



CITY COUNCIL AGENDA

Monday, April 13, 2026

Broadcast on Cable TV Channel 16
and northmetrotv.com/lino-lakes-stream

***Mayor Rafferty, Councilmembers Lyden, Nelson, Ruhland and Rennaker
City Administrator: Karen Anderson***

CITY COUNCIL WORK SESSION, 6:00 P.M. Community Room (not televised)

- A. Call to Order and Roll Call
- B. Setting the Agenda: Addition or Deletion of Agenda Items
- C. Review Regular Agenda
- D. Adjourn

CITY COUNCIL MEETING, 6:30 PM Council Chambers (televised)

- Call to Order and Roll Call
- Pledge of Allegiance
- Setting the Agenda: Addition or Deletion of Agenda Items

SPECIAL PRESENTATION

- A. Proclamation Arbor Day 2026, Tom Hoffman

PUBLIC COMMENT

Sign-in prior to the start of the meeting per Rules of Decorum

1. Consent Agenda

- A. Approval of Expenditures for April 13, 2026 (Check No. 124696 through 124826) in the Amount of \$849,397.52
- B. Approval of March 23, 2026, City Council Work Session Minutes
- C. Approval of March 23, 2026, City Council Meeting Minutes
- D. Approval of April 6, 2026, Special City Council Meeting Minutes
- E. Approval of April 6, 2026, City Council Work Session Minutes

- F. Adopt Resolution No. 26-47, Approving Business Licenses for JP's Liquor, Wine, and Beer
- G. Adopt Resolution No. 26-52, Approving Acquisition of Certain Real Property, Parcel 5, Right of Way Plat No. 4, Otter Lake Road Improvement Project.
- H. Approval of Resolution No. 26-53, Approval of CIP Amendment – Street Sweeper Acquisition and Acceptance of RCWD Grant

2. Finance Department Report

3. Administration Department Report

- A. Appointment of Part-Time Firefighter, Meg Sawyer

4. Police Department Report

5. Fire Department Report

6. Public Services Department Report

7. Community Development Report

- A. Resolution No. 26-46 for Otter Crossing South 2nd Addition Preliminary Plat, Katie Larsen
- B. Waive Full Reading, Provide 1st Reading of Ord. No. 03-26, Vacating Drainage Easement, 24 Century Trail, Lot 2, Block 1, Century Farm North, Diane Hankee
- C. Resolution 26-50, Order Project, Approve the Plans and Specifications and Authorize the Ad for Bid, Otter Lake Road Improvement Project, Diane Hankee
- D. Resolution No. 26-45, Authorizing Regional Solicitation Grant Application - Main Street Trail, Michael Grochala

8. Unfinished Business

9. New Business

10. Notices and Communications

- A. There is an Economic Development Authority Meeting this evening after the City Council meeting, to be held here in the Council Chambers.

ADJOURNMENT



PROCLAMATION
ARBOR DAY - TREE CITY USA

- WHEREAS,** Arbor Day provides an opportunity to celebrate the importance of trees and forests to our economy, culture, history, and future of the state; and
- WHEREAS,** Trees are of great value as they provide clean air and water, shade and energy savings, wildlife habitat, recreational opportunities, wood products, and jobs, while also capturing and storing carbon from the atmosphere, thereby offsetting greenhouse gas emissions; and
- WHEREAS,** Properly planting and caring for a diverse mix of trees makes community forests more resilient by minimizing the impacts of diseases, insects, and other stressors and providing long-term community environmental benefits; and
- WHEREAS,** Thoughtfully choosing, planting, and caring for a diverse mix of trees now supports resilient communities into the future.

NOW THEREFORE, I, Rob Rafferty, Mayor of the City of Lino Lakes, do hereby proclaim Friday, April 24th, 2025 as Arbor Day in the City of Lino Lakes.

Dated the 14th day of April, 2025

Rob Rafferty, Mayor

Attest: Roberta Colotti, CMC, City Clerk



Expenditures

April 13, 2026

Check #124696 to #124826

\$849,397.52

Significant Disbursements this Period:

- Lyngblomsten - \$187,167.10 – Long Term Escrow Closure

CHECK REGISTER FOR CITY OF LINO LAKES

CHECK NUMBER 124696 - 124826

- CHECK TYPE: PAPER CHECK

Check Date	Check	Vendor Name	Description	Amount
Bank CKING POOLED CHECKING				
03/27/2026	124696	CENTRAL PENSION FUND	Remittance Check	7,099.61
03/27/2026	124697	METROPOLITAN LIFE INSURANCE C	Remittance Check	10,402.30
			REMITTANCE CHECK CP#1	35.60
			REMITTANCE CHECK PR#1	2,747.24
			REMITTANCE CHECK PR#2	2,900.98
				<hr/>
				16,086.12
03/27/2026	124698	NCPERS GROUP LIFE INSURANCE	Remittance Check	336.00
03/31/2026	124699	CIVICPLUS	SSL MANAGEMENT	64.94
03/31/2026	124700	U.S. BANK EQUIPMENT FINANCE	S1 & S2 COPIER/PRINTER FEB 2026	544.68
03/31/2026	124701	XCEL ENERGY	ELECTRIC	18,577.79
04/13/2026	124702	1ST CHOICE DOCUMENT DESTRUCTI	MARCH SHREDDING	880.00
04/13/2026	124703	ACTIVE911, INC.	2026 ACTIVE ALERT SUBSCRIPTION RENEWAL	624.20
04/13/2026	124704	ALEXANDER P. SCHWARTZ	1ST QTR 2026 STIPEND	100.00
04/13/2026	124705	ALL SAFE GLOBAL	ANNUAL FIRE EXTINGUISHER INSPECTION - R	168.89
			ANNUAL FIRE EXTINGUISHER INSPECTION - S	259.55
			ANNUAL FIRE EXTINGUISHER INSPECTION- PD	113.36
			ANNUAL EXTINGUISHER INSPECTION	1,572.13
			ANNUAL FIRE EXTINGUISHER INSPECTION - C	77.86
			ANNUAL FIRE EXTINGUISHER INSPECTION - M	48.06
				<hr/>
				2,239.85
04/13/2026	124706	AMERICAN LEGAL PUBLISHING COR	ONLINE CODE SUPPLEMENT S-16	150.00
04/13/2026	124707	ANOKA COUNTY FIRE PROTECTION	PSDS COST ALLOCATION	14,302.00
04/13/2026	124708	ANOKA COUNTY PROPERTY RECORDS	2026 SOLID WASTE MNGT STREET & UTILITY	27.62
			2026 SOLID WASTE MNGT STREET & UTILITY	44.52
			2026 SOLID WASTE MNGT STREET & UTILITY	37.46
			2026 SOLID WASTE MNGT NATURES REFUGE NO	9.26
			2026 SOLID WASTE MNGT SUNSET OAKS STORM	68.10
			2026 SOLID WASTE MNGT WATER TREATMENT P	53.24
			2026 SOLID WASTE MNGT CITY HALL - PIN #	545.16
			2026 SOLID WASTE MNGT THE ROOKERY - PIN	545.16
			2026 SOLID WASTE MNGT PUBLIC WORKS - PI	155.54
			2026 SOLID WASTE MNGT PUBLIC WORKS - PI	388.84
			2026 SOLID WASTE MNGT FIRE STATION #2 &	545.16
			2026 SOLID WASTE MNGT FIRE STATION #1 -	545.16
			2026 SOLID WASTE MNGT WATERMARK PARK TR	53.24
			2026 SOLID WASTE MNGT NADEAU ACRES 2ND	74.28
			2026 SOLID WASTE MNGT SUNSET OAKS PARK	129.24
				<hr/>
				3,221.98
04/13/2026	124709	ANOKA COUNTY TREASURY OFFICE	JLEC SHARED COSTS	31,997.00
04/13/2026	124710	APOLLO MEDICAL TRAINING	EMR TRAINING-SOLORZANO/KRAUSE	1,002.00
04/13/2026	124711	ASPEN MILLS, INC.	DEPT EXP - DUTY CREW WORK UNIFORM	79.70
			DEPT EXP - BADGES	505.50
			DEPT EXP - WORK UNIFORM SHIRT	89.35

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Check Date	Check	Vendor Name	Description	Amount
Bank CKING POOLED CHECKING				
			DEPT EXP - C. VANG	165.34
			DEPT EXP - NAME TAG REPATCHING	43.40
			UNIFORM ALLOWANCE - N. HAMANN	12.00
			UNIFORM ALLOWANCE - K. KRAEMER	422.65
			UNIFORM ALLOWANCE - D. L'ALLIER	198.54
			DEPT EXP - UNIFORM RECLASSIFICATION	320.40
			DEPT EXP - REPATCHING	73.00
				<hr/>
				1,909.88
04/13/2026	124712	AXON ENTERPRISE, INC.	AXON INTERVIEW RM CAMERAS/LIC	9,411.71
04/13/2026	124713	BILDEAUX SERVICES	CHAINSAW MAINTENANCE TRAINING	750.00
04/13/2026	124714	BKAHA TLNB	ST ESCROW CLOSURE 617 APOLLO DRIVE - MU	1,611.27
04/13/2026	124715	BL HOLDINGS LLC	LT ESCROW CLOSURE NADEAU ACRES 2ND ADDI	35,529.26
04/13/2026	124716	BRIAN FINKE	TUITION REIMBURSEMENT	507.15
04/13/2026	124717	BS&A SOFTWARE LLC	SEPTIC SYSTEM PERMIT TRANSITION TO BSA	2,850.00
04/13/2026	124718	BUSINESS ESSENTIALS	PAPER TOWELS	135.11
04/13/2026	124719	CAMFIL USA, INC	HVAC FILTERS	522.80
04/13/2026	124720	CAPITAL CITY FIREFIGHTER'S AS	2026 MEMBERSHIP DUES	50.00
04/13/2026	124721	CENTENNIAL SCHOOL DISTRICT 12	ADULT ELVIS TRIP MARCH 2026	178.00
04/13/2026	124722	CENTERPOINT ENERGY	NATURAL GAS	4,531.01
04/13/2026	124723	CENTURY COLLEGE	INSTRUCTOR SCHOOL 2 POC	1,160.00
04/13/2026	124724	CENTURYLINK	TELEPHONE	108.22
04/13/2026	124725	CINTAS CORPORATION	MATS AND SHOP TOWELS	670.56
04/13/2026	124726	CITY OF BLAINE	SHARED STREET LIGHT BILLING FOR 2025 (J	536.18
04/13/2026	124727	CITY OF SHOREVIEW	1ST QTR 2026 UTILITIES	975.84
04/13/2026	124728	CLARK J. GOODER	1ST QTR 2026 STIPEND	200.00
04/13/2026	124729	COLLINS ELECTRICAL CONSTRUCTI	LIGHT AND CIRCUIT INVESTIGATION	361.00
			WELL 1 LIGHT REPAIR	431.00
			CIVIL SIREN REPAIR - LILAC ST	992.75
			LIGHT CONTROLLER REPLACED - SUNRISE PAR	361.00
				<hr/>
				2,145.75
04/13/2026	124730	CONNEXUS ENERGY	WATERMARK PARK PAVILION ELECTRICITY	20.87
04/13/2026	124731	CORE & MAIN LP	RUBBER METER WASHERS	114.85
			COMMAND LINK BOX	979.85
			WARRANTY REPLACEMENT RADIOS	1,078.00
			HYDRANT REPAIR PARTS THRUST RINGS	711.50
				<hr/>
				2,884.20
04/13/2026	124732	DANIELLE BERGER	1ST QTR 2026 STIPEND	225.00
04/13/2026	124733	DELL MARKETING LP	LAPTOP, DOCKING STATION - J. CROWE	2,539.19
			MONITORS - M. SAWYER	411.12
			COMPUTER - PORTAL/ID MACH	757.07
				<hr/>
				3,707.38
04/13/2026	124734	DELTA DENTAL OF MINNESOTA	DENTAL INS PREMIUMS APRIL 2026	5,326.42

