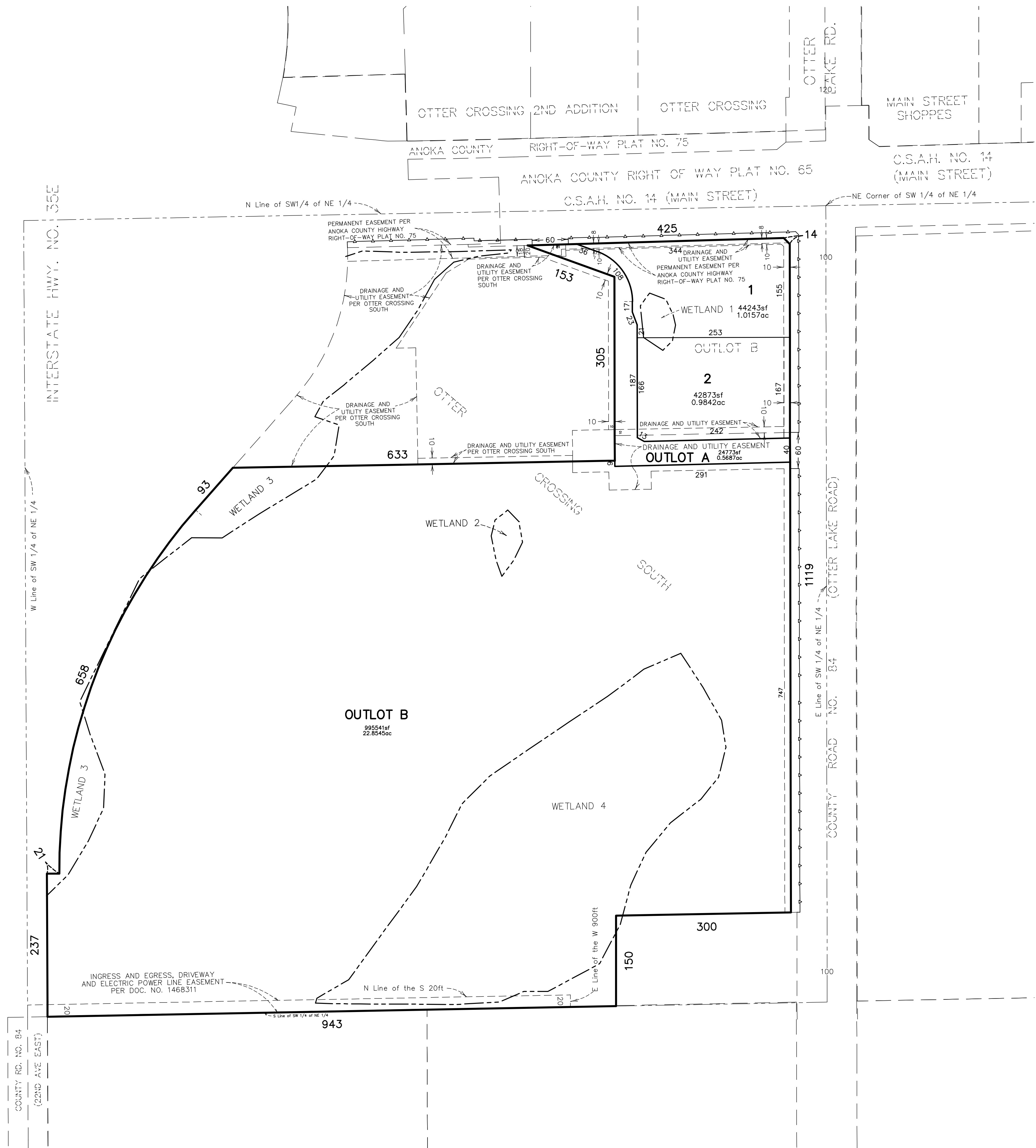
NEIGHBORHOOD LAND USE PLAN

TYME PROPERTIES
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH
LINO LAKES, MINNESOTA

2.20 OF 19

ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 75



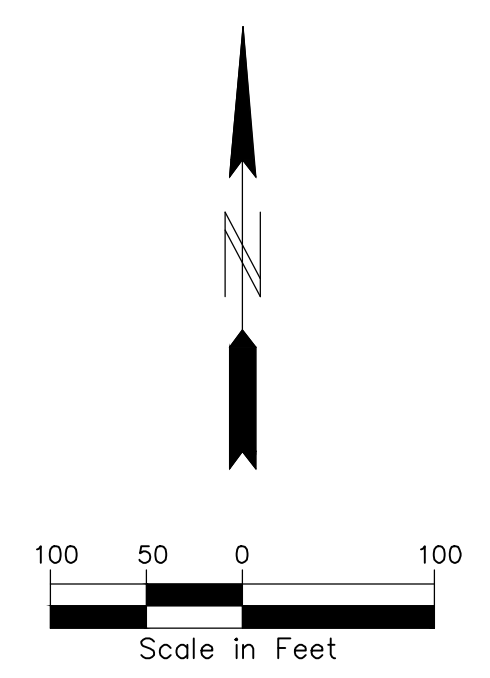
SECTION 24, TWP. 31, RGE. 22
ANOKA COUNTY, MINNESOTA
LOCATION MAP
NO SCALE

DENOTES EASEMENTS TO BE VACATED
 DENOTES RESTRICTED ACCESS

ZONING INFORMATION
2040 Comprehensive Land Use is commercial
Zoning is GB, General Business

LEGAL DESCRIPTION FOR PRELIMINARY PURPOSES ONLY
OUTLOT A, AND OUTLOT B, OTTER CROSSING SOUTH, according to the recorded plat thereof, Anoka County, Minnesota.

NUMBER OF LOTS	2
NUMBER OF OUTLOTS	2
TOTAL LOT AREA	1.9999 ACRES
TOTAL OUTLOT AREA	23.4232 ACRES
TOTAL WETLAND AREA	5.01 ACRES
TOTAL GROSS AREA	25.4231 ACRES



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Name: Peter J. Hawkinson
Reg. No.: 42299
Date: 02-09-2026

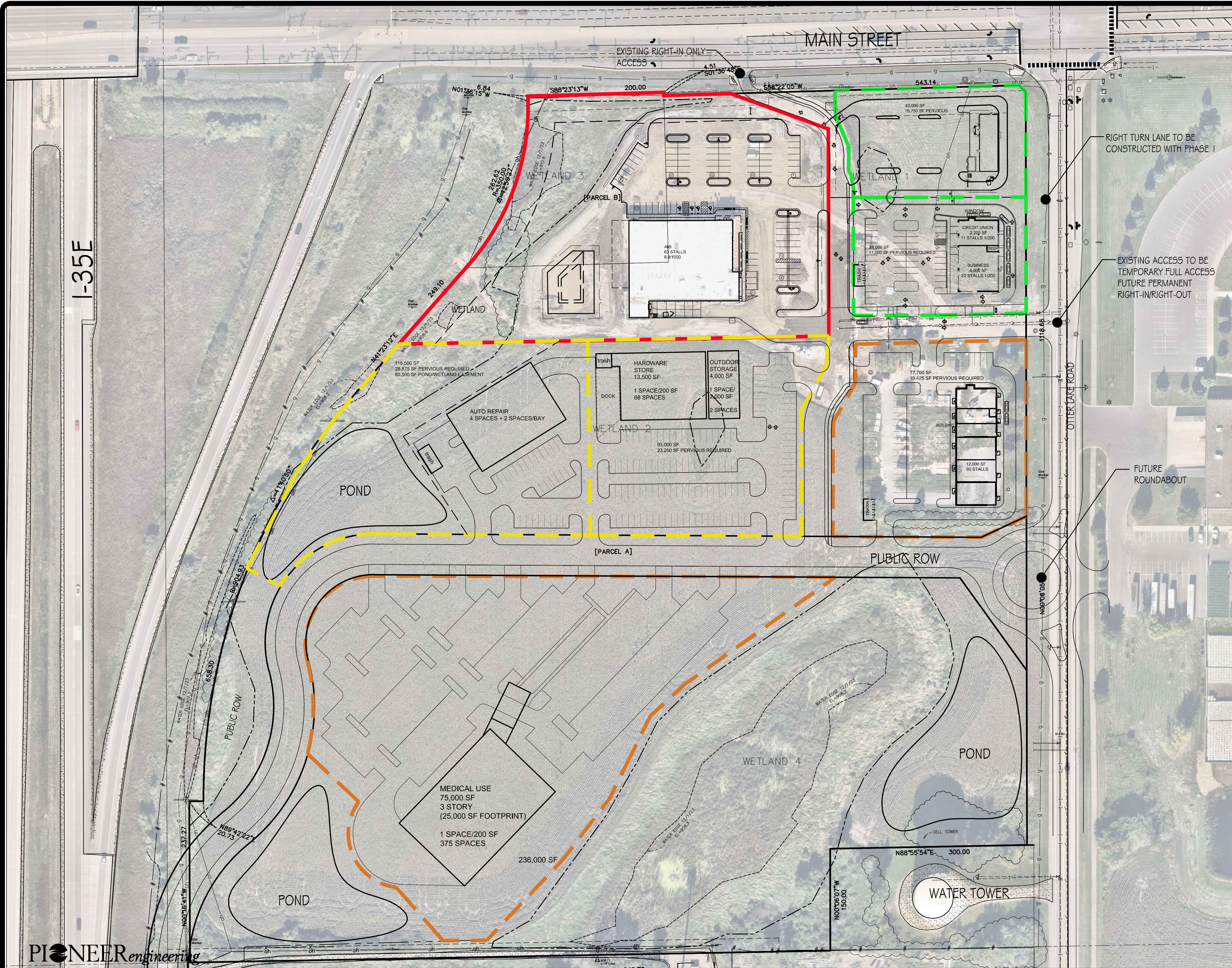
Revisions:
1. 02-10-2026 City Comments
Date: 02-09-2026
Designed: PIC
Drawn: NJK, JLT

PRELIMINARY PLAT

TYME PROPERTIES
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
LINO LAKES, MINNESOTA

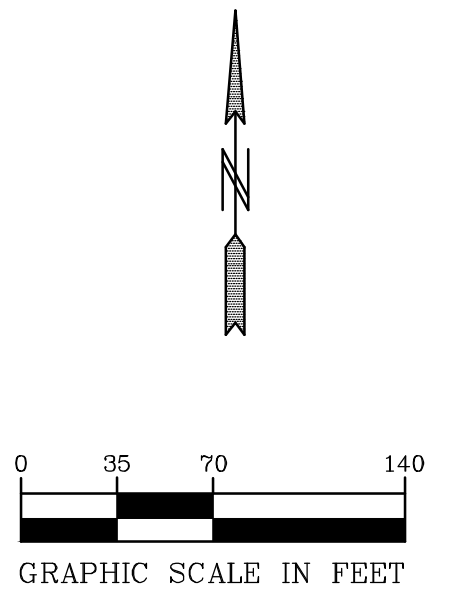
2.30 OF 19



GENERAL BUSINESS ZONING STANDARDS:

- AREA: 20,000 SF
- WIDTH: 100'
- SETBACK FROM MAJOR COLLECTOR OR ARTERIAL: 40'
- SETBACK FROM LOCAL OR MINOR COLLECTOR: 30'
- PARKING LOT SETBACK FROM PUBLIC STREET ROW: 15'
- REAR LOT LINE SETBACK:
 - 30' PRINCIPAL BUILDING
 - 10' PARKING
 - 10' ACCESSORY BUILDING
- SIDE LOT LINE SETBACK:
 - 10' PRINCIPAL BUILDING, PARKING, AND ACCESSORY BLDG
- BETWEEN PRINCIPAL BUILDINGS: 1/2 SUM OF THE TWO BUILDING HTS.
- MAXIMUM IMPERVIOUS: 75%

- ALDI PHASE 1
- PHASE 2
- PHASE 3
- FUTURE PHASES



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Name: Jennifer L. Thompson
Reg. No.: 44763
Date:

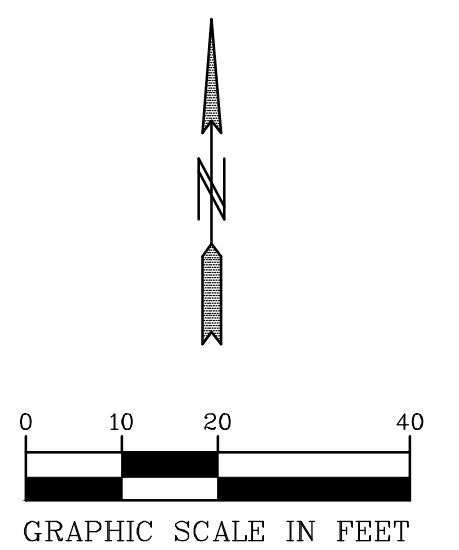
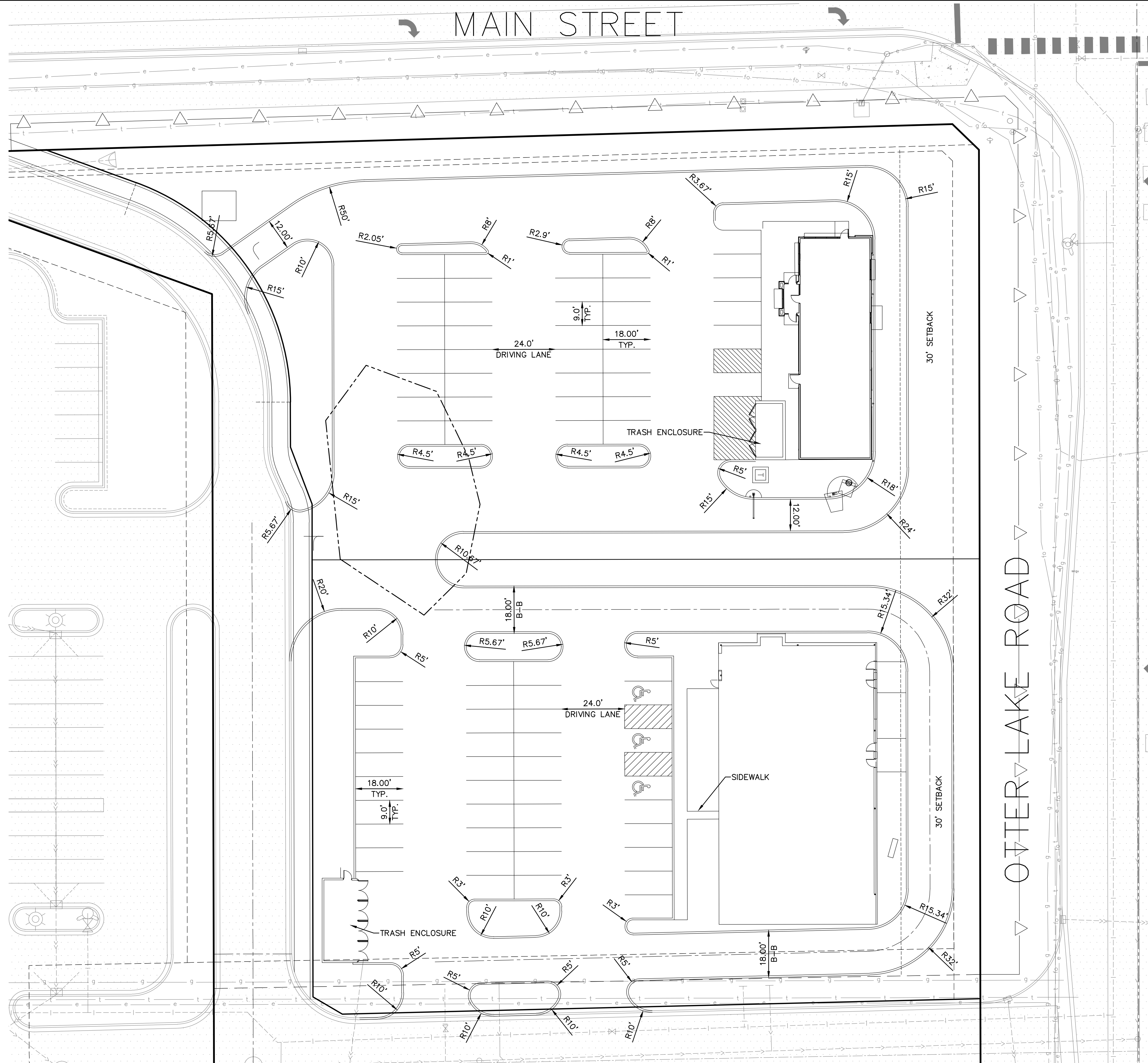
Revisions
Date: 2-9-2026
Designed: JLT
Drawn: JLT

MASTER PLAN

TYME PROPERTIES
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH
LINO LAKES, MINNESOTA

2.40 OF 19



BENCH MARK
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 02-ENG-119015-SHEET-SITE

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Name: *Paul J. Cherm*
 Paul J. Cherm
 Reg. No. 19860 Date 02-09-2026

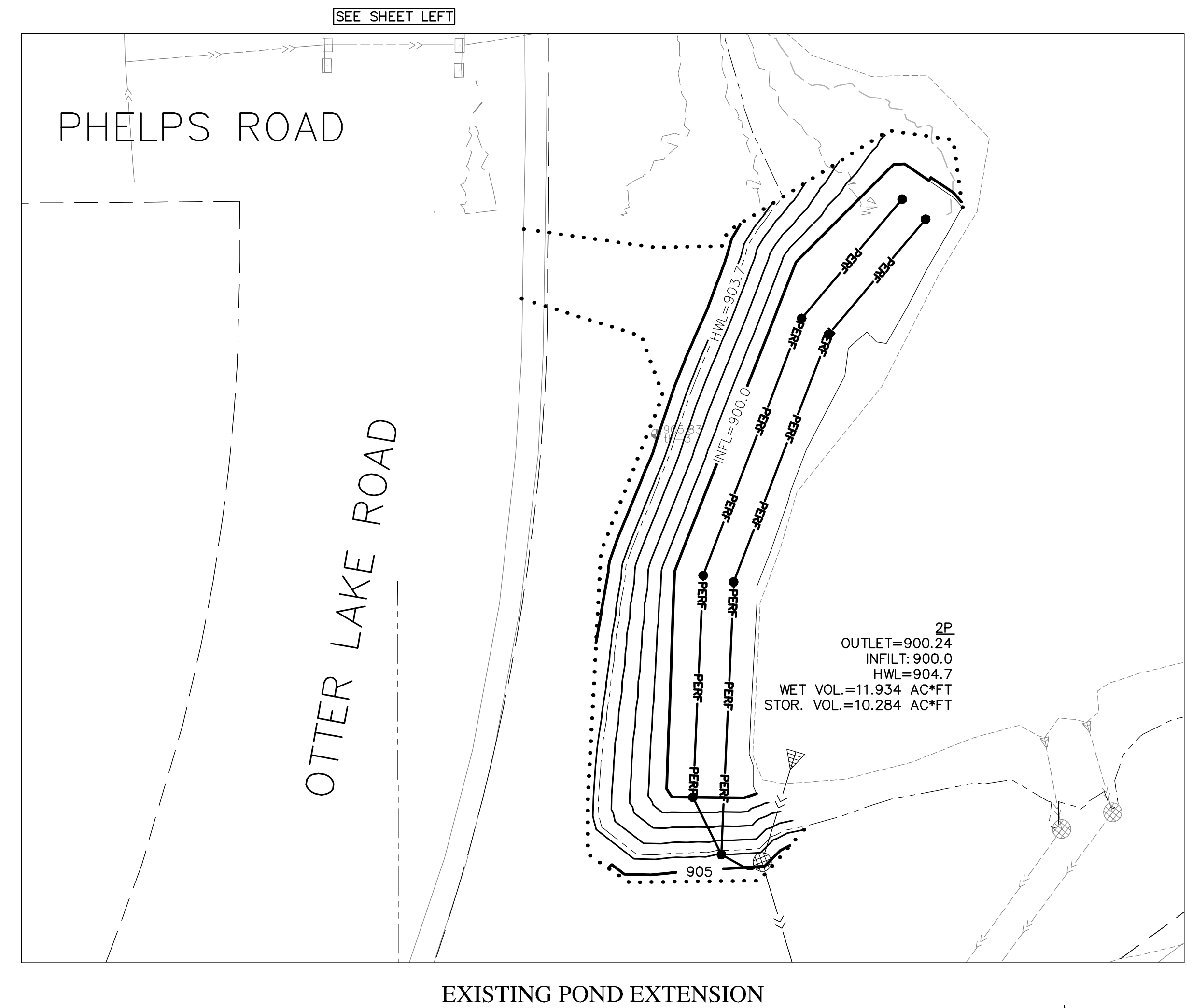
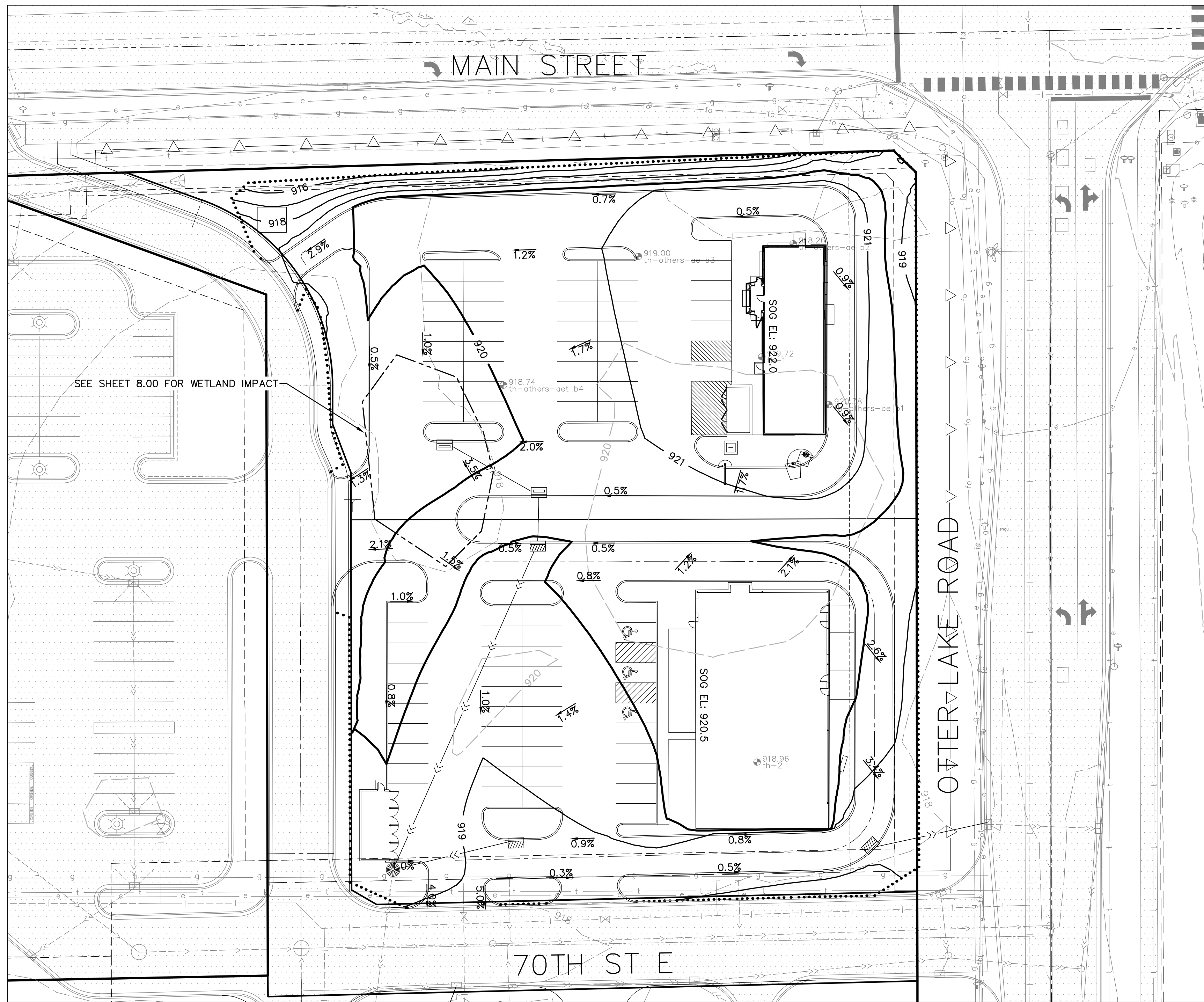
Revisions
 1. 02-10-2026 City Comments

Date 02-09-2026
 Designed PIC
 Drawn NJK/JLT

PRELIMINARY SITE PLAN

TYME PROPERTIES
 3435 LABORE ROAD SUITE 150
 VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
 LINO LAKES, MINNESOTA



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Name: *Paul J. Cherm*
 Paul J. Cherm
 Reg. No. 19860 Date 02-09-2026

Revisions
 1. 02-10-2026 City Comments

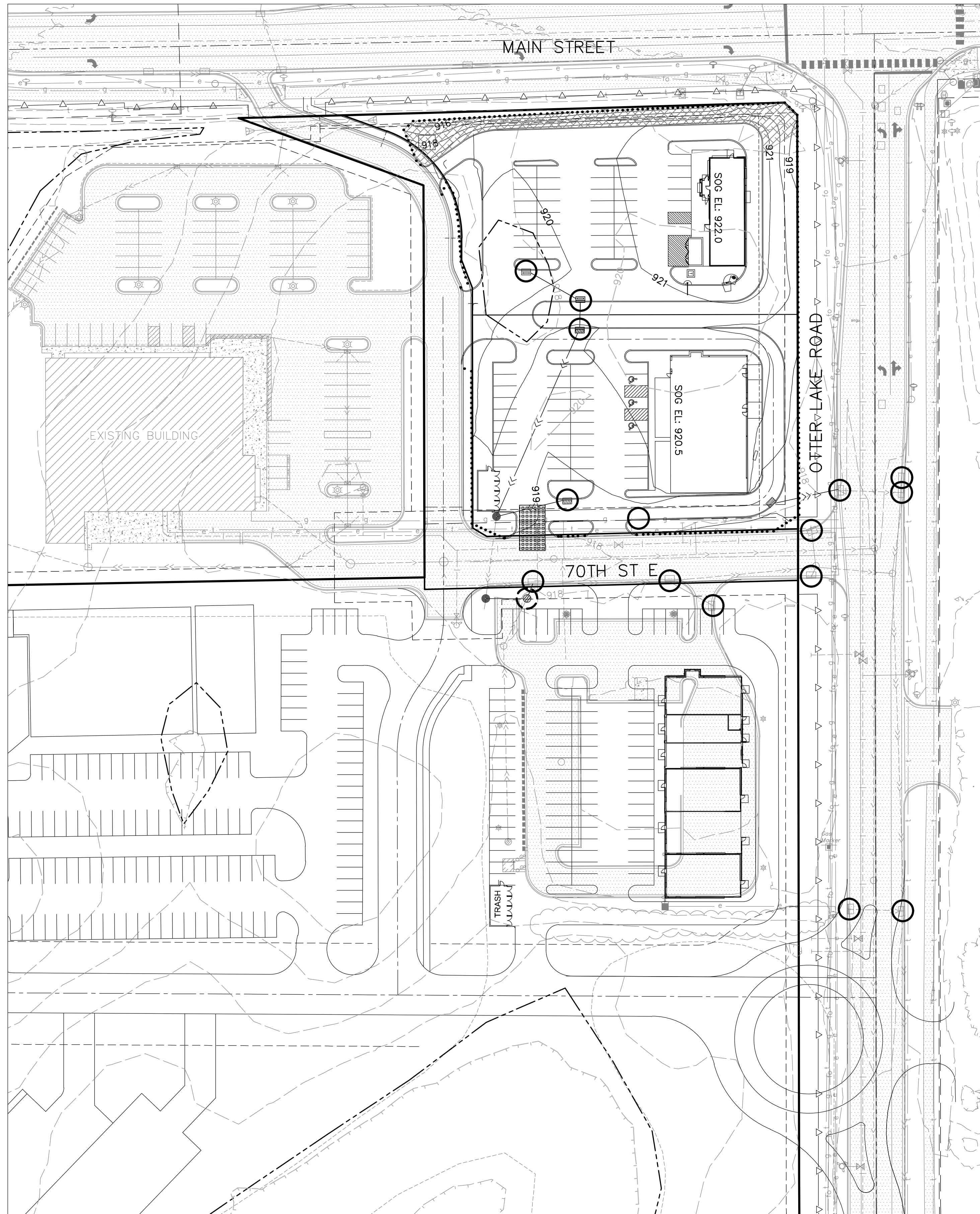
Date 02-09-2026
 Designed PIC
 Drawn NJK/JLT

PRELIMINARY GRADING PLAN

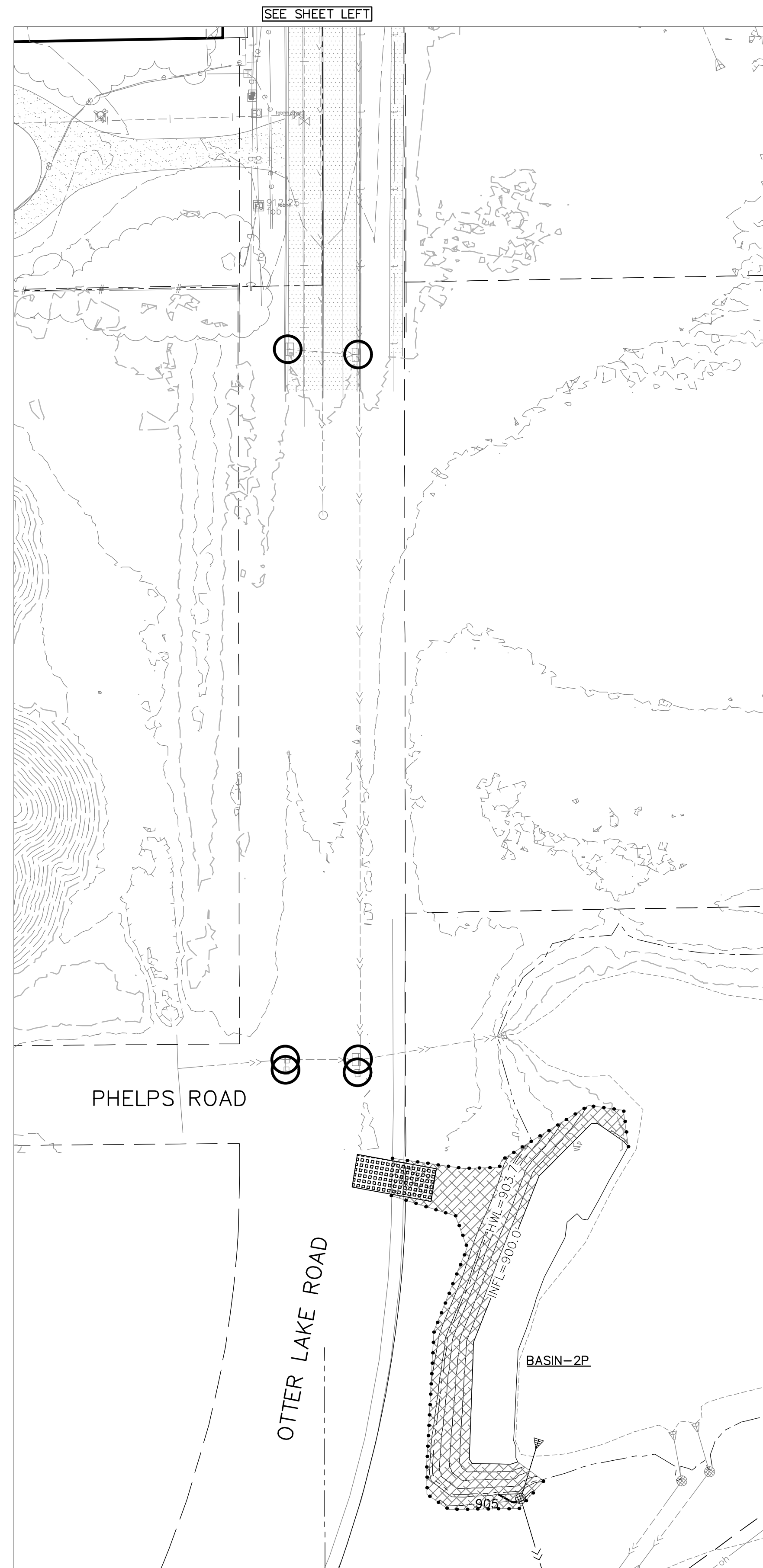
TYME PROPERTIES
 3435 LABORE ROAD SUITE 150
 VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
 LINO LAKES, MINNESOTA