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Check Date	Check	Vendor Name	Description	Amount
Bank CKING POOLED CHECKING				
04/13/2026	124735	DINA TAYLOR	REFUND FOR BIRTHDAY PARTY	300.00
04/13/2026	124736	ELIZABETH LARKIN	1ST QTR 2026 STIPEND	225.00
04/13/2026	124737	EMERGENCY APPARATUS MAINTENAN	REPAIR GLOW PLUG CONTROL UNIT #620	834.18
			FULL SERVICE #625	1,974.43
			REPAIR OUTRIGGERS, BUCKET, BRAKES #622	6,058.82
			SERVICE & REPAIR #622	16,674.32
			NFPA PUMP TEST #629	265.00
			FULL SERVICE #629	2,486.51
			NFPA PUMP TEST #625	265.00
			REAR DOOR LATCH REPAIR #629	491.16
				<u>29,049.42</u>
04/13/2026	124738	EMERGENCY TECHNICAL DECON	DEPT EXP - TURNOUT GEAR REPAIR	123.50
04/13/2026	124739	ENDURANCE FITNESS OF MN, LLC	MONTHLY FEE APRIL 2026	11,665.00
04/13/2026	124740	FACTORY MOTOR PARTS COMPANY	POLICE BRAKE PADS (STOCK)	125.54
			BRAKE FLUID (STOCK)	42.44
			STOCK FILTERS	31.36
			FUEL FILTER #252	17.05
			BATTERY #314	128.50
			CREDIT FOR BATTERY WARRANTY #314	(128.50)
				<u>216.39</u>
04/13/2026	124741	FASTENAL COMPANY	SIGN HARDWARE	59.60
04/13/2026	124742	FIDELITY SECURITY LIFE INSURA	APRIL 2026 VISION INSURANCE PREMIUMS	215.31
04/13/2026	124743	FIRST ADVANTAGE OCC.	ANNUAL ENROLLMNT & EMPLOYEE DRUG TESTIN	220.26
04/13/2026	124744	GALVIN, HEATHER D	ST ESCROW CLOSURE 1057 BLACK DUCK CT -	1,162.44
04/13/2026	124745	GDO LAW	APRIL PROSECUTOR CONTRACT	8,750.00
04/13/2026	124746	GOPHER STATE ONE-CALL	MARCH LOCATES	278.10
04/13/2026	124747	GREAT LAKES SALT COMPANY	TREATED ROAD SALT	8,354.65
04/13/2026	124748	GREYSTONE CONSTRUCTION	SALT SHED MAINTENANCE INSPECTION	750.00
04/13/2026	124749	HAWKINS, INC.	POOL TREATMENT CHEMICALS	367.60
04/13/2026	124750	HOTSY MINNESOTA	BULK WASH SOAP AND THERMOSTAT	534.10
04/13/2026	124751	IMAGE PRINTING & GRAPHICS, IN	BUSINESS CARDS - C. JOUSTRA	32.75
			METER DOOR HANGERS	162.71
				<u>195.46</u>
04/13/2026	124752	IMPERIAL DADE	HALT DISINFECTANT AND TRIBASE CLNR	145.50
			JANITORIAL SUPPLIES	1,037.01
			GLOVES, PAPER TOWELS	247.60
			KLEENEX, URINAL SCREENS	140.92
			HAND AND HAIR BODYWASH (4)	312.68
			TOWELS	63.10
			JANITORIAL SUPPLIES	633.78
			JANITORIAL SUPPLIES	354.43
			BRUSH, HALT DISINFECTANT	235.21
				<u>3,170.23</u>

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04/13/2026	124753	INFINITE-DATA, LLC	EASY CIP ANNUAL LICENSE	5,105.09
04/13/2026	124754	INSTRUMENTAL RESEARCH, INC.	MARCH WATER SAMPLING	426.00
04/13/2026	124755	INTERSTATE POWER SYSTEMS, INC	GENERATOR INSPECTION - LIFT STATION 8	420.00
			GENERATOR INSPECTION - LIFT STATION 13	420.00
			GENERATOR INSPECTION - LIFT STATION 8	694.50
			GENERATOR INSPECTION - LIFT STATION 7	420.00
			GENERATOR INSPECTION - LIFT STATION 1	420.00
			GENERATOR INSPECTION - LIFT STATION 15	420.00
			GENERATOR INSPECTION - LIFT STATION 4	420.00
			GENERATOR INSPECTION - LIFT STATION 53	420.00
			GENERATOR INSPECTION - LIFT STATION 6	618.91
				<u>4,253.41</u>
04/13/2026	124756	ISAAC WIPPERFURTH	1ST QTR 2026 STIPEND	225.00
04/13/2026	124757	JONATHAN PARSONS	1ST QTR 2026 STIPEND	225.00
04/13/2026	124758	JULIA NELSON	MILEAGE REIMBURSEMENT	26.10
04/13/2026	124759	JULIE CUTTS	1ST QTR 2026 STIPEND	150.00
04/13/2026	124760	KELLI DAMIANI	1ST QTR 2026 STIPEND	150.00
04/13/2026	124761	KELLIE SCHMIDT	1ST QTR 2026 STIPEND	150.00
04/13/2026	124762	LANDFORM	MAIN STREET CPA	313.00
04/13/2026	124763	LANGUAGE LINE SERVICES	MARCH INTERPRETATION SERVICES	79.31
04/13/2026	124764	LEAST SERVICES/COUNSELING, LL	COUNSELING SERVICES	150.00
04/13/2026	124765	LIL EXPLORERS PROPERTIES BUFF	ST ESCROW CLOSURE LIL EXPLORERS CHILDCA	4,392.40
04/13/2026	124766	LINDSAY BUCHMEIER	1ST QTR 2026 STIPEND	225.00
04/13/2026	124767	LRS	TOILET RENTAL - LINO PARK	65.00
			TOILET RENTAL - BIRCH PARK	65.00
			TOILET RENTAL - SUNRISE PARK	95.17
			TOILET RENTAL - SUNRISE PARK	65.00
			TOILET RENTAL - CITY HALL PARK	65.00
				<u>355.17</u>
04/13/2026	124768	LYNGBLOMSTEN AT LINO LAKES	LT ESCROW CLOSURE - LYNGBLOMSTEN	181,167.10
04/13/2026	124769	MACQUEEN EQUIPMENT, INC.	MSA MASKS X2	1,061.00
04/13/2026	124770	MANSFIELD OIL COMPANY	1,700 GALLONS DIESEL, 1,801 GALLONS GAS	13,707.49
04/13/2026	124771	MARY JO STEVENSON	1ST QTR 2026 STIPEND	225.00
04/13/2026	124772	MAXFIELD RESEARCH AND CONSULT	TOWN CENTER SOUTH MARKET STUDY	12,925.19
04/13/2026	124773	MCDONALD HOPKINS LLC	1587375 - CLAIM #CP474969 COMPROMISED A	2,106.00
04/13/2026	124774	MEGAN MOUSER	1ST QTR 2026 STIPEND	150.00
04/13/2026	124775	MENARDS - BLAINE	HARD SURFACE CLEANSER	18.40
04/13/2026	124776	MENARDS - FOREST LAKE	REPLACEMENT MAILBOX, NUMBERS, SPRAY PAI	44.90
			REPLACEMENT MAILBOX	21.46
			DOOR WEATHER SEAL	8.78
			FLOOR DRY, WATER, BOLTS FOR O2 TANKS	385.32
			MOUSE TRAPS - CITY HALL	14.28
				<u>474.74</u>

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Check Date	Check	Vendor Name	Description	Amount
Bank CKING POOLED CHECKING				
04/13/2026	124777	MET COUNCIL ENVIRONMENTAL	SER MAY WASTE WATER SERVICES	115,725.05
04/13/2026	124778	METRO SALES INCORPORATED	CITY HALL WIDE COPIER	37.63
			ROOKERY COPIER	496.58
			PUBLIC WORKS COPIER	93.72
			PD COPIER CONTRACT	36.00
			CITY HALL COPY ROOM COPIER	455.39
			CITY HALL CD COPIER	196.18
				<u>1,315.50</u>
04/13/2026	124779	METRO-INET	APRIL IT SERVICES	33,282.00
04/13/2026	124780	MICHAEL ROOT	1ST QTR 2026 STIPEND	300.00
04/13/2026	124781	MIDWAY FORD COMPANY	DRIVERS TAILLIGHT ASSEMBLY #412	152.42
04/13/2026	124782	MIDWEST RESCUE TOOLS LLC	HOSE FITTING	40.00
			HYDRAULIC FLUID	60.50
				<u>100.50</u>
04/13/2026	124783	MIT USA LLC	ST ESCROW CLOSURE M.I.T. USA LAND SALE	2,628.85
04/13/2026	124784	MN DEPARTMENT OF LABOR & INDU	BOILER REGISTRATION	100.00
04/13/2026	124785	MN METRO NORTH TOURISM BOARD	FEBRUARY 2026 TOURISM TAX	5,018.00
04/13/2026	124786	MORGAN ROSS	1ST QTR 2026 STIPEND	150.00
04/13/2026	124787	NAC MECHANICAL & ELECTRICAL	ROOFTOP DECTRON DEHUMIDIFIER UNIT REPAI	836.50
04/13/2026	124788	NATHAN VOJTECH	1ST QTR 2026 STIPEND	225.00
04/13/2026	124789	NEIL EVENSON	1ST QTR 2026 STIPEND	225.00
04/13/2026	124790	NORTH METRO FIRE & EMS	EMT CLASS, 5 POC MEMBERS	10,000.00
			FIRE ACADEMY-3 POC	6,135.00
				<u>16,135.00</u>
04/13/2026	124791	NORTHERN TOOL COMMERCIAL ACCO	NEW TRAILER EQUIPMENT	911.91
			JACK FOR FRONT PLOW #218	59.84
				<u>971.75</u>
04/13/2026	124792	O'REILLY AUTOMOTIVE STORES	SEALANT #210	15.73
			LIGHTBULBS (STOCK)	12.14
			DIELECTRIC GREASE (STOCK)	9.44
				<u>37.31</u>
04/13/2026	124793	OPENGOV, INC.	EXPERT SERVICES UTILITES/PARKS MAR 2026	9,193.52
			OPENGOV SUBSCRITION 1-31-26 TO 7-30-202	18,421.87
				<u>27,615.39</u>
04/13/2026	124794	PACE SYSTEMS, INC.	SCHEDULING SOFTWARE	2,520.00

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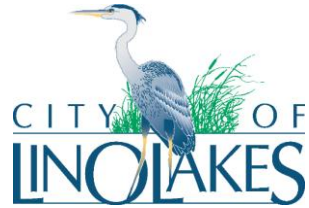
- CHECK TYPE: PAPER CHECK

Check Date	Check	Vendor Name	Description	Amount
Bank CKING POOLED CHECKING				
04/13/2026	124795	PATRICK H. HUELMAN	1ST QTR 2026 STIPEND	150.00
04/13/2026	124796	PATRICK KOHLER	1ST QTR 2026 STIPEND	225.00
04/13/2026	124797	PERRY LADEN	1ST QTR 2026 STIPEND	225.00
04/13/2026	124798	POMP'S TIRE SERVICE, INC.	POLICE TAHOE TIRES (STOCK) CASING CREDIT FOR 2 TIRES #210	1,408.00 (160.00)
				<u>1,248.00</u>
04/13/2026	124799	PRECISE MRM LLC	GPS SERVICE FOR PACE CONTROLS	180.00
04/13/2026	124800	PREMIUM WATERS, INC.	KANDIYOHI WATER	107.89
04/13/2026	124801	PRESS PUBLICATIONS, INC.	PH TAX ABATEMENT OTTER LAKE RD EXT SUMMARY ORD 01-26 PELTIER PONDS	152.55 40.68
				<u>193.23</u>
04/13/2026	124802	RICE CREEK WATERSHED DISTRICT	TRANSFER OF ACD 55 - BRANCH 8	3,806.08
04/13/2026	124803	ROBERTA COLOTTI	MILEAGE REIMBURSEMENT	94.25
04/13/2026	124804	RYAN COMPANIES US INC	ST ESCROW CLOSURE RYAN COMPANIES CWC BU ST ESCROW CLOSURE - RYAN CO. FLOOD PLAI	97.13 5,000.00
				<u>5,097.13</u>
04/13/2026	124805	SAFETY-KLEEN SYSTEMS, INC.	SOLVENT	50.42
04/13/2026	124806	SCR	DECTRON TEMP SENSOR	1,223.82
04/13/2026	124807	SHRED-IT, C/O STERICYCLE, INC	DOCUMENT DESTRUCTION	131.90
04/13/2026	124808	SOCCER SHOTS TWIN CITIES	SOCCER SHOTS WINTER 2026	1,840.00
04/13/2026	124809	SQUIRES, WALDSPURGER & MACE P	JANUARY LEGAL	7,812.18
04/13/2026	124810	STAPLES INC.	PHONE SHOULDER REST NAME BADGES, TONER, PAPER, HIGHLIGHTERS	10.50 187.06
				<u>197.56</u>
04/13/2026	124811	STREICHER'S, INC.	UNIFORM ALLOWANCE - L. CLAYTON	200.00
04/13/2026	124812	SUMMIT INFRASTRUCTURE LLC	2026 MANHOLE REHAB	43,835.00
04/13/2026	124813	SUZANNE GUTHMUELLER	1ST QTR 2026 STIPEND	225.00
04/13/2026	124814	SYMBOLARTS LLC	UNIFORM ALLOWANCE X14, BADGES	13,837.00
04/13/2026	124815	T-MOBILE USA INC	CELL PHONES & WI-FI	1,892.13
04/13/2026	124816	TASC - CLIENT INVOICES	ADMIN FEES MARCH 2026	87.10
04/13/2026	124817	TRANS UNION LLC	PRE-EMPLOYMENT CREDIT CHECKS (2)	32.98
04/13/2026	124818	TRI-STATE BOBCAT, INC.	ELECTRICAL HARNESS FOR BROOM ATTACHMENT ELECTRICAL HARNESS FOR BROOM ATTACHMENT	240.89 240.89
				<u>481.78</u>
04/13/2026	124819	UYANGA BAYANDALAI	1ST QTR 2026 STIPEND	75.00
04/13/2026	124820	VALLEY-RICH CO., INC.	WATERMAIN BREAK REPAIR - 178 GLENVIEW A	5,968.14
04/13/2026	124821	VERMONT SYSTEMS	PAYTRAC PYMNTS SUBSCRIPTION 3/15/2026 -	237.50
04/13/2026	124822	VONDERRICK MOHOMES	MONTHLY MEMBERSHIP FEE REFUND	271.36
04/13/2026	124823	WHEELER HARDWARE COMPANY	MONTHLY DONGLE FEE	75.00
04/13/2026	124824	WINNICK SUPPLY, INC.	TORCH OXYGEN	16.39