4.00 OF 19

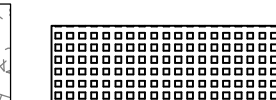

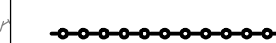

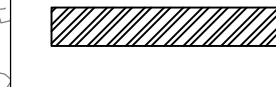









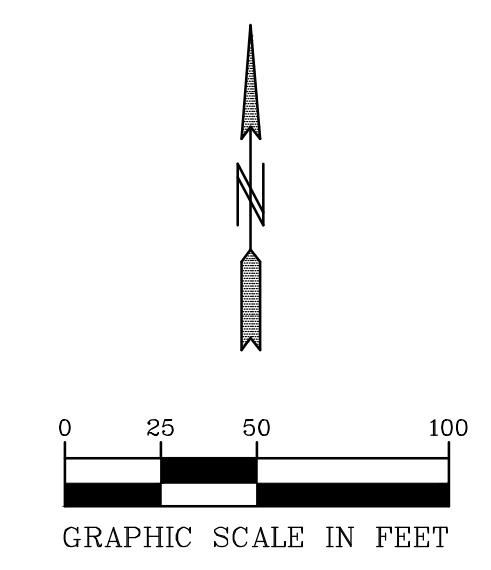
SEE SHEET RIGHT



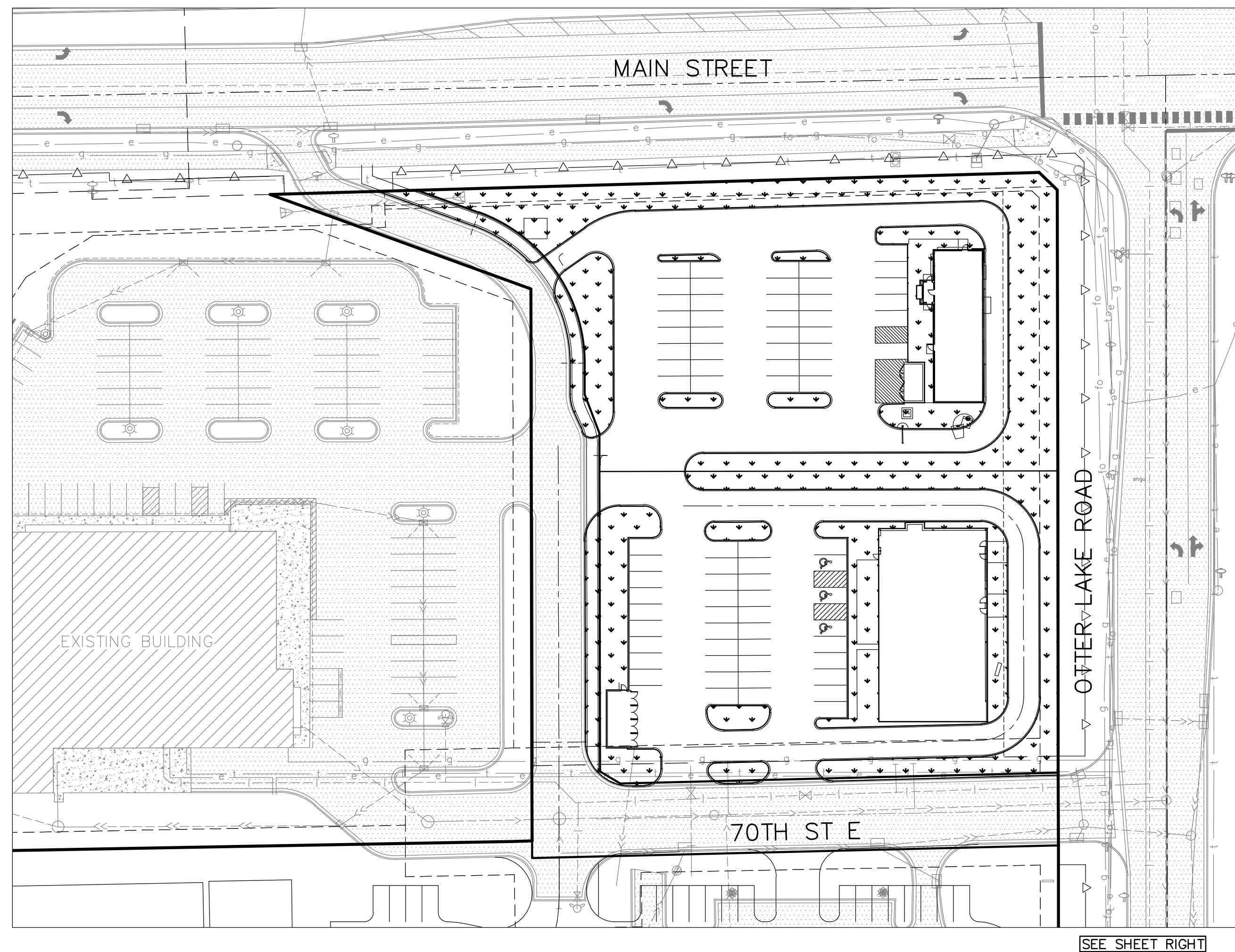
EXISTING POND EXTENSION

LEGEND

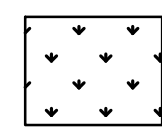
-  ROCK CONSTRUCTION ENTRANCE
INSTALL BEFORE START OF GRADING
-  PERIMETER EROSION CONTROL FENCE.
INSTALL BEFORE START OF GRADING
-  HEAVY DUTY SECONDARY EROSION CONTROL
FENCE TO BE INSTALLED 48 HOURS AFTER
COMPLETION OF GRADING.
-  CAT 20 BLANKET FROM BACK OF CURB
TO ROW TO BE INSTALLED AFTER
COMPLETION OF SIDEWALK CONSTRUCTION.
-  BASIN ACCESS 7% SLOPE MAX.
-  SUMPED RIP RAP PERMANENT ENERGY
DISSIPATER, INSTALL WITHIN 24 HOURS
AFTER CONNECTION TO A SURFACE WATER.
-  CATCH BASIN INLET PROTECTION
TO BE INSTALLED AFTER 1ST LIFT
OF BITUMINOUS.
-  CATCH BASIN INLET PROTECTION
TO BE INSTALLED WITH CATCH
BASIN GRATE.
-  STRAW BIO ROLLS. INSTALL WITHIN 7 DAYS
OF GRADING COMPLETION OR BEFORE 1ST
RAINFALL EVENT WHICHEVER IS FIRST
-  ROCK BERM. INSTALL WITHIN 7 DAYS OF
GRADING COMPLETION OR BEFORE 1ST
RAINFALL EVENT WHICHEVER IS FIRST
-  MNDOT CAT 20 EROSION CONTROL BLANKET.
INSTALL WITHIN 7 DAYS OF GRADING
COMPLETION
-  STABILIZED EMERGENCY OVERFLOW

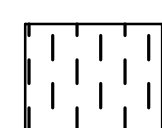


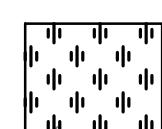
BENCH MARK
TOP NUT HYDRANT IN N.W. QUAD. OF
OTTER LAKE ROAD & PRIVATE DRIVE
370 FT. NORTH OF MAIN STREET
EL=920.47 NVGD88(DATUM)
02-ENG-119015-SHEET-EROS

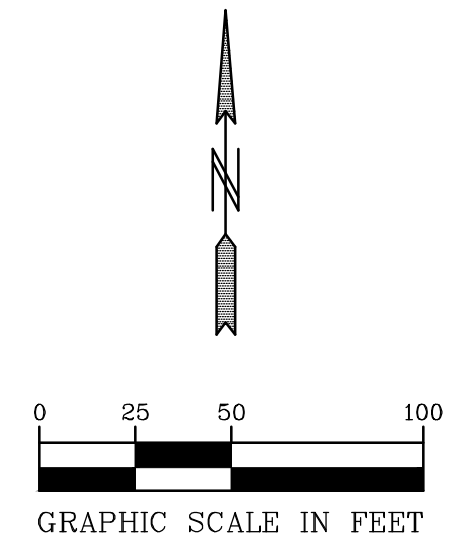


EXISTING POND EXTENSION

- 
 PERMANENT TURF RESTORATION SHALL BE DONE IN ACCORDANCE WITH MNDOT 2575 & 3876 CONSISTING OF:
 - MINNESOTA STATE SEED MIXTURE 25-141 (MESIC GENERAL ROADSIDE) AT 59 POUNDS PER ACRE.
 - MULCH SHALL BE MNDOT 3882, TYPE 1 @ 2 TONS PER ACRE OR APPROVED EQUAL AND DISK ANCHORED IN PLACE OR APPROVED EQUAL, INSTALLED TO MINIMUM 90% COVERAGE OF THE SURFACE AREA DISTURBED.
 - MNDOT 3881, TYPE 3 SLOW-RELEASE FERTILIZER, 22-5-10, MINIMUM 70% WATER-INSOLUBLE NITROGEN @ 350 LBS PER ACRE.

- 
 PERMANENT BASIN SEEDING SHALL BE DONE IN ACCORDANCE WITH MNDOT 2575 & 3876 CONSISTING OF:
 - WET BASIN BENCH/(IN)FILTRATION BASIN: MINNESOTA STATE SEED MIXTURE 33-261 (STORMWATER SOUTH AND WEST) AT 35 POUNDS PER ACRE.
 - ABOVE BASIN BENCH TO HIGH WATER LEVEL: MINNESOTA STATE SEED MIXTURE 35-241 (MESIC PRAIRIE GENERAL) AT 38.5 POUNDS PER ACRE.
 - MULCH SHALL BE MNDOT 3882, TYPE 3 @ 2 TONS PER ACRE OR APPROVED EQUAL AND DISK ANCHORED IN PLACE OR APPROVED EQUAL,
 - MNDOT 3881, TYPE 4 NATURAL-BASED FERTILIZER, 18-1-8 @ 120 LBS PER ACRE OR 17-10-7 @ 150 LBS PER ACRE

- 
 UPLAND/NATURAL AREA SEEDING SHALL BE DONE IN ACCORDANCE TO MNDOT 2575 & 3876; CONSISTING OF:
 - MINNESOTA STATE SEED MIXTURE 35-621 (DRY PRAIRIE SOUTHEAST) AT 11.0 POUNDS PER ACRE.
 - MULCH SHALL BE MNDOT 3882, TYPE 3 @ 2 TONS PER ACRE OR APPROVED EQUAL AND DISK ANCHORED IN PLACE OR APPROVED EQUAL,
 - MNDOT 3881, TYPE 4 NATURAL-BASED FERTILIZER, 18-1-8 @ 120 LBS PER ACRE OR 17-10-7 @ 150 LBS PER ACRE



BENCH MARK
 TOP NUT HYDRANT IN N.W. QUAD. OF
 OTTER LAKE ROAD & PRIVATE DRIVE
 370 FT. NORTH OF MAIN STREET
 EL=920.47 NVGD88(DATUM)
 02-ENG-119015-SHEET-SEED

PIONEER engineering
 CIVIL ENGINEERS LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS
 2422 Enterprise Drive
 Mendota Heights, MN 55120
 (651) 681-1914
 Fax: 681-9488
 www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Name: *Paul J. Cherm*
 Paul J. Cherm
 Reg. No. 19860 Date 02-09-2026

Revisions
 1. 02-10-2026 City Comments

Date 02-09-2026
 Designed PIC
 Drawn NJK/JLT

PRELIMINARY SEEDING PLAN

TYME PROPERTIES
 3435 LABORE ROAD SUITE 150
 VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
 LINO LAKES, MINNESOTA