CHECK REGISTER FOR CITY OF LINO LAKES
CHECK NUMBER 124696 - 124826

- CHECK TYPE: PAPER CHECK

Check Date	Check	Vendor Name	Description	Amount
Bank CKING POOLED CHECKING				
04/13/2026	124825	WM CORPORATE SERVICES, INC.	UNSCREENED SWEEPINGS DISPOSAL	370.41
04/13/2026	124826	ZIEGLER, INC.	HYDRAULIC HOSE #260	116.50
			HYDRAULIC HOSE FOR STREET SWEEPER #252	118.63
			MINI EXCAVATOR #279	84,766.63
				85,001.76
CKING TOTALS:				
Total of 131 Checks:				849,397.52
Less 0 Void Checks:				0.00
Total of 131 Disbursements:				849,397.52



Electronic Funds Transfer
 MN Statute 471.38 Subd. 3

Council Meeting April 13, 2026

Transfer In/(Out)

3/19/2026 Wire Bond Payments - due 4/1	(256,693.75)
3/20/2026 Sales and Use Tax	(5,664.00)
3/24/2026 Transfer from FRB MM	1,500,000.00
3/27/2026 Payroll #07	(228,825.75)
3/27/2026 Payroll #07 Federal Deposit	(65,285.81)
3/27/2026 Payroll #07 PERA	(61,658.07)
3/27/2026 Payroll #07 State	(15,061.59)
3/27/2026 Payroll #07 H.S.A. Bank Pretax	(3,900.93)
3/27/2026 Payroll #07 TASC Pretax	(1,652.80)
3/27/2026 Payroll #07 Mission Sq 457 Def. Comp #301596	(3,270.00)
3/27/2026 Payroll #07 Mission Sq Roth IRA #706155	(720.00)
3/27/2026 Payroll #07 MSRS HCSP #98946-01	(5,194.77)
3/27/2026 Payroll #07 MSRS Def. Comp #98945-01	(1,505.00)
3/27/2026 Payroll #07 MSRS Roth IRA #98945-01	(1,330.00)
4/1/2026 Council Payroll #04	(4,320.16)
4/1/2026 Council Payroll #04 Federal Deposit	(176.56)
4/1/2026 Council Payroll #04 PERA	(470.78)
4/1/2026 Council Payroll #04 State	(25.22)

**Lino Lakes City Council
Work Session
Minutes**

DATE: March 23, 2026
TIME STARTED: 6:00 P.M.
TIME ENDED: 6:25 P.M.
LOCATION: Community Room
MEMBERS PRESENT: Mayor Rafferty Councilmembers Lyden, Nelson, Ruhland and Rennaker
MEMBERS ABSENT: None

Staff Members Present: City Administrator Karen Anderson, City Clerk Roberta Colotti, Community Development Director Mike Grochala, City Engineer Diane Hankee, Public Works Superintendent Justin Williams, Finance Director Tracy Thoma, Chief of Police Curt Boehme and Fire Chief Dan L’Allier.

1. Call to Order and Roll Call

Mayor Rafferty called the meeting to order at 6:00 p.m.

2. Setting the Agenda: Addition or Deletion of Agenda Items

The agenda was adopted as presented.

3. Review Regular Agenda

The City Council reviewed regular meeting agenda for this evening.

The Community Development Director reviewed the Public Works Building, Bid Package No. 1, four separate contract approvals being presented this evening.

The project architect confirmed that the low bidder for each aspect being presented with Bid Package No. 1, was either known or referred as being a qualified and responsible bidder.

The Community Development Director reviewed that the project work is being bid individually, and it is also requested that the Council adopt Resolution No. 26-44, Ordering Project, Approving Plans and Specifications and Authorizing the Ad for Bid, 2026 Public Works Building Bid Package No. 2 this evening.

Council Member Rennaker noted that there was the approval of a solicitor license scheduled for the regular meeting this evening and requested additional information on the rules and regulations related to solicitors/peddlers.

The City Clerk stated that commercial solicitors/peddlers are required to get a permit from the City, and that each salesperson is issued a permit that they are to carry with them. That non-profits, religious, political, and those exercising their free speech are not required to get a permit. The City can not prohibit solicitors/peddlers, however, homeowners can by placing a No Solicitor/Peddler sign at their door. The sign must have letters a minimum of one-half inch high. It is as misdemeanor to solicit at a property with a no solicitor/peddler sign or to solicit without a

permit. Homeowners are asked to call the Police Non-Emergency number or 911 to report any issues.

Council Member Lyden asked about the lighting at Ash Street and Centerville Road.

The Community Development Director reported that in a year the lighting will be updated.

Council Member Ruhland stated that regarding the street lighting project that is being planned to include the blue heron design, the existing lighting in town has the blue heron design presented every other light vs. on every light, which would save on costs if implemented with the new project.

Council Member Nelson stated that the cities of White Bear Lake and Centerville have reported issues with e-bikes and asked the Chief of Police if Lino Lakes has had any reported issues.

The Chief of Police stated that there are occasional issues with e-bikes in Lino Lakes. He noted that there are different classifications and rules related to e-bikes and the road/trail system.

4. **Adjournment**

Mayor Rafferty adjourned the meeting at 6:25 p.m.

These minutes were approved at the regular Council Meeting on April 13, 2026.

Roberta Colotti, CMC
City Clerk

Rob Rafferty,
Mayor

**LINO LAKES CITY COUNCIL
REGULAR MEETING
MINUTES**

DATE: March 23, 2026
TIME STARTED: 6:30 PM
TIME ENDED: 7:01 PM
LOCATION: City Council Chambers
MEMBERS PRESENT: Mayor Rafferty Councilmembers Lyden, Nelson, Ruhland and Rennaker
MEMBERS ABSENT: None

Staff Members Present: City Administrator Karen Anderson, City Clerk Roberta Colotti, Community Development Director Mike Grochala, City Engineer Diane Hankee, Public Works Superintendent Justin Williams, Finance Director Tracy Thoma, and Chief of Police Curt Boehme.

The meeting was called to order by Mayor Rafferty at 6:30 PM.

SETTING THE AGENDA

The agenda was approved as presented.

SPECIAL PRESENTATIONS

None

PUBLIC COMMENT

Mayor Rafferty opened the public comment period at 6:32 p.m.

No comments presented.

Mayor Rafferty closed the public comment period at 6:32 p.m.

1. CONSENT AGENDA

- A. Approval of Expenditures for March (Check No. 124607 through 124695) in the Amount of \$2,212,585.91
- B. Approval of March 9, 2026, City Council Work Session Minutes
- C. Approval of March 9, 2026, City Council Meeting Minutes
- D. Approval of Resolution No. 26-32, Authorizing the Issuance of a Solicitor License to Gypsum Consulting, Inc.
- E. Approval of Exempt Gambling Permit, St. Joseph of the Lakes
- F. Hiring of Part-Time Staff for the Rookery Activity Center

Motion to Approve Consent Agenda Items 1A through 1F as presented.

RESULT:	CARRIED [5-0]
MOVER:	Nelson
SECONDER:	Ruhland
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

2. FINANCE DEPARTMENT REPORT

- A. Public Hearing on Approving a Tax Abatement; Resolution No. 26-36 Approving Property Tax Abatement in the City of Lino Lakes for Certain Public Infrastructure Improvements

Mayor Rafferty Opened the Public Hearing at 6:42 p.m.

No comments were presented.

Motion to Close the Public Hearing at 6:43 p.m.

RESULT:	CARRIED [5-0]
MOVER:	Lyden
SECONDER:	Rennaker
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

Motion to Approve Resolution No. 26-36 Approving Property Tax Abatement in the City of Lino Lakes for Certain Public Infrastructure Improvements.

RESULT:	CARRIED [5-0]
MOVER:	Rennaker
SECONDER:	Nelson
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

- B. Resolution No. 26-37 Providing for the Issuance and Sale of General Obligation Bonds, Series 2026A

Motion to Approve Resolution No. 26-37 Providing for the Issuance and Sale of General Obligation Bonds, Series 2026A.

RESULT:	CARRIED [5-0]
MOVER:	Ruhland
SECONDER:	Rennaker
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

- C. Resolution No. 26-38 Providing for the Issuance and Sale of Lease Revenue Bonds (City of Lino Lakes, MN Public Works Facility Lease), Series 2026A

Motion to Approve Resolution No. 26-38 Providing for the Issuance and Sale of Lease Revenue Bonds (City of Lino Lakes, MN Public Works Facility Lease), Series 2026A.

RESULT:	CARRIED [5-0]
MOVER:	Lyden
SECONDER:	Nelson
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

3. ADMINISTRATION DEPARTMENT REPORT

No Report

4. POLICE DEPARTMENT REPORT

No Report

5. FIRE DEPARTMENT REPORT

No Report

6. PUBLIC SERVICES DEPARTMENT REPORT

No Report

7. COMMUNITY DEVELOPMENT REPORT

- A. Resolution No. 26-33, Authorize the Preparation of Plans and Specs, 2025 Street Reconstruction Water Service Connection Project

Motion to Approve Resolution No. 26-33, Authorize the Preparation of Plans and Specs, 2025 Street Reconstruction Water Service Connection Project.

RESULT:	CARRIED [5-0]
MOVER:	Rennaker
SECONDER:	Ruhland
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

- B. Resolution No. 26-35, Approving Professional Services Agreement with WSB for Preparation of Trunk Utility Plans and Specifications, Anoka County Sunset Avenue Reconstruction Project

Motion to Approve Resolution No. 26-35, Approving Professional Services Agreement with WSB for Preparation of Trunk Utility Plans and Specifications, Anoka County Sunset Avenue Reconstruction Project.

RESULT:	CARRIED [5-0]
MOVER:	Lyden
SECONDER:	Nelson
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

- C. Public Works Building

- i. Resolution No. 26-34, Accepting Bids and Awarding Contract, Bid Package No. 1, Bid Category 03A Cast In Place Concrete

Motion to Approve Resolution No. 26-34, Accepting Bids and Awarding Contract, Bid Package No. 1, Bid Category 03A Cast In Place Concrete.

RESULT:	CARRIED [5-0]
MOVER:	Nelson
SECONDER:	Rennaker
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

- ii. Resolution No. 26-41, Accepting Bids and Awarding Contract, Bid Package No. 1, Bid Category 03B Precast Concrete

Motion to Approve Resolution No. 26-41, Accepting Bids and Awarding Contract, Bid Package No. 1, Bid Category 03B Precast Concrete.

RESULT:	CARRIED [5-0]
MOVER:	Ruhland
SECONDER:	Rennaker
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

- iii. Resolution No. 26-42, Accepting Bids and Awarding Contract, Bid Package No. 1, Bid Category 05A Steel Fabrication

Motion to Approve Resolution No. 26-42, Accepting Bids and Awarding Contract, Bid Package No. 1, Bid Category 05A Steel Fabrication.