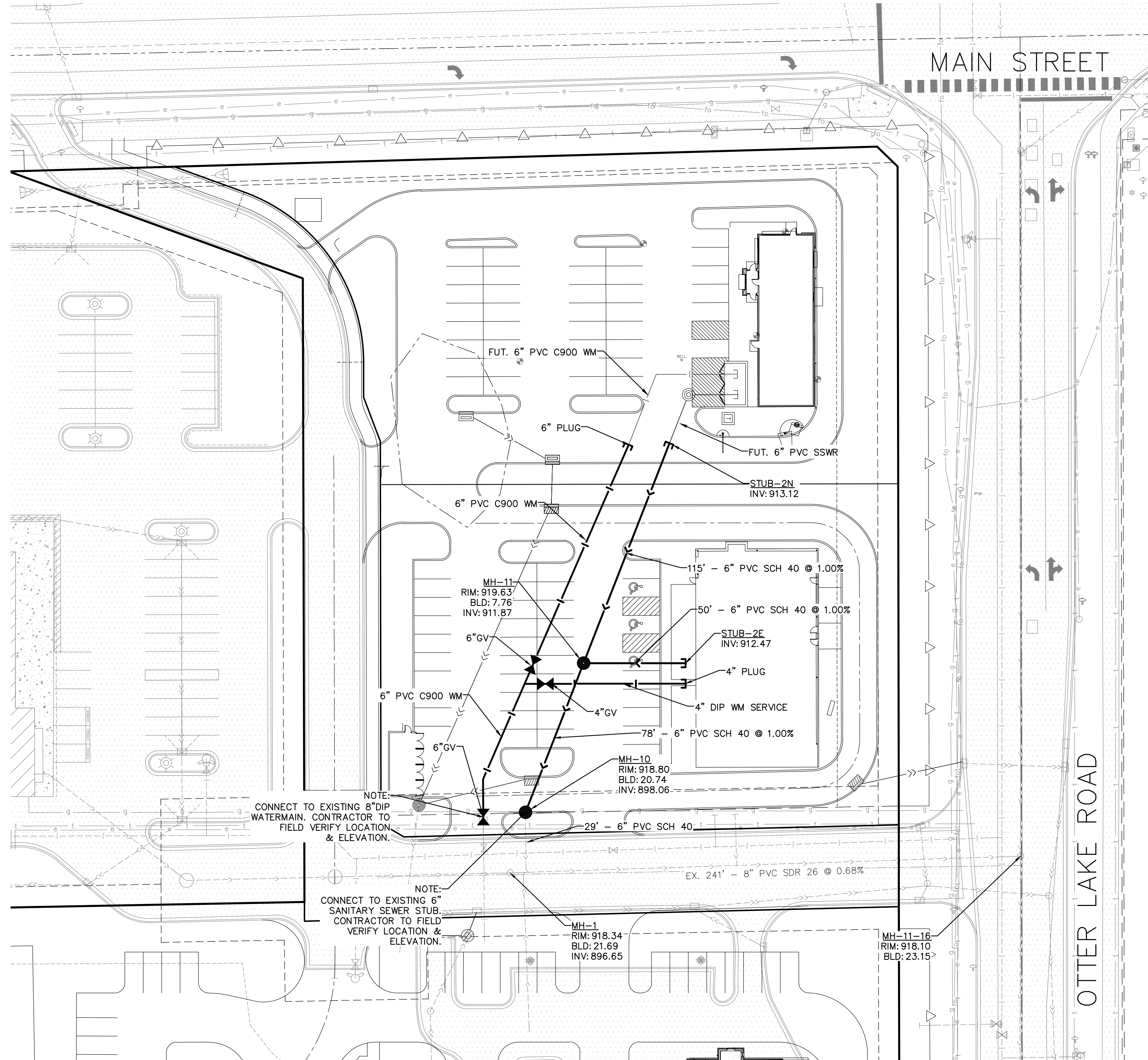
4.20 OF 19

SANITARY SEWER NOTES:

1. TRACER WIRE REQUIRED ON ALL NON-CONDUCTIVE MAINLINE PIPE, LATERALS, SERVICES, MANHOLES, CATCH BASINS, STUBS, UTILITY LOCATION BOXES AS REQUIRED BY THE SPECIAL PROVISIONS.

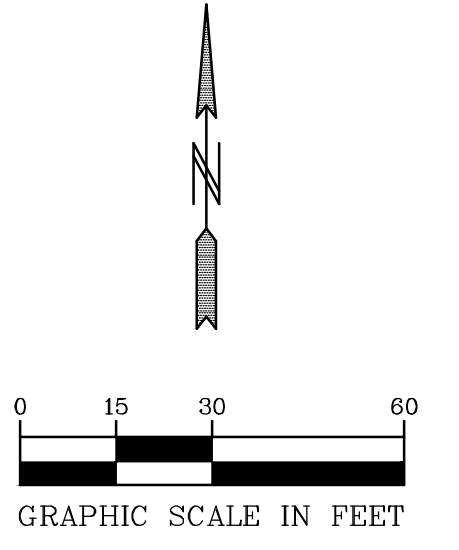
WATERMAIN NOTES:

1. ALL WATERMAIN SHALL BE PVC C900 UNLESS OTHERWISE NOTED.
2. ALL FITTINGS SHALL MEET AWWA C153 REQUIREMENTS.
3. TRACER WIRE REQUIRED ON ALL NON-CONDUCTIVE PIPE PER CITY SPEC.
4. WATERMAIN SHALL HAVE A MINIMUM OF 7.5 FEET OF COVER.



NOTE:
CONNECT TO EXISTING 8\"/>

NOTE:
CONNECT TO EXISTING 6\"/>



BENCH MARK
TOP NUT HYDRANT IN N.W. QUAD. OF
OTTER LAKE ROAD & PRIVATE DRIVE
370 FT. NORTH OF MAIN STREET
EL=920.47 NVGD88(DATUM)
02-ENG-119015-SHEET-SSWR



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Name: *Paul J. Cherm*
Paul J. Cherm
Reg. No. 19860 Date 02-09-2026

Revisions
1. 02-10-2026 City Comments

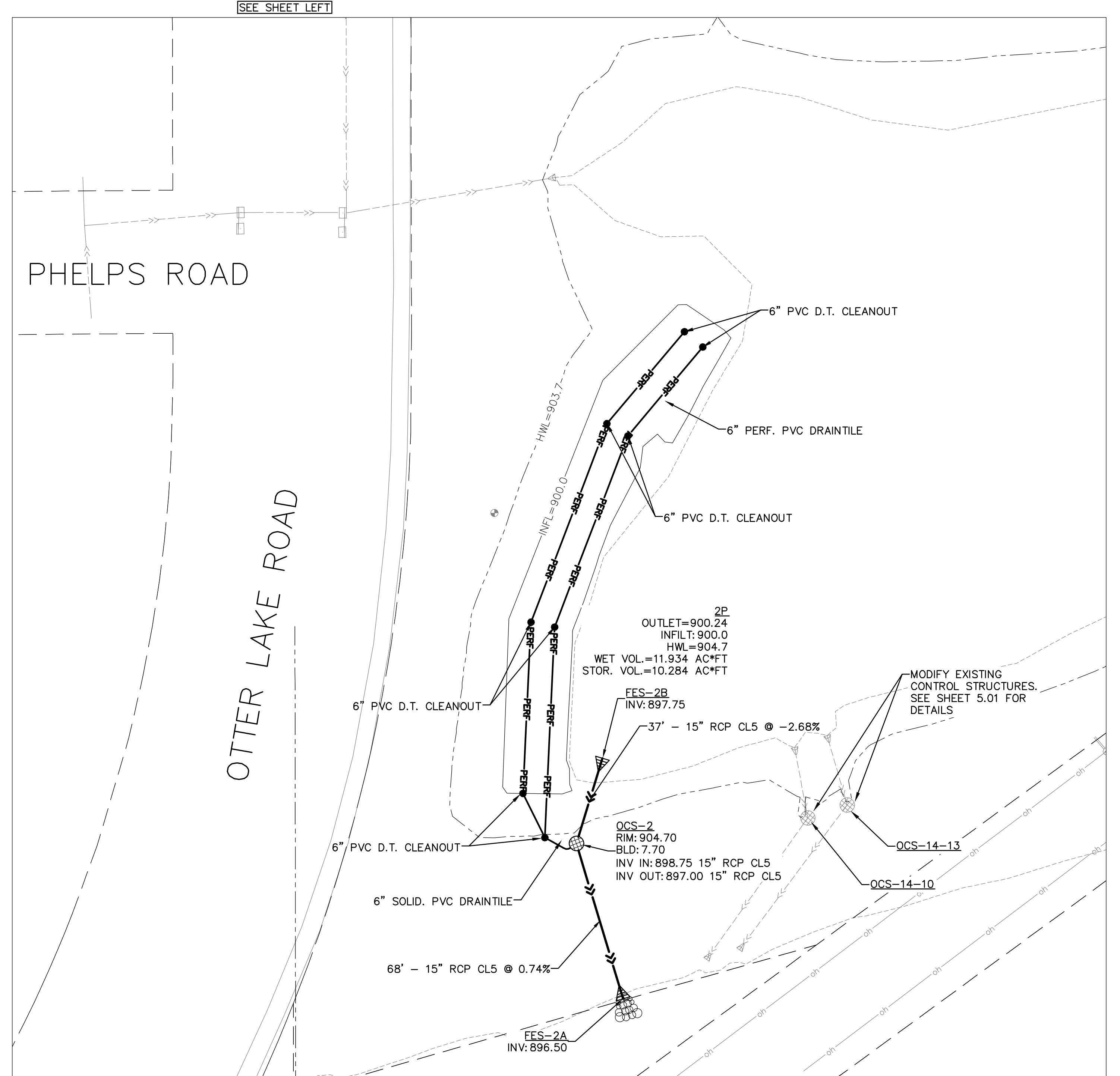
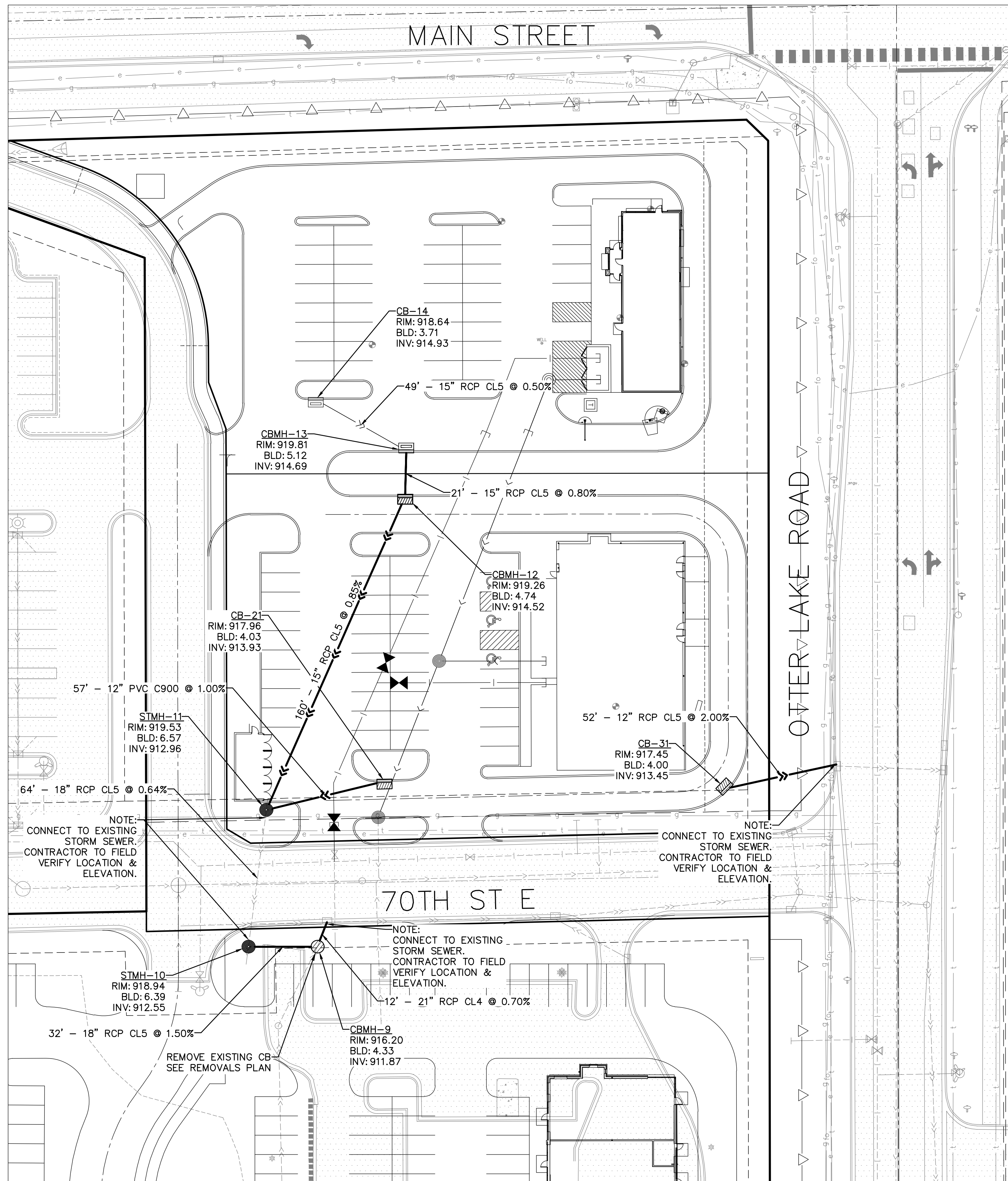
Date 02-09-2026
Designed PIC
Drawn NJK/JLT

PRELIMINARY SANITARY SEWER & WATERMAIN PLAN

TYME PROPERTIES
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
LINO LAKES, MINNESOTA

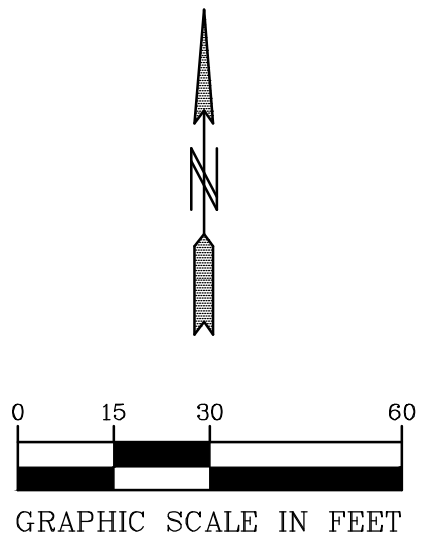
6.00 OF 19



OTTER LAKE ROAD

PHELPS ROAD

EXISTING POND EXTENSION



BENCH MARK
 TOP NUT HYDRANT IN N.W. QUAD. OF
 OTTER LAKE ROAD & PRIVATE DRIVE
 370 FT. NORTH OF MAIN STREET
 EL=920.47 NVGD88(DATUM)
 02-ENG-119015-SHEET-STRM

SEE SHEET RIGHT

SEE SHEET LEFT

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Name: *Paul J. Cherm*
 Paul J. Cherm
 Reg. No. 19860 Date 02-09-2026

Revisions
 1. 02-10-2026 City Comments

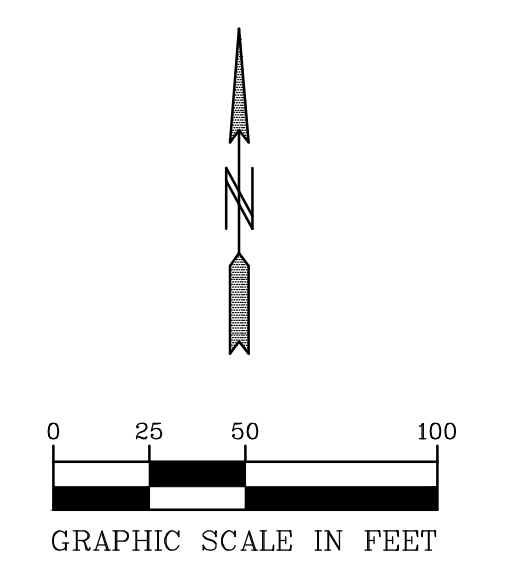
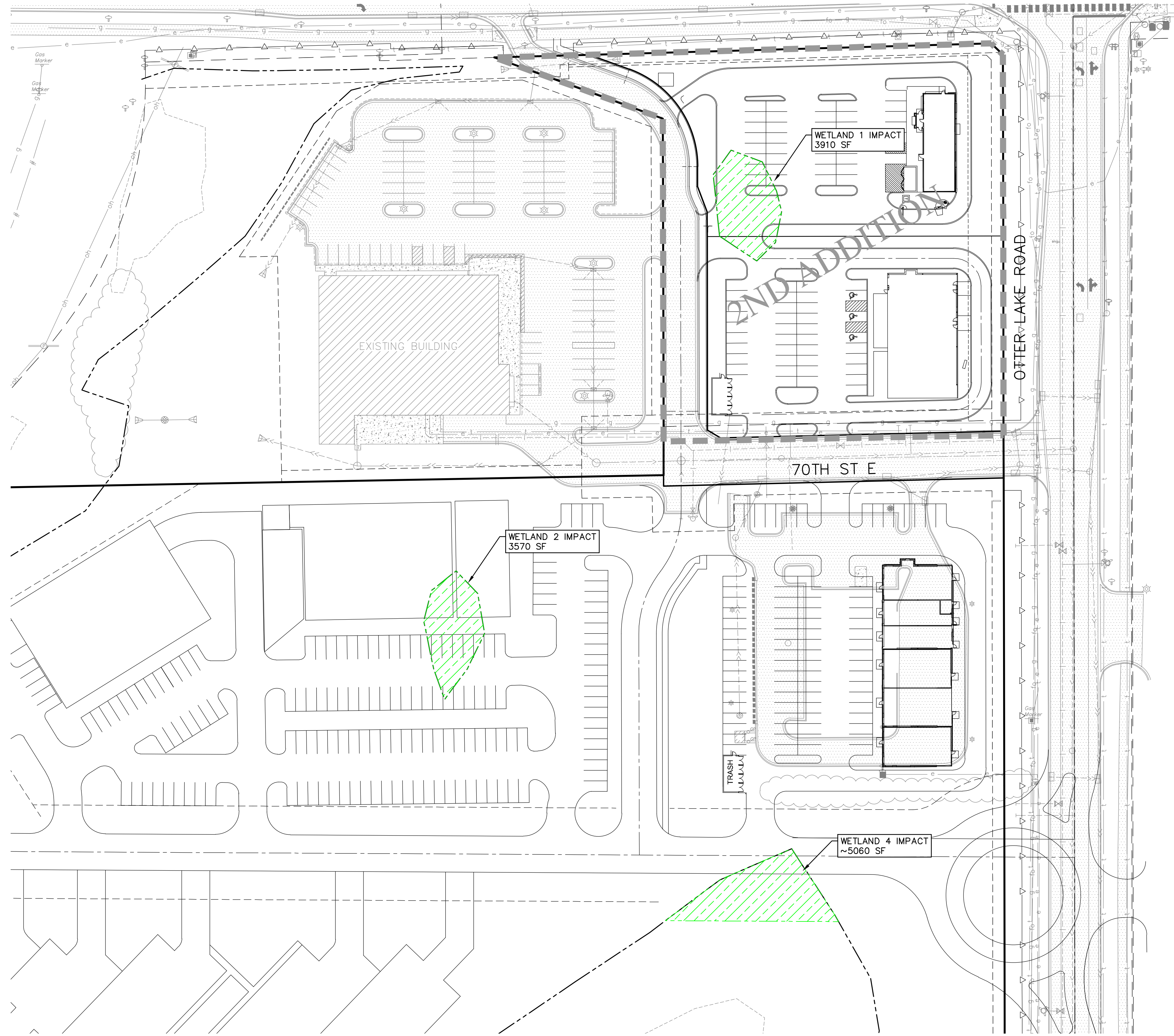
Date: 02-09-2026
 Designed: PIC
 Drawn: NJK/JLT

PRELIMINARY STORM SEWER PLAN

TYME PROPERTIES
 3435 LABORE ROAD SUITE 150
 VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
 LINO LAKES, MINNESOTA

7.00 OF 19



BENCH MARK
 TOP NUT HYDRANT IN N.W. QUAD. OF
 OTTER LAKE ROAD & PRIVATE DRIVE
 370 FT. NORTH OF MAIN STREET
 EL=920.47 NVGD88(DATUM)
 02-ENG-119015-SHEET-WETL

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 Reg. No. 19860 Date 02-09-2026

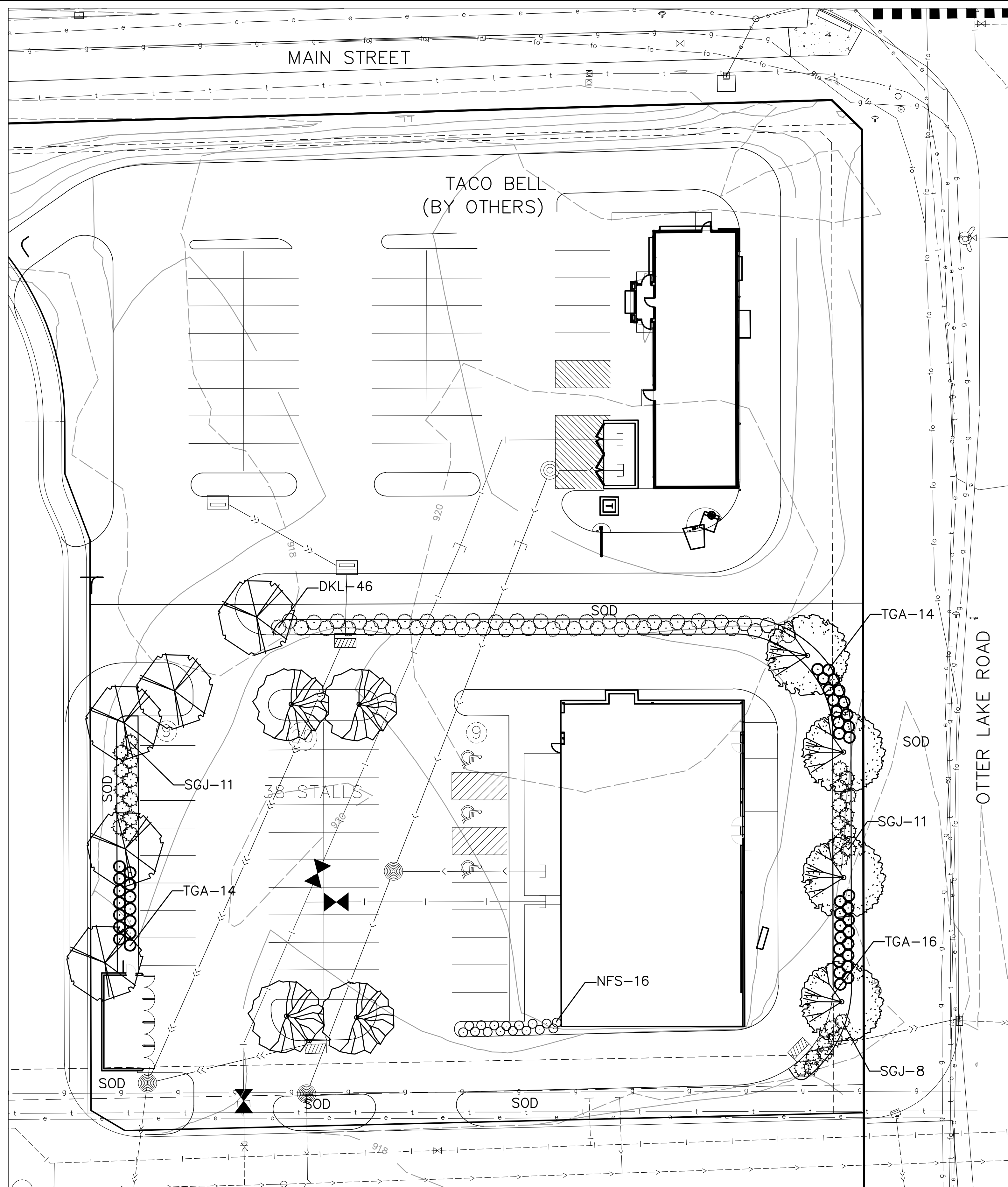
Revisions
 1. 02-10-2026 City Comments
 Date 02-09-2026
 Designed PIC
 Drawn NJK/JLT