RESULT:	CARRIED [5-0]
MOVER:	Ruhland
SECONDER:	Nelson
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

- iv. Resolution No. 26-43, Accepting Bids and Awarding Contract, Bid Package No. 1, Bid Category 05B Steel Erection

Motion to Approve Resolution No. 26-43, Accepting Bids and Awarding Contract, Bid Package No. 1, Bid Category 05B Steel Erection.

RESULT:	CARRIED [5-0]
MOVER:	Nelson
SECONDER:	Ruhland
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

- D. Resolution No. 26-44, Ordering Project, Approving Plans and Specifications and Authorizing the Ad for Bid, 2026 Public Works Building Bid Package No. 2

Motion to Approve Resolution No. 26-44, Ordering Project, Approving Plans and Specifications and Authorizing the Ad for Bid, 2026 Public Works Building Bid Package No. 2.

RESULT:	CARRIED [5-0]
MOVER:	Nelson
SECONDER:	Lyden
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

8. UNFINISHED BUSINESS

No Report

9. NEW BUSINESS

No Report

10. NOTICES AND COMMUNICATIONS

- A. There is an Economic Development Authority (EDA) Meeting immediately following the Council Meeting tonight. The EDA meeting will be held in the Council Chambers.

ADJOURNMENT

Mayor Rafferty adjourned the meeting at 7:01 p.m.

These minutes were approved at the City Council Meeting on April 13, 2026.

Roberta Colotti, CMC
City Clerk

Rob Rafferty,
Mayor

**LINO LAKES CITY COUNCIL
SPECIAL MEETING
MINUTES**

DATE: April 6, 2026
TIME STARTED: 6:00 PM
TIME ENDED: 6:38 PM
LOCATION: Community Room
MEMBERS PRESENT: Mayor Rafferty Councilmembers Lyden, Nelson, Ruhland and Rennaker
MEMBERS ABSENT: None

Staff Members Present: City Clerk Roberta Colotti, Community Development Director Mike Grochala, City Planner Katie Larsen, Public Services Director Rick DeGardner, Public Works Superintendent Justin Williams, and Chief of Police Curt Boehme.

The meeting was called to order by Mayor Rafferty at 6:00 p.m.

SETTING THE AGENDA

The agenda was approved as presented.

SPECIAL PRESENTATIONS

None

PUBLIC COMMENT

No Comments Presented

1. **CONSENT AGENDA**
None
2. **FINANCE DEPARTMENT REPORT**
No Report
3. **ADMINISTRATION DEPARTMENT REPORT**
No Report
4. **POLICE DEPARTMENT REPORT**
No Report
5. **FIRE DEPARTMENT REPORT**
No Report
6. **PUBLIC SERVICES DEPARTMENT REPORT**
No Report

7. COMMUNITY DEVELOPMENT REPORT

- A. Resolution No. 26-39, Approving Joint Powers Agreement with the City of North Oaks and White Bear Township, Water and Sanitary Sewer Services.

Motion to Approve Resolution No. 26-39, Approving Joint Powers Agreement with the City of North Oaks and White Bear Township, Water and Sanitary Sewer Services.

RESULT:	CARRIED [5-0]
MOVER:	Ruhland
SECONDER:	Nelson
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

8. UNFINISHED BUSINESS

No Report

9. NEW BUSINESS

No Report

10. NOTICES AND COMMUNICATIONS

None

ADJOURNMENT

Motion to adjourn the meeting at 6:38 p.m.

RESULT:	CARRIED [5-0]
MOVER:	Ruhland
SECONDER:	Rafferty
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

These minutes were approved at the City Council Meeting on April 13, 2026.

Roberta Colotti, CMC
City Clerk

Rob Rafferty,
Mayor

**Lino Lakes City Council
Work Session
Minutes**

DATE: April 6, 2026
TIME STARTED: 6:39 P.M.
TIME ENDED: 7:45 P.M.
LOCATION: Community Room
MEMBERS PRESENT: Mayor Rafferty Councilmembers Lyden, Nelson, Ruhland and Rennaker
MEMBERS ABSENT: None

Staff Members Present: City Clerk Roberta Colotti, City Planner Katie Larsen, Public Services Director Rick DeGardner, Public Works Superintendent Justin Williams, and Chief of Police Curt Boehme.

1. Call to Order and Roll Call

Mayor Rafferty called the meeting to order at 6:39 p.m.

2. Setting the Agenda: Addition or Deletion of Agenda Items

The agenda was adopted as presented.

3. Otter Crossing South 2nd Addition Preliminary Plat

The City Planner reported that Otter Crossing South final plat was approved in May 2025. It created Lot 1 for ALDI and Outlots A and B for future commercial development. Otter Crossing South 2nd Addition proposes to subdivide Outlot B into two (2) commercial lots. The proposed use for one lot is a Taco Bell restaurant and the other does not have a submitted application. The Planner reviewed the traffic analysis for this site.

The City Council was in favor of the proposal as presented.

The City Planner stated that this will be presented at the April 13th Council meeting for approval.

4. 2050 Comprehensive Plan Consultant Procurement

City staff presented a recommendation to contract with WSB and Landform as our current engineering firm and regularly consulted planning firm for the preparation of the 2050 Comprehensive Plan. They stated that the alternative would be to issue a Request for Proposals (RFP) for the preparation of the Comprehensive Plan.

Council Consensus

It was the consensus of the City Council to seek contract proposals from WSB and Landform for the preparation of the 2050 Comprehensive Plan. The City Council requested that Landform attend a future Work Session to present the cost and options for community engagement and other aspects of the Comprehensive Plan project, prior to finalizing the contract proposal.

5. CIP Amendment – Street Sweeper Replacement to New Sweeper Acquisition

The Public Works Superintendent presented a proposal to amend the Capital Improvement Plan (CIP) which identified a Street Sweeper Replacement to a Street Sweeper Acquisition. He

reviewed the increased travel speed and effectiveness of the new sweeper. He stated that the Rice Creek Watershed District (RCWD) has authorized the award of a grant toward the cost of the purchase of the street sweeper given the increased environmental protection through the use of the new/additional street sweeper to prevent salt, sand, leaves, and debris from running off the roadways into the local lakes and streams.

The Public Services Director stated that there are approximately 200 lane miles (two sides and any center lanes) that are part of the street sweeping plan in Lino Lakes. He noted that the City documents the number of vehicles in it's fleet and it is being requested that the city keep the existing street sweeper when the new one is added.

Council Consensus

It was the consensus of the City Council to approve the following:

1. Replace the planned sweeper replacement with a new sweeper acquisition.
2. Accept the \$100,000 RCWD grant, contingent on implementation of the enhanced sweeping program.
3. Expand the sweeper fleet from one to two units.
4. Defer replacement of the existing sweeper to 2030.
5. Implement the enhanced street sweeping program.

6. Golf Cart Use on City Streets

The City Council received and reviewed the report related to permitting golf carts on city streets through an amendment to the City Code.

Council Consensus

It was the consensus of the City Council to maintain the current City Code.

7. Review 2026-2027 Business License Fees

The City Clerk reported that for the 2025-2026 business license term, the city authorized a split payment for On-Sale Intoxicating Liquor and Sunday Sales licenses. She asked if the City Council wanted to provide this option for the 2026-2027 license term.

Council Consensus

It was the consensus of the City Council to authorize a split payment for On-Sale Liquor License and Sunday Sales license fees (June 1 and December 31) at the request of the applicant for the 2026-2027 license renewal.

8. Adjournment

Mayor Rafferty adjourned the meeting at 7:45 p.m.

These minutes were approved at the regular Council Meeting on April 13, 2026.

Roberta Colotti, CMC
City Clerk

Rob Rafferty,
Mayor

**CITY COUNCIL
STAFF REPORT
AGENDA ITEM 1.F.**

STAFF ORIGINATOR: Roberta Colotti, City Clerk

MEETING DATE April 13, 2026

AGENDA ITEM: Adopt Resolution No. 26-47, Approving Business Licenses for JP's Liquor, Wine, and Beer

VOTE REQUIRED: Simple Majority

INTRODUCTION

The Council is being asked to consider Resolution No. 26-47, Approving Business Licenses for JP's Liquor, Wine, and Beer.

BACKGROUND

JP's Liquor, Wine, and Beer, located at 6501 Ware Road, Lino Lakes, MN is being sold to a new owner, Cuong Pham, who intends to keep the same business name. The buyer has applied for an Off-Sale Liquor license and a Tobacco sales license and submitted all the necessary forms.

RECOMMENDATION

Motion to Adopt Resolution No. 26-47, Approving Business Licenses for JP's Liquor, Wine, and Beer.

ATTACHMENTS

1. 26-47 - Resolution - Business Lic for JPs Liquor

**CITY OF LINO LAKES
RESOLUTION NO. 26-47**

APPROVING BUSINESS LICENSES FOR JP’S LIQUOR, WINE, AND BEER

WHEREAS, JP’s Liquor, Wine, and Beer, located at 6501 Ware Road, Lino Lakes, MN is being sold to a new owner that intends to keep the same business name; and,

WHEREAS, the applicant, Cuong Pham, has applied for an Off-Sale liquor license and a Tobacco sales license and submitted all the necessary forms.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Lino Lakes, Minnesota, that the City Council authorizes issuance of an Off-Sale liquor license and Tobacco License to the new business owner, conditioned on all licensing requirements being met including a successful background check and payment of all fees.

Adopted by the Lino Lakes City Council on the 13th day of April, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC
City Clerk

**CITY COUNCIL
REGULAR MEETING STAFF REPORT
AGENDA ITEM 1G**

STAFF ORIGINATOR: Michael Grochala, Community Development Director

MEETING DATE: April 13, 2026

TOPIC: Resolution No. 26-52, Approving Acquisition of Certain Real Property, Parcel 5 & Parcel 3 & 5, Right of Way Plat No. 4, Otter Lake Road Improvement Project

VOTE REQUIRED: Simple Majority

INTRODUCTION

Staff is requesting City Council approval to acquire Parcel 5 and Parcel 3 & 5, Right-of-Way Plat No. 4, for the Otter Lake Road Improvement Project.

BACKGROUND

The City Council authorized the preparation of plans and specifications for the Otter Lake Road improvement project in August of 2023. The project requires the acquisition of permanent right-of-way, utility and drainage easements as well as temporary construction easements. Approximately 8 parcels are affected by the project. In August of 2025, the City Council authorized staff and consultants to make offers to property owners for direct purchase of the necessary land and easements. On December 8, 2025 the City Council authorized acquisition by eminent domain, if necessary.

Staff has continued to negotiate with property owners and have reached agreement with owner of Parcel No. 5, and their interest in Parcel 3 & 5. The City is acquiring the following interests from the property:

PARCEL	PID	R/W (ACRES)	PERM EASEMENT (ACRES)	TEMP EASEMENT (ACRES)
5	13-31-22-41-0004	.65	.14	.03
3&5	13-31-22-41-0004	.002	0.0	.0001

The purchase price is \$30,000 and the City will also be installing additional drain tile as part of the project work to address drainage concerns.

RECOMMENDATION

Staff is recommending approval of Resolution No. 26-52.

ATTACHMENTS

1. Resolution No. 26-52
2. Right of Way Plat No. 4

**CITY OF LINO LAKES
RESOLUTION NO. 26-52**

**APPROVING ACQUISITION OF PARCEL 5, RIGHT OF WAY PLAT NO. 4,
OTTER LAKE ROAD EXTENSION PROJECT**

WHEREAS, the City Council authorized preparation of plans and specifications for the construction of the Otter Lake Road Extension on August 14, 2023, and

WHEREAS, the construction of the Project requires the acquisition of certain land and easements involving properties located within the City, as depicted in City of Lino Lakes Right of way Plat No. 4, filed for record with Anoka County and Document No. 631999.001 and 2462426.001; and

WHEREAS, it is necessary that the City have title and possession of land interests for the Project before the construction contracts may be let, which is planned to occur in the spring of 2026; and

WHEREAS, on August 25, 2025, the City Council authorized the City representatives, City Community Development Director and City Attorney to make offers to property owners consistent with the appraisals obtained for the needed acquisition; and

WHEREAS, on December 8, 2025 the City Council authorized the acquisition of property by eminent domain; and

WHEREAS, the City and Owner of Parcel No. 5 and Parcel No. 3 & 5 of Right of Way Plat No. 4 have reached agreement on just compensation due for the acquisition of the fee title and permanent and temporary easements shown in Right-of-Way Plat No. 4;

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Lino Lakes:

That the purchase of property, identified as ROW Parcel No. 5, ROW Parcel 3 & 5, T.E. Parcel 5, T.E. Parcel 3 & 5, and P.E. Parcel 5 on City of Lino Lakes, Right of Way Plat No. 4, in the amount of \$30,000 is hereby approved.