PRELIMINARY WETLAND PLAN

TYME PROPERTIES
 3435 LABORE ROAD SUITE 150
 VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
 LINO LAKES, MINNESOTA

8.00 OF 19



PLANTING SCHEDULE

KEY	COMMON NAME/SCIENTIFIC NAME	ROOT	QUANTITY
OVERSTORY TREES			
	THORNLESS HONEYLOCUST/GLEDITSIA TRIACANTHOS VAR INEMIS	2.5" B&B	5
	NORTHWOOD MAPLE/ACER RUBRUM 'NORTHWOOD'	2.5" B&B	4
	SENTRY LINDEN/TILIA AMERICANA 'SENTRY'	2.5" B&B	4
SHRUBS			
NFS	NEON FLASH SPIREA/SPIRAEA X BUMALDA 'NEON FLASH'	#3 POT	16
DKL	DWARF KOREAN LILAC/SYRINGA MEYERI 'PALABIN'	#3 POT	46
SGJ	SEA GREEN JUNIPER/JUNIPERUS CHINENSIS 'SEA GREEN'	#3 POT	30
TGA	TECHNY GLOBE ARBORVITAE/THUJA OCCIDENTALIS 'TECHNY GLOBE'	#3 POT	44

CITY LANDSCAPE REQUIREMENTS

40% OF VEHICULAR HARDSCAPE COVERAGE WITH CANOPY

VEHICULAR HARDSCAPE: 22,950 SQ FT
40% REQUIREMENT=9,180 SQ FT

ASSIGNED CANOPY COVER VALUE:
OVERSTORY TREE IN ISLANDS: 950 SF
OVERSTORY TREES WITHIN 7' OF PARKING LOT: 600'

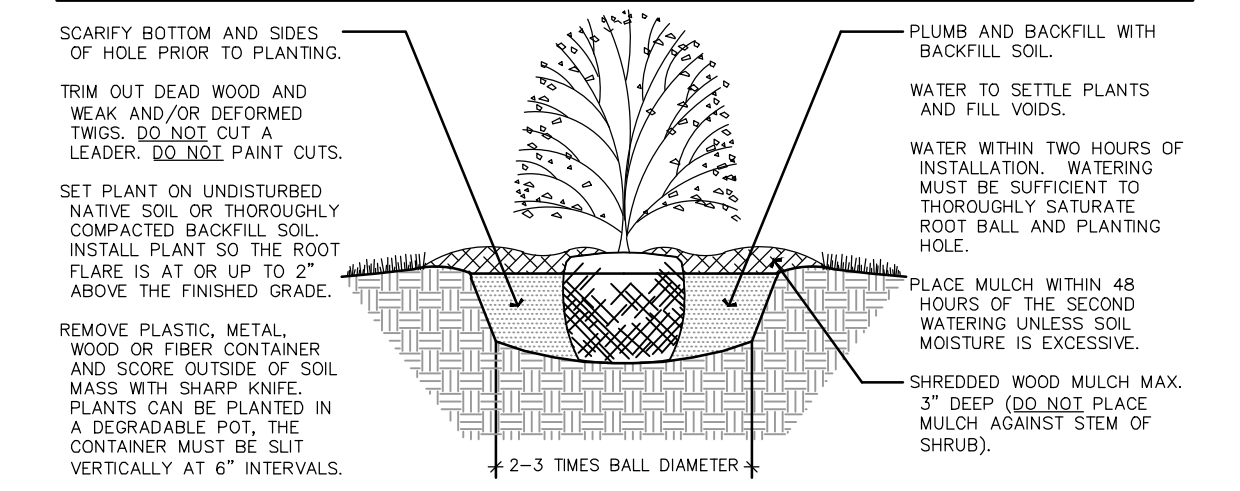
11 OVERSTORY TREES PROPOSED: 9,200 SF
4 ISLAND TREES: 3,800 SF
9 TREES WITHIN 7' OF PARKING LOT: 5,400 SF

LANDSCAPE SCREENING BETWEEN PARKING LOT AND RIGHT OF WAY. CREATE A CONTINUOUS SCREEN AT A HEIGHT OF 30". DOUBLE ROW OF PLANTS WITH TRIANGULATED SPACING.

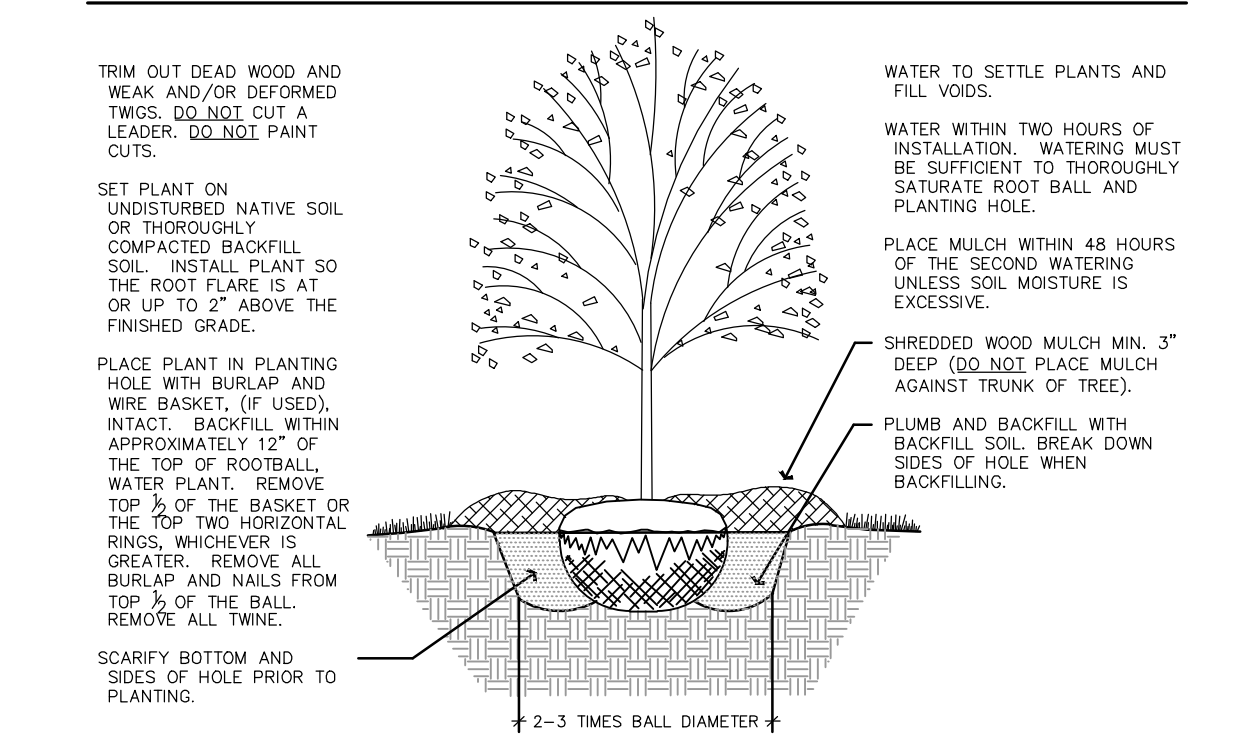
NOTES:

1. PLANTING BEDS THAT ABUT SOD SHALL BE EDGED WITH STEEL EDGER
2. PLANTING BEDS TO BE MULCHED WITH 1.25-1.5" RIVER ROCK TO A DEPTH OF 3"
3. RIVER ROCK LAID OVER FIBER MAT WEED BARRIER
4. SODDED AREAS AS NOTED ON PLAN TO BE IRRIGATED.
5. SOD USED BETWEEN PLANTING BEDS AND ADJACENT STREET CURBS.
6. IRRIGATION DESIGNED BY OTHERS.

SHRUB PLANTING DETAIL



DECIDUOUS TREE PLANTING DETAIL



LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF PROPOSED PHYSICAL START DATE AT LEAST 7 DAYS IN ADVANCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING UTILITY LOCATIONS ON THE PROJECT SITE WITH Gopher State One Call 1-800-252-1166 PRIOR TO COMMENCING WORK. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- GRADING TO BE PERFORMED BY OTHERS.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS FOUND IN THE AMERICAN ASSOCIATION OF NURSERYMEN-AMERICAN STANDARD FOR NURSERY STOCK.
- ALL CONTAINER MATERIAL TO BE GROWN IN THE CONTAINER A MINIMUM OF SIX (6) MONTHS PRIOR TO PLANTING ON SITE.
- DECIDUOUS AND CONIFEROUS TREES SHALL NOT BE STAKED, BUT THE LANDSCAPE CONTRACTOR MUST GUARANTEE STABILITY TO A WIND SPEED OF 60 M.P.H.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM GUARANTEE OF ONE YEAR ONE TIME REPLACEMENT ON NEW PLANT MATERIALS. GUARANTEE SHALL BE AGREED UPON BY DEVELOPER/BUILDER AND LANDSCAPE CONTRACTOR.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING OR AFTER INSTALLATION.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER SHOWN ON THE PLANT LIST, THE NUMBER SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE WORK SHOWN ON THE PLAN. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE PLANT SCHEDULE.
- COMMERCIAL GRADE POLY LAWN EDGING SHALL BE INSTALLED WHERE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO THE SITE CAUSED BY THE PLANTING OPERATION AT NO COST TO THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL KEEP PAVEMENTS CLEAN UNSTAINED. ALL PEDESTRIAN AND VEHICLE ACCESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL WASTES SHALL BE PROMPTLY REMOVED FROM THE SITE. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS AND PERMITS GOVERNING THE WORK.
- STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.

Memorandum

To: Katie Larsen, Lino Lakes City Planner
From: Diane Hankee PE, Lino Lakes City Engineer
Date: March 4, 2026
**Re: Otter Crossing South 2nd Addition
 Preliminary Plat Review
 033423-000**

WSB reviewed the Preliminary Plat submittal for the Otter Crossing South 2nd Addition site in Lino Lakes, MN, received February 9, 2026. The site is 3.80 acres and located off 70th Avenue and Otter Lake Road. Comments were made on the following documents:

- Otter Crossing South 2nd Addition – Preliminary Plat submittal prepared by Pioneer, dated February 10, 2026, received February 10, 2026.
- Traffic Study – Lino C Development prepared by S² Traffic Solutions, February 16, 2024, received February 10, 2025.