BE IT FURTHER RESOLVED, that the City Attorney and representatives are authorized to complete all steps necessary to record the conveyance documents and to remove the property from the eminent domain proceedings.

Adopted by the Council of the City of Lino Lakes this 13th day of April 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

CITY OF LINO LAKES RIGHT OF WAY PLAT NO. 4

SURVEYOR'S CERTIFICATE

I hereby certify that this is a true and correct representation of a survey of the boundaries as shown and that said survey was made under my direct supervision; that all distances are correctly shown in feet and decimals of a foot; that the monuments for the guidance of future surveys have been correctly placed in the ground as shown; that the right-of-way boundary lines are designated on the plat and it was prepared pursuant to Chapter 505.1793, Minnesota Statutes.

Dated this 18th day of March, 2020.

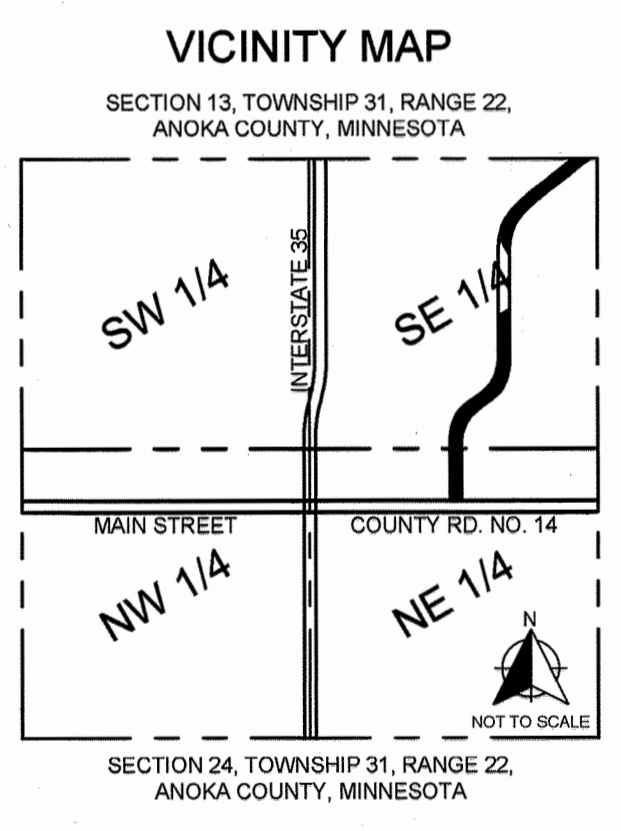
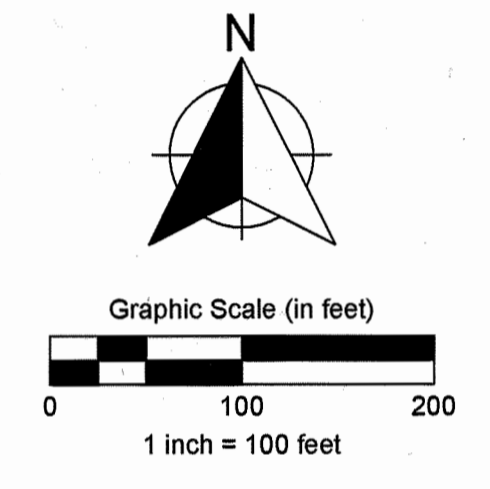
Jeremy R. Honga
Jeremy R. Honga, Licensed Land Surveyor,
Minnesota License No. 58013

CITY COUNCIL, Lino Lakes, Minnesota

That part of Otter Lake Road located in Sections 13 and 24, Township 31, Range 22, Anoka County, Minnesota, as shown on this plat effected by the City of Lino Lakes, is certified to be the official plat of that portion of said road within said sections pursuant to Minnesota Statutes Chapter 505.1793. The foregoing plat was accepted and approved by the City Council of Lino Lakes, Minnesota, at a regular meeting thereof held this 17th day of March, 2020.

Al Karpavicz
Mayor

Roberta Colthi
Clerk



LEGEND

- ⊙ DENOTES FOUND ANOKA COUNTY CAST IRON MONUMENT
- DENOTES FOUND MONUMENT, AS SHOWN
- ⊙ DENOTES FOUND PK NAIL
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED BY LICENSE NO. 58013
- ROW PLAT BOUNDARY
- PERMANENT DRAINAGE AND UTILITY EASEMENT
- TEMPORARY EASEMENT
- EXISTING PARCEL LINE
- EXISTING ROW LINE
- SECTION LINE

NOTES

FOR THE PURPOSES OF THIS PLAT THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 31, RANGE 22 IS ASSUMED TO BEAR S88°57'28"W.

COUNTY SURVEYOR, Anoka County, Minnesota

This plat of CITY OF LINO LAKES RIGHT OF WAY PLAT NO. 4 was reviewed and approved by me this 24th day of March, 2020.

David M. Ziegler
David M. Ziegler, Anoka County Surveyor

COUNTY RECORDER / REGISTRAR OF TITLES, Anoka County, Minnesota

I hereby certify that this plat of CITY OF LINO LAKES RIGHT OF WAY PLAT NO. 4 was filed in the office of the County Recorder for public record on this 14th day of March, 2020, at 11:30 o'clock A.M. and was duly recorded as Document No. 631999.001.

Pamela J Leblanc
County Recorder / Registrar of Titles

By *Lana Kranick*, Deputy

COUNTY RECORDER / REGISTRAR OF TITLES, Anoka County, Minnesota

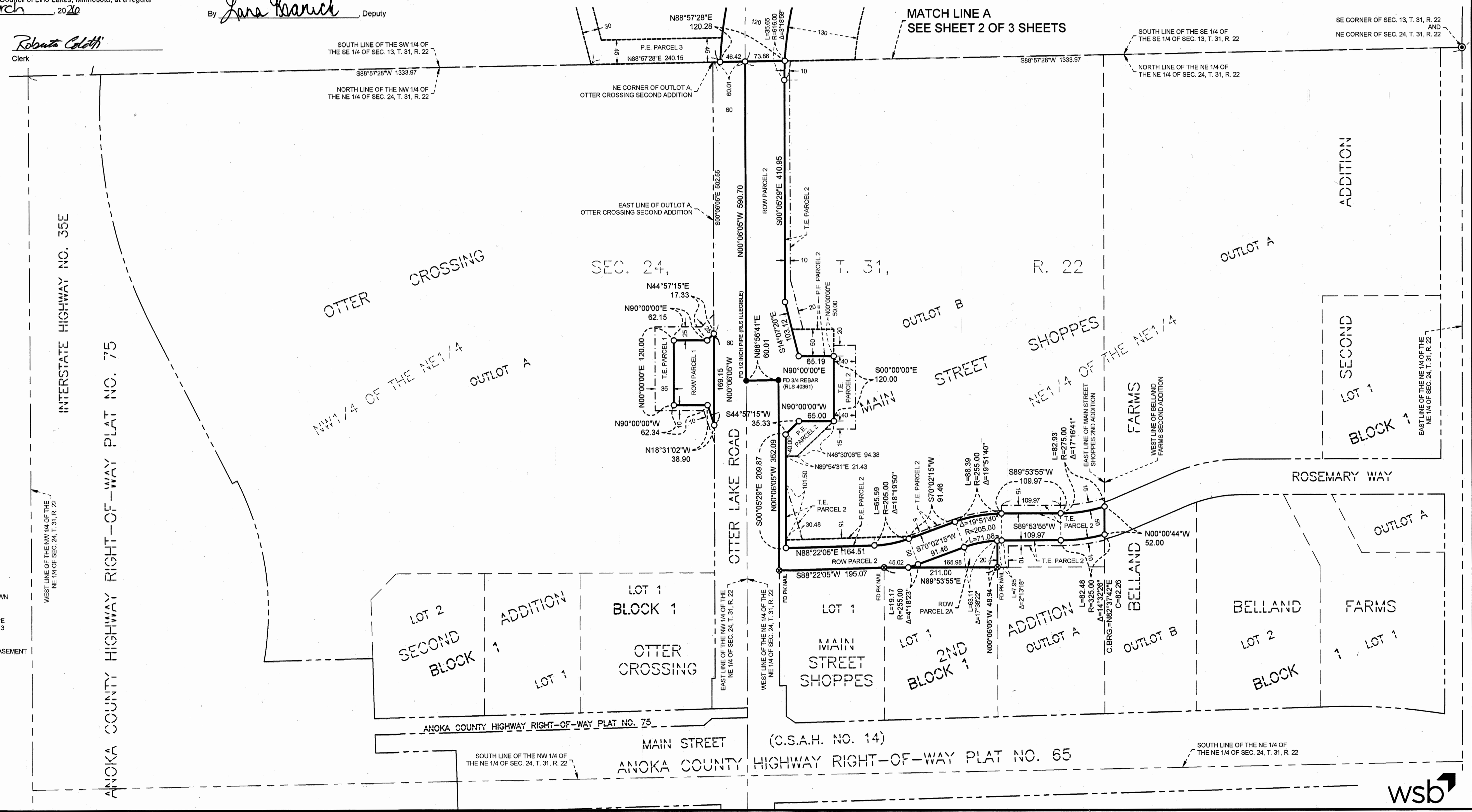
I hereby certify that this plat of CITY OF LINO LAKES RIGHT OF WAY PLAT NO. 4 was filed in the office of the Registrar of Titles for public record on this 14th day of March, 2020, at 11:30 o'clock A.M. and was duly recorded as Document No. 631999.001.

Pamela J Leblanc
County Recorder / Registrar of Titles

By *Lana Kranick*, Deputy

OTTER LAKE ROAD

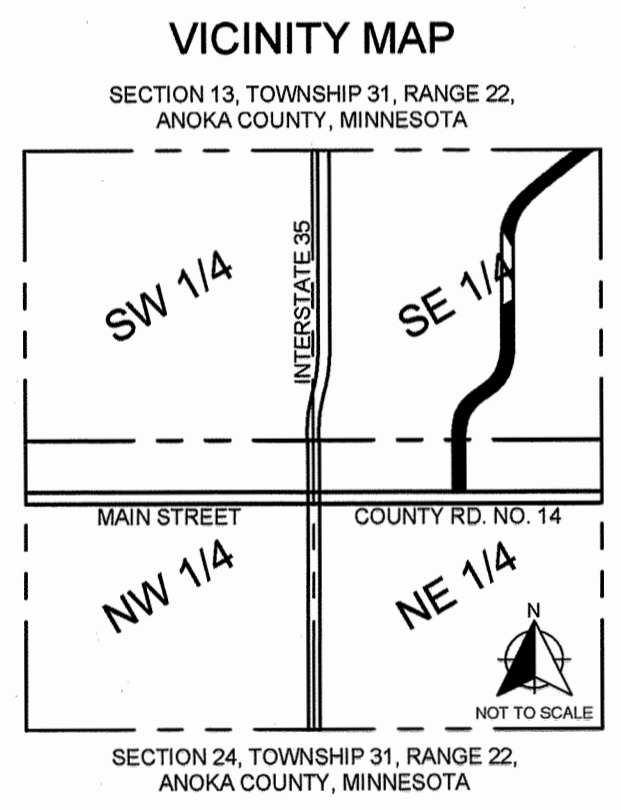
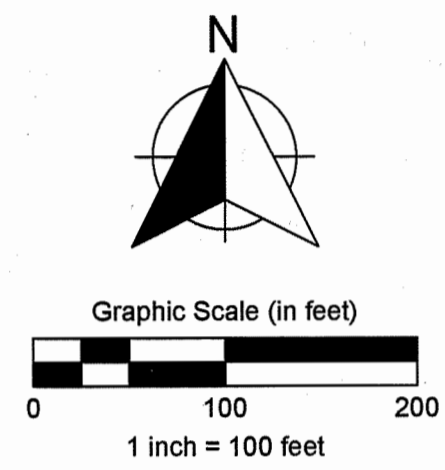
PARCEL	RECORDED OWNER	PROPERTY ID. NO.	LOCATION	EXISTING ROW (ACRES)	NEW ROW (ACRES)	TOTAL ROW (ACRES)	PERMANENT D & U EASEMENT (ACRES)	TEMPORARY EASEMENT (ACRES)	TEMPORARY HIGHWAY EASEMENT EXPIRES	NEW ROW INTEREST
RIGHT OF WAY IN SECTION 24, TOWNSHIP 31, RANGE 22										
1	BLINO LLC	24-31-22-12-0009	NW1/4 NE1/4	0.000	0.212	0.212	0.00	0.196	—	FEE
2	CM PROPERTIES 14 LLC	24-31-22-11-0011	NE1/4 NE1/4	0.000	2.024	2.024	0.232	0.462	—	FEE
2A	CM PROPERTIES 14 LLC	24-31-22-11-0011	NE1/4 NE1/4	0.000	0.106	0.106	0.000	0.000	—	FEE