The following review comments should be responded to in writing by the applicant. There are additional redline comments on the preliminary plans that should be responded to as well. Not all redline comments are in the review memo.

Engineering

- **General**

The Otter Crossing South 2nd commercial development proposes to create two (2) commercial lots from Outlot B of the original Otter Crossing South development and outlots the remaining area for access and future commercial development. A previously provided Master plan, which laid out an idea of how the remaining outlotted areas could be platted in the future, was updated.

- **Grading**

A grading and drainage plan was provided for the site including paved areas, curb, and expanding the existing pond. The level of detail was relatively minimal but provided a rough idea of how the future lots would be laid out and graded.

Comments:

1. Additional comments provided for the more detailed grading plans of the individual lots may require additional grading in the common developments areas outside the individual lots

- **Stormwater Management**

Stormwater management for the Otter Crossing South 2nd Addition development is proposing to use the existing City stormwater pond south and east of the project area to provide rate control and water quality treatment. There is a conservation easement for a wetland bank that exists over the existing City pond. Analysis includes a proposed City roundabout on Otter Lake Road south of 70th Street. Runoff will be routed via the existing storm sewer system along the roadway.

Future phases of development will provide onsite stormwater management. 2nd Addition flows ultimately discharge to the west for a small northern portion of the site and the rest discharges south to Clearwater Creek from the City pond.

Additional lots and a future roundabout in Otter Lake Road are included in the drainage area to the existing stormwater pond. These areas were included in the original study prepared by TKDA with 1998 Otter Lake Road improvement project. This pond has capacity to provide stormwater management for the development. The pond existing and proposed discharge rates are summarized below.

Pre- and Post- Development Discharge Rates (cfs)				
Condition	2-Year	10-Year	100-Year	10-Day Snowmelt
Existing - Creek	15.00	23.24	56.26	N/A
Proposed - Creek	10.35	13.66	40.14	N/A
Existing - West	5.59	10.15	27.00	N/A
Proposed - West	3.97	6.51	20.40	N/A
Existing – Southeast (wetland)	8.72	18.69	41.10	N/A
Proposed – Southeast (wetland)	8.72	18.69	41.10	N/A

Comments:

1. Clarify the extents of what will be constructed as part of the 2nd Addition and what will be constructed as part of the individual lot developments.
2. Applicant to verify through RCWD existing City pond use in the conservation easement, see below.
3. Per the 2024 RCWD rules, stormwater ponds designed in accordance with NURP criteria satisfy stormwater management requirements. The proposed filtration bench is not needed and should be removed to simplify future maintenance of Pond 2P.
 - a. While implied in the details, show the location of the proposed riprap-stabilized spillway for the pond in the plan view.
4. Without the proposed filtration bench, the new proposed outlet through OCS-2 shall be removed. Rate control should be achieved for the updated design via alterations to the existing outlet structures. The NWL of 900 must be maintained.
5. Applicant to confirm if storage curves of Pond 2P in HydroCAD are based on as-built or surveyed depths. If surveyed, include bathymetry linework in SWMP for verification.
6. Original permitted drainage areas and stormwater calculations for Pond 2P shall be included as an appendix to the SWMP.

7. Applicant to confirm the extent of runoff routed to Pond 2P in full buildout conditions of Otter Crossing South. Any proposed future runoff must be included in the stormwater calculations.
8. Pretreatment by way of sumped storm manhole or hydrodynamic separator at structure STMH-10 must be provided for flows leaving the private site.
9. HydroCAD modeling must use dynamic storage-indication (Dyn-Stor-Ind) routing to properly account for tailwater effects.
10. Existing pond maintenance and sediment removal to maintain original pond capacity should be included in the project plans. Outlet structures and modifications to the existing structures will need to meet current standards.

- **Water Supply**

Water for the platted commercial lots is proposed to be served by connecting to the existing 8" water service stubs on the north side of 70th Street. Service for Lot 1 will require extending across Lot 2.

Comments:

1. Easement will be required in favor of the Taco Bell site for utilities from the north side of 70th Street
2. Hydrant coverage to be reviewed by City Fire Official

- **Sanitary Sewer**

Sanitary sewer for the platted commercial lots is proposed to be served by connecting to the existing 6" sanitary sewer service stubs on the north side of 70th Street. Service for Lot 1 will require extending across Lot 2.

Comments:

1. Easement will be required in favor of the Taco Bell site for utilities from the north side of 70th Street

- **Transportation**

The current Otter Crossing South 2nd Addition proposes utilizing the existing 70th Street and north/south service roads while constructing additional accesses. The anticipated uses of the sites were accounted for in the traffic study and analysis conducted with the original overall development. 70th St at Otter Lake Road will become a right in / out in the future.

Comments:

1. Only one connection will be allowed to 70th Street on the north side and it will ultimately need to line up to a similar single connection on the south side
2. Clarify the extents of what will be constructed as part of the 2nd Addition and what will be constructed as part of the individual lot developments
3. Provide turning movements for emergency vehicles within the proposed sites

a. Emergency access to be reviewed by City Fire Official

- **Landscaping**

The City's Environmental Coordinator to review the landscape plan provided and offer additional in-depth comments.

- **Floodplain**

No floodplain impacts are proposed on site.

- **Drainage and Utility Easements**

No further easements are needed for stormwater facilities as there are none proposed onsite.

Comments:

1. Easement will be required in favor of the Taco Bell site for utilities from the north side of 70th Street

- **Development Agreement**

A Development Agreement will be required with the final plat.

- **Grading Agreement**

Grading agreement not required at this time.

- **Stormwater Maintenance Agreement**

The City pond will continue to be operated and maintained by the City of Lino Lakes as it currently is in existing conditions.

- **Permits Required**

1. NPDES General Construction Permit
2. City of Lino Lakes Zoning Permit for construction

If you or the applicant have any questions regarding these comments, please contact Kris Keller at (612) 419-3083 or kkeller@wsbeng.com. You may also contact Diane Hankee at (651) 982-2430 or dhankee@linolakes.us.



Environmental Memo

To: Katie Larsen, City Planner

From: Tom Hoffman, Environmental Coordinator

Date: February 25, 2026

Re: Environmental Comments – Otter Crossing South 2nd Addition Preliminary Plat

The Environmental Board recommended the following at their February 25, 2026 meeting:

1. Update Wetland Application Permit to only include proposed work to be completed with the second addition.
 - a. Current submittal shows impacts to three wetlands, two of which are not within Outlot B.
2. Recommend using native plantings or low maintenance turf as a replacement to traditional turf grass.
3. Foundation landscape requirements not currently being provided. Provide foundation plantings along building foundation that are adjacent to a private/public street.
4. Recommend planting a tree or landscaping adjacent to 70th Street adjacent to the proposed site.
5. Provide screening or planting on the backside of the trash enclosure to break up the outline of the enclosure.
6. Lot 1 to be reviewed with current submittal to meet all landscaping requirements.
7. Stormwater management to be confirmed and reviewed by city engineer.
 - a. Provide pretreatment of stormwater prior to discharging into the trunk storm sewer system.
 - b. 4' sumps should be proposed prior to the connection to the city system.
8. Photometric plan to be reviewed with each site to ensure it meets the city requirements.
9. Add note to BMP Maintenance that street sweeping of all impervious may be required at the discretion of the City engineer to reduce sediment tracking.
10. Copy of final NPDES permit will be required be issuance of grading permit. All requirements for the SWPPP shall meet MPCA design standards.
 - a. Final review of erosion control will be completed with each proposed site plan review.



Anoka County

TRANSPORTATION DIVISION

Highway

Katie Larsen
City of Lino Lakes
600 Town Center Pkwy
Lino Lakes, MN 55014

February 12, 2026

RE: Preliminary Plat – Otter Crossing South 2nd Addition

Dear Katie,

We have reviewed the Preliminary Plat for Otter Crossing South 2nd Addition to be located south of CSAH 14 (Main Street) and west of CR 84 (Otter Lake Road) within the City of Lino Lakes, and I offer the following comments:

- The existing right of way along CSAH 14 is 75 feet south of centerline which should be sufficient for future reconstruction purposes. The existing right of way along CR 84 is 60 feet west of centerline.
- As proposed, the plat will not introduce any new access points onto CSAH 14 or CR 84 as both have an existing access. The right of access is dedicated to Anoka County in the proposed preliminary plat.
- 70th Street is currently open with full access and no restrictions. Maintaining 70th Street with full access is preferred in the interim and until the further development of this area occurs. In the future, when the Outlots of Otter Crossing are replatted and a new full-access point—potentially a roundabout—is proposed south of 70th Street, Anoka County will restrict access at 70th Street at CR 84 to right-in only. At that time, a new 120-foot access opening will be granted by Anoka County at the new location on CR 84.
- Internal site grading shall not commence until the requested ACHD Engineering plan approvals are received and the applicable permits can be issued.
- Any public or private utility relocation in the CSAH 14 or CR 84 right of way may be required and shall be coordinated directly by the city/developer. Any costs associated with the public or private utility relocations to meet standards, setbacks or other requirements shall be at the developers cost.
- Please note that no plantings or private signs will be permitted within the county right of way and care must be exercised when locating private signs, building, structures, plantings, berms, etc. outside of the county right of way, so as not to create any new sight obstructions for this section of CSAH 14 and CR 84.

Our Passion Is Your Safe Way Home

1440 Bunker Lake Boulevard N.W. ▲ Andover, MN 55304-4005
Office: 763-324-3100 ▲ Fax: 763-324-3020 ▲ www.anokacounty.us/highway

Affirmative Action / Equal Opportunity Employer

The ACHD Engineering Plan Review process will apply to this site. The following items should be submitted to Camila Arenas, Engineer I, Camila.Arenas@anokacountymn.gov (checklist and payment information are available on our website: <https://www.anokacountymn.gov/4072/Development-Review>):

- Construction plans (including right turn lane plans)
- Utility relocation plans
- Traffic Control plans
- Grading and erosion control plans
- Drainage calculations – Note that the post-developed rate/volume of runoff must not exceed the pre-developed rate/volume of runoff for the 10-year critical design storm
- ACHD Design Requirements Checklist
- Engineering plan review fee (estimated at \$150.00)

If any work will be performed in the County Right of Way, a Permit for work within the County Right of Way (\$250.00) must be obtained prior to the commencement of any construction. License permit bonding, methods of construction, design details, work zone traffic control, restoration requirements and follow-up inspections are typical elements of the permitting process. Contact Sue Burgmeier via phone at 763.324.3176 or via email at HighwayPermits@anokacountymn.gov for further information and to coordinate the ACHD Permit process.

Thank you for the opportunity to comment. Feel free to contact me if you have any questions regarding this review.

Sincerely,



Logan Keehr, PE
Traffic Engineer II

xc: CR 84/Plats+Developments/2026
Jerry Auge, Assistant County Engineer
David Zieglmeier, County Surveyor
Sean Thiel, Traffic Engineering Manager
Sue Burgmeier, Traffic Technician
Camila Arenas, Engineer I