CITY OF LINO LAKES RIGHT OF WAY PLAT NO. 4

OTTER LAKE ROAD

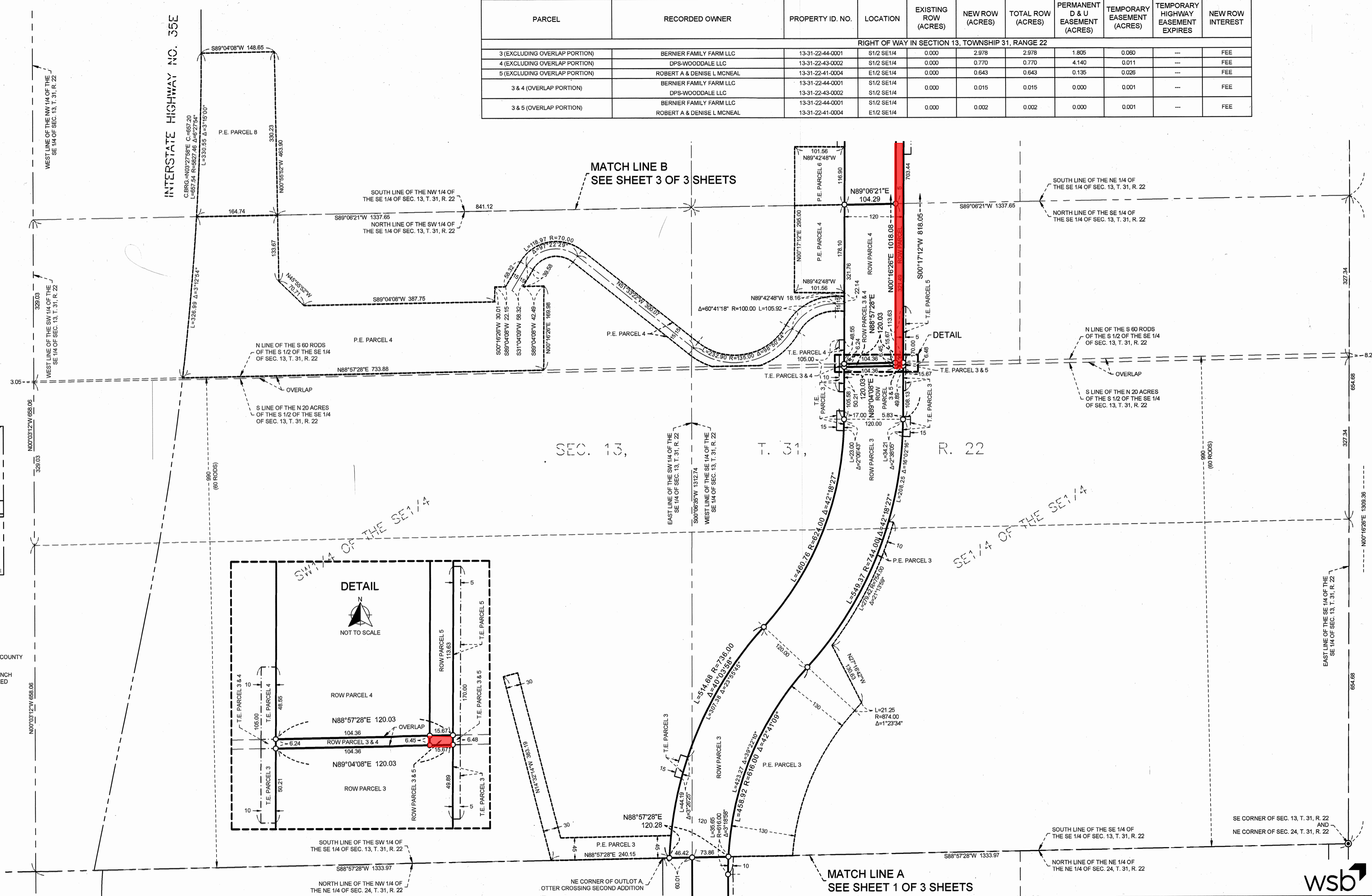
PARCEL	RECORDED OWNER	PROPERTY ID. NO.	LOCATION	EXISTING ROW (ACRES)	NEW ROW (ACRES)	TOTAL ROW (ACRES)	PERMANENT D & U EASEMENT (ACRES)	TEMPORARY EASEMENT (ACRES)	TEMPORARY HIGHWAY EASEMENT EXPIRES	NEW ROW INTEREST
RIGHT OF WAY IN SECTION 13, TOWNSHIP 31, RANGE 22										
3 (EXCLUDING OVERLAP PORTION)	BERNIER FAMILY FARM LLC	13-31-22-44-0001	S1/2 SE1/4	0.000	2.978	2.978	1.805	0.060	---	FEE
4 (EXCLUDING OVERLAP PORTION)	DPS-WOODDALE LLC	13-31-22-43-0002	S1/2 SE1/4	0.000	0.770	0.770	4.140	0.011	---	FEE
5 (EXCLUDING OVERLAP PORTION)	ROBERT A & DENISE L MCNEAL	13-31-22-41-0004	E1/2 SE1/4	0.000	0.643	0.643	0.135	0.026	---	FEE
3 & 4 (OVERLAP PORTION)	BERNIER FAMILY FARM LLC	13-31-22-44-0001	S1/2 SE1/4	0.000	0.015	0.015	0.000	0.001	---	FEE
3 & 5 (OVERLAP PORTION)	BERNIER FAMILY FARM LLC	13-31-22-44-0001	S1/2 SE1/4	0.000	0.002	0.002	0.000	0.001	---	FEE
	ROBERT A & DENISE L MCNEAL	13-31-22-41-0004	E1/2 SE1/4	0.000	0.002	0.002	0.000	0.001	---	FEE



- LEGEND**
- DENOTES FOUND ANOKA COUNTY CAST IRON MONUMENT
 - DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED BY LICENSE NO. 58013
 - ROW PLAT BOUNDARY
 - PERMANENT DRAINAGE AND UTILITY EASEMENT
 - - - TEMPORARY EASEMENT
 - EXISTING PARCEL LINE
 - EXISTING ROW LINE
 - SECTION LINE

NOTES

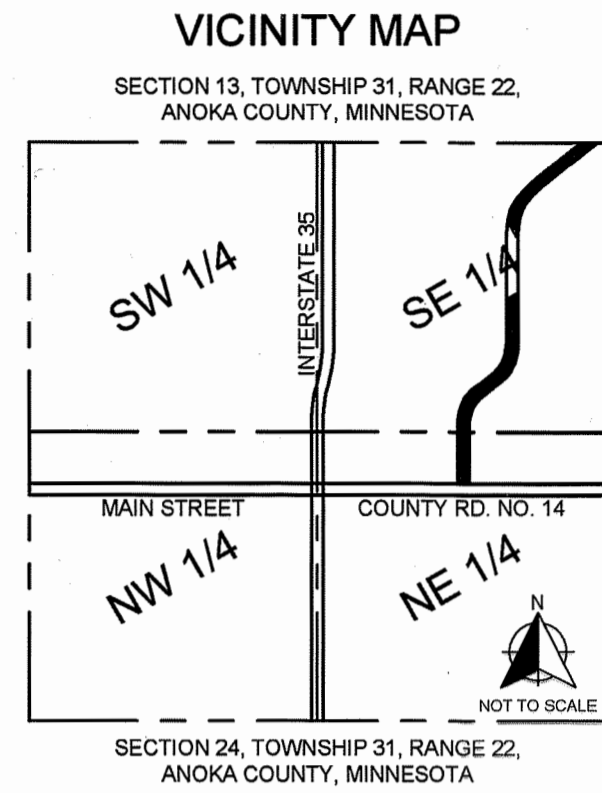
FOR THE PURPOSES OF THIS PLAT THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 31, RANGE 22 IS ASSUMED TO BEAR S88°57'28"W.



CITY OF LINO LAKES RIGHT OF WAY PLAT NO. 4

OTTER LAKE ROAD

SE 1/4 OF THE NE 1/4



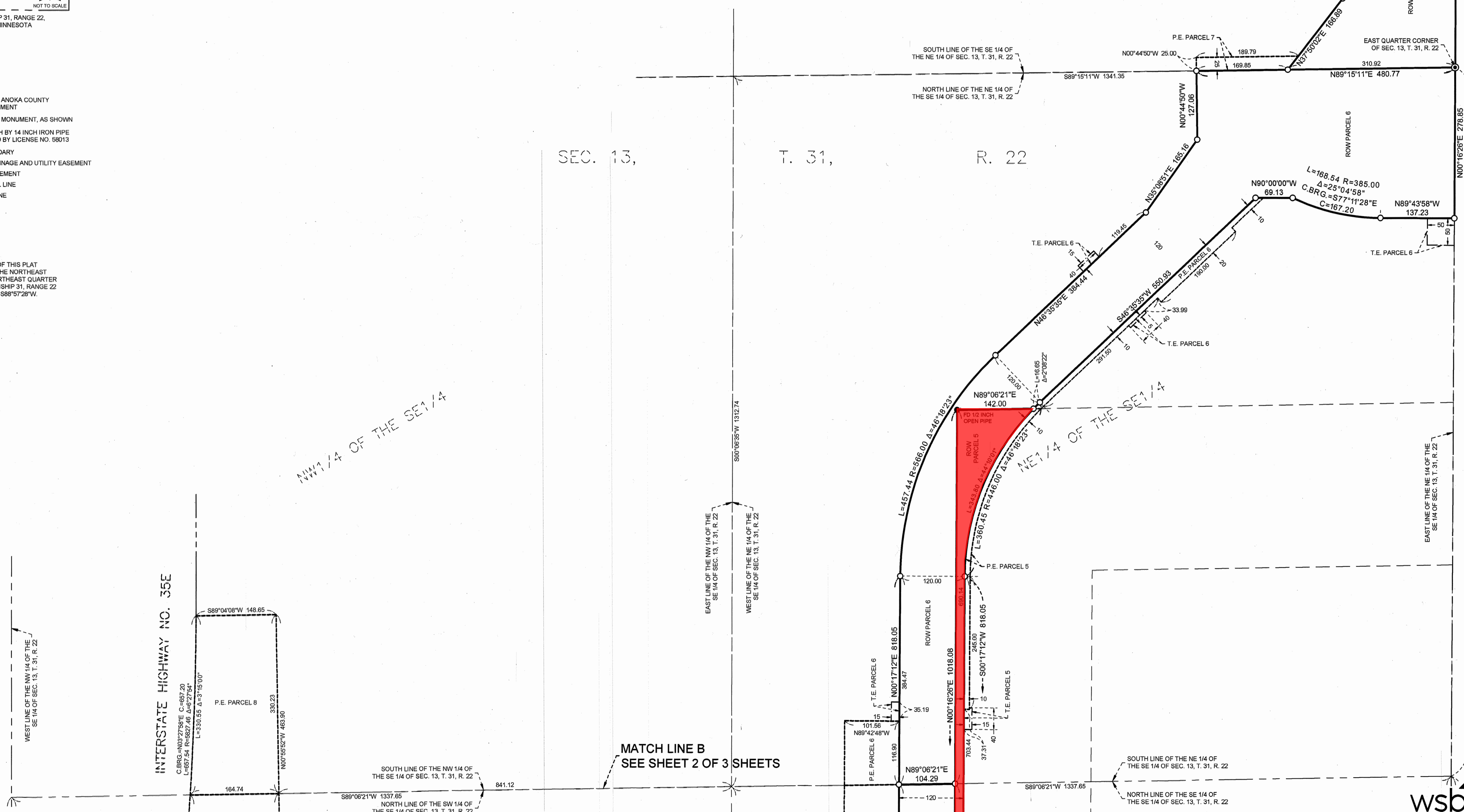
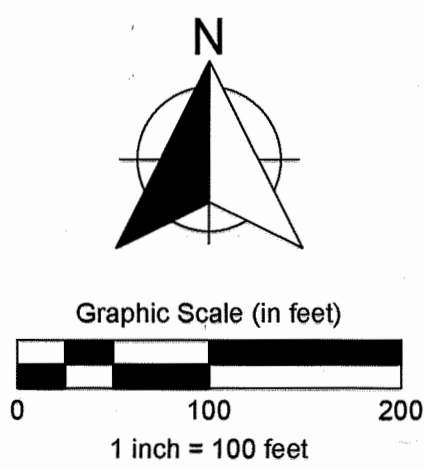
PARCEL	RECORDED OWNER	PROPERTY ID. NO.	LOCATION	EXISTING ROW (ACRES)	NEW ROW (ACRES)	TOTAL ROW (ACRES)	PERMANENT D & U EASEMENT (ACRES)	TEMPORARY EASEMENT (ACRES)	TEMPORARY HIGHWAY EASEMENT EXPIRES	NEW ROW INTEREST
RIGHT OF WAY IN SECTION 13, TOWNSHIP 31, RANGE 22										
3 & 5 (OVERLAP PORTION)	BERNIER FAMILY FARM LLC	13-31-22-44-0001	S1/2 SE1/4	0.000	0.002	0.002	0.000	0.001	---	FEE
5 (EXCLUDING OVERLAP PORTION)	ROBERT A & DENISE L MCNEAL	13-31-22-41-0004	E1/2 SE1/4	0.000	0.643	0.643	0.135	0.026	---	FEE
6	DPS-WOODDALE LLC	13-31-22-41-0005	NE1/4 SE1/4	0.000	5.923	5.923	0.449	0.088	---	FEE
7	L & D. WINTER 2023 CHARITABLE REMAINDER UNITRUST	13-31-22-14-0001	SE1/4 NE1/4	0.000	2.013	2.013	0.103	0.092	---	FEE
8	DPS-WOODDALE LLC	13-31-22-42-0001	NW1/4 SE1/4	0.000	0.000	0.000	1.176	0.000	---	FEE

LEGEND

- ⊙ DENOTES FOUND ANOKA COUNTY CAST IRON MONUMENT
- DENOTES FOUND MONUMENT, AS SHOWN
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED BY LICENSE NO. 58013
- ROW PLAT BOUNDARY
- PERMANENT DRAINAGE AND UTILITY EASEMENT
- TEMPORARY EASEMENT
- EXISTING PARCEL LINE
- EXISTING ROW LINE
- SECTION LINE

NOTES

FOR THE PURPOSES OF THIS PLAT THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 31, RANGE 22 IS ASSUMED TO BEAR S88°57'28"W.



**CITY COUNCIL
STAFF REPORT
AGENDA ITEM 1.H.**

STAFF ORIGINATOR: Justin Williams, Public Services Superintendent

MEETING DATE April 13, 2026

AGENDA ITEM: Approval of Resolution No. 26-53, Approval of CIP Amendment – Street Sweeper Acquisition and Acceptance of RCWD Grant

VOTE REQUIRED: Simple Majority

INTRODUCTION

Staff is requesting approval to amend the 2026 CIP for the scheduled street sweeper replacement. The current CIP includes a replacement of the existing sweeper at a cost of \$325,000. Staff is proposing to revise this request to a new sweeper acquisition at a total cost of \$412,540, offset by a \$100,000 grant from the Rice Creek Watershed District (RCWD). This change would expand the City’s sweeper fleet from one unit to two and support implementation of an enhanced street sweeping program.

Proposed CIP Amendment

- **Original CIP Request:** \$325,000 (replacement)
- **Revised Request:** \$412,540 (new acquisition)
- **Grant Offset:** \$100,000 (RCWD)
- **Net City Cost:** \$312,540

Under this proposal:

- The City will purchase a new regenerative air sweeper
- The existing mechanical sweeper will remain in service
- The planned replacement of the existing sweeper will be deferred to 2030
- The newly acquired regenerative sweeper would be inserted into the CIP with a replacement date of 2040

Funding will be split between the Storm Sewer Fund and Fleet Fund, consistent with current cost allocation practices.

BACKGROUND

The City has been awarded a \$100,000 RCWD Stormwater Management Grant to support the purchase of a regenerative air sweeper. The grant is contingent upon expanding the sweeper fleet and implementing an enhanced sweeping program.

Summary of Proposal:

The proposed CIP amendment includes:

- Acquisition of a new regenerative air sweeper at a total cost of \$412,540
- Acceptance of a \$100,000 RCWD grant, resulting in a net City cost of \$312,540
- Expansion of the sweeper fleet from one unit to two
- Deferral of replacement of the existing sweeper to 2030
- Addition of the new sweeper to the CIP with a replacement year of 2040

Funding will be split between the Storm Sewer Fund and Fleet Fund consistent with current practices.

Operational Impact:

The addition of a second sweeper will allow for implementation of an enhanced sweeping program focused on:

- Increased sweeping frequency in priority areas
- Targeting areas with higher environmental impact, including direct discharge locations and dense canopy areas
- Completing a minimum of four sweeps annually in targeted zones

This program is expected to improve water quality by increasing removal of fine particles and reducing phosphorus loading to local water bodies.

RECOMMENDATION

Staff recommends approval of the CIP amendment, acceptance of the RCWD grant, expansion of the sweeper fleet, deferral of the existing sweeper replacement to 2030, and implementation of the enhanced street sweeping program.

ATTACHMENTS

1. City of Lino Lakes 500X Quote 3-16-26
2. RCWD Grant Approval Letter
3. Proposed Enhanced Sweeping Plan Pending Grant Acceptance
4. 26-53 - Resolution - Approving CIP Amendment - Street Sweeper Replacement to New Sweeper



27365 Zachary Avenue • Elko, MN 55020
 Office: 952-461-3650 www.environmentalequipment.com

March 16, 2026

Justin Williams, Public Works Superintendent
 City of Lino Lakes
 600 Town Center Parkway
 Lino Lakes, MN 55014

Dear Justin,

Thank you for the opportunity to quote a new TYMCO 500X on an International MV607 Chassis (left hand steer only). The Minnesota State Contract number is S-843(5), # 285155.

Base Price:	\$374,975.00
Air Dryer Brakes	Standard
LED Light Bar	\$1,950.00
LED Amber Traffic Directing Light	\$1,450.00
Additional Flood Light – Quantity 2(Left and Right Pickup Head)	\$600.00
Sweeper Deluge System	\$1,450.00
Hopper Electric Vibrator	\$2,500.00
Hopper Load Indicator	\$500.00
Dual Screen Vibrators	\$3,200.00
Hopper Load Logging	\$2,000.00
High Output Water System	\$865.00
Water Level Gauge	\$700.00
Air Purge	\$500.00
2 Cameras, Color Monitor	\$2,650.00
Air Horn	\$550.00
Linear Actuator w/Gauge- Pressure Bleeder	\$550.00
CurbView Camera System	\$8,000.00
Electric Heated West Coast Mirrors	Standard
12" Parabolic Mirrors	Standard
High Back Air Ride Seats	Standard
AM / FM / Aux. Input / Blue Tooth Radio	Standard
Abrasion Protection Package	\$1,100.00
Automatic Sweep Assist (ASA)	\$2,750.00
External Hopper Controls	\$1,200.00
Removeable Front Curtain Set	\$350.00
Pick-up Head Curtain Lifter	\$1,700.00
Skid Bumper Extension Set	\$350.00
GPS Sweeping Status Kit	\$450.00
Auxiliary Hand Hose (Tray only)	\$1,700.00
Broom Assist Pickup Head	Standard
Battery Disconnect Switch	\$500.00
Spring Factory Training for up to 4 People in Waco, TX	<u>Standard</u>
Price:	\$412,540.00

Warranty: TYMCO – 1 yr./ 1,000 hrs.; John Deere - 5 yrs. / 5,000 hrs.; Cummins Engine – 5 yrs. / 150,000 mile ext. Warranty; Chassis – Standard Manufacturer’s Warranty

The City of Lino Lakes is responsible for 6.875% Minnesota motor vehicle sales tax and titling fees. Thank you for your interest.

Sincerely,

Al Walford



March 11, 2026

City of Lino Lakes
 Attn: Timothy Payne, Streets & Stormwater Supervisor
 600 Town Center Parkway
 Lino Lakes, MN 55014

Re: RCWD 2026 Stormwater Management Grant Program

The Rice Creek Watershed District is pleased to inform you that your application to the District’s 2026 Stormwater Management Grant Program was approved for funding. The Regenerative Air Sweeper and Enhanced Sweeping project was approved for up to \$100,000 by the RCWD Board of Managers on February 25, 2026. We look forward to partnering with Lino Lakes in implementing its water quality improvement project.

A grant agreement for this project is enclosed, signed by the RCWD Administrator. Please execute the agreement and return a copy to the RCWD. The grant agreement must be executed by Lino Lakes and submitted to the District no later than May 29, 2026, otherwise funding for the project may be cancelled.

Thank you for your commitment to improving water quality in the Rice Creek Watershed. If you have any further questions, feel free to contact me at 763-398-3085 or wroach@ricecreek.org.

Sincerely,

Will Roach
 Watershed Technician/Inspector



Proposed Enhanced Sweeping Plan Pending Grant Acceptance

The City of Lino Lakes has applied for a 2026 Stormwater Management Grant from the Rice Creek Watershed District, requesting \$100,000 to help facilitate the purchase of a regenerative air sweeper. The application was approved for full funding of \$100,000 February 25th, 2026. Lino Lakes will contribute the balance of the purchase (approx. \$312,540) if the grant is accepted.

Pending grant acceptance, Public Works intends to initiate an enhanced sweeping program by incorporating the regenerative air sweeper into our street sweeping practices. An enhanced sweeping program is a targeted, high frequency street sweeping strategy to reduce nutrient runoff, particularly phosphorus. Regenerative Air Sweepers excel in the removal of fine dust/particles that carry and release the highest concentrations of pollutants to the environment. The additional sweeper would be used in tandem with our existing mechanical sweeper citywide and within priority areas designated to receive additional sweeping throughout the sweeping season.

Areas proposed to receive additional fall sweeping include subdivisions discharging stormwater to receiving waters without pre-treatment and subdivisions with fully developed tree canopies. In some locations both conditions occur. The priority areas total 28.2 miles of curbed road. This is currently 30.6% of our curbed roadways. A map of target areas is attached.

It's notable that the RCWD is supportive of the regenerative air sweeper purchase as the Lino Lakes Chain of Lakes TMDL, the Peltier and Centerville Lakes TMDL, and the Bald Eagle TMDL each identify excess nutrients as their primary impairment. The adoption of an increased/targeted sweeping program by the City would directly reduce phosphorus and other nutrients discharged to each of the lakes included in these TMDLs. 99.6% of Lino Lakes maintained roads are within the RCWD.

**CITY OF LINO LAKES
RESOLUTION NO. 26-53**

**Approving CIP Amendment – Street Sweeper Acquisition and Acceptance of
RCWD Grant**

WHEREAS, the City of Lino Lakes 2026 Capital Improvement Plan includes funding in the amount of \$325,000 for replacement of the existing street sweeper; and

WHEREAS, staff has evaluated operational needs, water quality goals, and available funding opportunities and has identified a more effective long term approach; and

WHEREAS, the City has been awarded a \$100,000 Stormwater Management Grant from the Rice Creek Watershed District to support the purchase of a regenerative air street sweeper; and

WHEREAS, the grant award is contingent upon the City expanding its sweeper fleet and implementing an enhanced street sweeping program; and

WHEREAS, staff recommends amending the 2026 Capital Improvement Plan to replace the planned street sweeper replacement with the acquisition of an additional street sweeper at a total cost of \$412,540, resulting in a net City cost of \$312,540 after grant funding; and

WHEREAS, the proposed amendment will expand the City's sweeper fleet from one unit to two, defer replacement of the existing sweeper to 2030, and establish a replacement year of 2040 for the new sweeper; and

WHEREAS, funding for the acquisition will be allocated between the Storm Sewer Fund and Fleet Fund consistent with current City practices; and

WHEREAS, implementation of an enhanced street sweeping program will improve operational efficiency and reduce phosphorus loading to local water bodies, supporting watershed management goals and regulatory requirements;

NOW, THEREFORE, BE IT RESOLVED by the City Council of Lino Lakes, Minnesota that

1. The 2026 Capital Improvement Plan is hereby amended to replace the planned street sweeper replacement with the acquisition of an additional street sweeper.
2. The City Council hereby accepts the \$100,000 grant from the Rice Creek Watershed District, contingent upon implementation of the enhanced street sweeping program.
3. The City is authorized to purchase a regenerative air street sweeper in the amount of \$412,540.
4. The existing street sweeper replacement is deferred to the year 2030.

5. The newly acquired street sweeper is added to the Capital Improvement Plan with a replacement year of 2040.
6. City staff are authorized to implement the enhanced street sweeping program consistent with grant requirements.
7. The appropriate City officials are authorized to execute all documents necessary to carry out the intent of this resolution.

Adopted by the City Council of the City of Lino Lakes this _____ day of _____, 2024.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

**CITY COUNCIL
STAFF REPORT
AGENDA ITEM 3.A.**

STAFF ORIGINATOR: Meg Sawyer, Human Resources and Communications Manager

MEETING DATE April 13, 2026

AGENDA ITEM: Appointment of Part-Time Firefighter

VOTE REQUIRED: Simple Majority

INTRODUCTION

The City Council is being asked to approve the appointment of Paul Kartman to the Part-Time Firefighter position within the Fire Department.

BACKGROUND

Staff has completed the recruitment process, provided a conditional offer, and is recommending the approval of Paul Kartman for the part-time position.

Kartman has been a Paid On-Call Firefighter with the City of Lino Lakes since 2015. He has completed Firefighter 1 & 2 as well as Hazardous Materials training and certification.

The starting wage for Kartman will be \$29.39 per hour, which is Step 3 of a 7 step wage scale for the Part-Time Firefighting position.

With the Council's approval, Kartman would start in the position on April 15, 2026.

The Fire Department currently has 8 Part-Time Firefighters on staff.

RECOMMENDATION

Please approve the appointment of Paul Kartman to the Part-Time Firefighter position.

ATTACHMENTS

None

**CITY COUNCIL
REGULAR MEETING STAFF REPORT
AGENDA ITEM 7A**

STAFF ORIGINATOR: Katie Larsen, City Planner

MEETING DATE: April 13, 2026

TOPIC: Approval of Resolution No. 26-46 for Otter Crossing South 2nd Addition Preliminary Plat

VOTE REQUIRED: Simple Majority

INTRODUCTION

The applicant, TYME Properties LLC, is proposing to preliminary plat Outlot B, Otter Crossing South into two (2) commercial lots. The preliminary plat is south of Main Street and west of Otter Lake Road and is called Otter Crossing South 2nd Addition.

Tentative Review Schedule:

Complete Application Date:	February 11, 2026
60-Day Deadline:	April 12, 2026
Environmental Board Meeting:	February 25, 2026
Park Board Meeting:	N/A
Planning & Zoning Board Meeting:	March 11, 2026
City Council Work Session:	April 6, 2026
City Council Meeting:	April 13, 2026

BACKGROUND

The Land Use Application is for the following:

- Preliminary Plat (Otter Crossing South 2nd Addition)
 - 2 commercial lots

This staff report is based on the following information:

- Preliminary Plat Plan Set prepared by Pioneer Engineering dated February 10, 2026

- Geotechnical Evaluation Reports prepared by Braun Intertec dated April 7, 2006 and September 21, 2007
- Wetland Permit Application prepared by Midwest Natural Resources, Inc. dated February 6, 2026
- Traffic Study prepared by SSTS Traffic Solutions dated February 16, 2024

ANALYSIS

History

Otter Crossing South final plat was approved in May 2025. It created Lot 1 for ALDI and Outlots A and B for future commercial development. Otter Crossing South 2nd Addition proposes to subdivide Outlot B into two (2) commercial lots.

Existing Site Conditions

The site is a vacant commercial outlot.

Zoning and Land Use

The outlot is zoned GB, General Business and is guided commercial per the City’s 2040 Comprehensive Plan.

Current Zoning	GB, General Business
Existing Land Use	Vacant Commercial
Future Land Use per 2040 Comp Plan	Commercial
Utility Staging Area	1A=2018-2025

The preliminary plat is consistent with zoning code requirements for GB, General Business lot size and lot width.

	Lot Size	Lot Width
GB Requirements	20,000 sf	100 ft
Lot 1	44,243 sf	164 ft
Lot 2	42,873 sf	167 ft

Surrounding Zoning and Land Use

Direction	Zoning	Existing Land Use	Future Land Use
North	GB, General Business	Commercial	Commercial
South	GB, General Business	Vacant Commercial	Commercial
East	LI, Light Industrial	Industrial	Industrial
West	GB, General Business	Commercial	Commercial

Subdivision Ordinance

Conformity with the Comprehensive Plan and Zoning Code

The preliminary plat is consistent with the comprehensive plan for commercial development and zoning code requirements for GB, General Business with minor revisions as detailed in this staff report.

Blocks and Lots

The proposed preliminary plat contains the following parcels:

Parcel	Acres	Purpose
Lot 1, Block 1	1.02 acres	Taco Bell
Lot 2, Block 1	0.98 acres	Future commercial development
Outlot A	0.57 acres	Private Street
Outlot B	22.85 acres	Future development
TOTAL	25.42 acres	

An additional 10ft of road right-of-way along CR 84 (Otter Lake Road) was dedicated on the Otter Crossing South plat as required. No additional right-of-way is required.

Sheet 2.40, Master Plan lays out potential future development of the site. This is not a final plan. Future development of Outlot B will require preliminary plat and final plat.

Streets and Alleys

CSAH 14 (Main Street) is an A-Minor Arterial Connector county road. An existing right-in only lane will access the site from Main Street. No additional access points or driveways are allowed along this section of Main Street.

CR 84 (Otter Lake Road) is a minor arterial county road.

Access to the site from Otter Lake Road is 70th Street which is a private street. This will be a temporary full access intersection until future development of Outlot B. Then this access will be right in/right out and full access roundabout will be constructed to the south.

Otter Lake Service Road is a public local road that will provide future access to Outlot B.

There are no public streets being constructed within this phase of development. The internal system currently is the private street and drive lanes.

Lot 1 and Lot 2 have a shared driveway. A shared driveway and maintenance agreement will be required.

Easements

Standard drainage and utility easements at least 10 feet wide shall be provided on the preliminary plat over Lot 1 and Lot 2 lot lines.

Stormwater Management and Erosion and Sediment Control

Per the City Engineer Memo dated March 4, 2026:

Stormwater management for the Otter Crossing South 2nd Addition development is proposing to use the existing City stormwater pond south and east of the project area to provide rate control and water quality treatment. There is a conservation easement for a wetland bank that exists over the existing City pond. Analysis includes a proposed City roundabout on Otter Lake Road south of 70th Street. Runoff will be routed via the existing storm sewer system along the roadway.

Future phases of development will provide onsite stormwater management. 2nd Addition flows ultimately discharge to the west for a small northern portion of the site and the rest discharges south to Clearwater Creek from the City pond.

Additional lots and a future roundabout in Otter Lake Road are included in the drainage area to the existing stormwater pond. These areas were included in the original study prepared by TKDA with 1998 Otter Lake Road improvement project. This pond has capacity to provide stormwater management for the development. The pond existing and proposed discharge rates are summarized below.

Pre- and Post- Development Discharge Rates (cfs)				
Condition	2-Year	10-Year	100-Year	10-Day Snowmelt
Existing - Creek	15.00	23.24	56.26	N/A

Proposed - Creek	10.35	13.66	40.14	N/A
Existing - West	5.59	10.15	27.00	N/A
Proposed - West	3.97	6.51	20.40	N/A
Existing – Southeast (wetland)	8.72	18.69	41.10	N/A
Proposed – Southeast (wetland)	8.72	18.69	41.10	N/A

Additional comments/revisions are noted in the attached City Engineer memo.

Public Utilities

The site will be municipally served by an 8” sanitary sewer main and 8” watermain along 70th Street.

Public Land Dedication

The City will collect cash fee in lieu of land dedication for commercial development at the time of final plat.

Otter Crossing South 2nd Addition	
2.00 acres x \$2,725 per acre =	\$5,450

Tree Preservation, Mitigation Standards and Landscaping

Per the February 26, 2026 Environmental Board staff report:

Tree Preservation

No significant trees are being removed as part of this project.

Landscaping

Landscaping will be required for each lot as it develops and will be required to meet all city requirements. Currently trees are being planted along the private street for screening.

Canopy cover standards are required to mitigate the effects of hardscape by establishing tree canopy cover. The required minimum canopy coverage is 40%.

Foundation landscape zone 6 large shrubs and two large trees are required per 100 LF of building.

Open area landscape is required to provide 1 large tree and two large shrubs per 2,500 SF of open space. Open area on site is $9,410\text{SF}/2500=3.76$ or 4 large trees and 8 shrubs. They are proposing to meet the requirements.

Buffer and screening between vehicle hardscape and public right of way. Minimum height screening of 30" to be provided for Otter Lake Rd. All planting screens require at a minimum a double row of plants with triangulated spacing. Planting plans shall include species which are sized to appropriately screen visibility within five years of planting. Small shrubs shall be planted at a maximum interval of three feet on center; medium shrubs shall be planted at a maximum interval of four feet on center; and large shrubs shall be planted at a maximum interval of six feet on center unless; otherwise authorized by the City.

Screening would not be required between the two lots, unless it is needed to meet canopy coverage. Currently screening is being shown between lot 1 and 2. (Refer to the landscape guidelines for requirements.) Screening can be provided, but would not be required in this location

Site and Building Plan Review

A separate land use application for Site and Building Plan Review for the proposed Taco Bell on Lot 1 has been submitted. A restaurant is a permitted use in the GB, General Business district; therefore, site and building plans will be reviewed administratively by staff.

A separate land use application for Site and Building Plan Review will be required for Lot 2.

Signage

A separate Sign Permit Application with detailed sign information is required for any permanent or temporary signage.

Impervious Surface Coverage

The allowed maximum impervious surface coverage per lot in the GB, General Business District is 75%. Lot 1 impervious is 65.6% which meets requirements. Lot 2 will be reviewed at the time of site and building plan review.

Traffic Study

A Traffic Study was prepared by SSTS dated February 16, 2024 for Otter Crossing South which included commercial development of these 2 lots. The study analyzed the following intersections:

- Main St (CSAH 14) & I-35E SB Ramps

- Main St (CSAH 14) & I-35E NB Ramps
- Main St (CSAH 14) & Otter Lake Rd (CR 84)
- Main St/Frenchman Rd/CSAH 8 & Victor Hugo Blvd
- Otter Lake Rd (CR 84) & Gymnastics/Industrial Building Access
- Access Locations for Build Conditions

Trip Generation

The study analyzed a Phase 1 development scenario that included a supermarket (Aldi), fast food (Taco Bell), and retail (future). The Phase 1 development is expected to generate 1,658 new weekday daily trips. The AM peak is 7:15am to 8:15am and PM peak is 4:15pm to 5:15pm. The table below provides a detailed breakdown of land use, shared trips, and pass-by trips. Pass-by trips occur when motorists already on the highway system stop at the development site prior to continuing their intended route.

Land Use	Type	Land Use Code	Size	Trips Generated:				
				AM Peak		PM Peak		Weekday ADT
				Enter	Exit	Enter	Exit	
Supermarket	Retail	850	19,500 s.f.	33	23	87	87	1,062
Fast Food - w/Drive Thru	Retail	934	3,000 s.f.	68	66	52	48	1,402
Strip Retail Plaza	Retail	822	9,800 s.f.	14	9	32	32	370
Totals - Gross				115	98	171	167	2,834
				213		338		
Shared Trips				12	10	17	17	283
				21		34		
Pass-By Trips				39	39	53	53	893
				78		106		
Totals - Net*				64	49	101	98	1,658
				113		199		

- Pass-by trips per land use are per ITE's Trip Generation Manual, 11th Edition.
 - A 10% shared trip reduction was applied based on review of ITE's internal capture rates.

Level of Service

Level of Service (LOS) is used to describe the operating conditions and driver delay (measured in seconds) of an intersection. Operations are given letter designations from "A" (best operating conditions) to "F" (worst conditions).

City Code Section 1007.020, Site Plan Review and Section 1001.013(2)(c), Premature Subdivision establishes minimum Level Of Service (LOS) requirements. The ordinance states that if the LOS is A or B, the proposed subdivision shall not the degrade the LOS more than one grade. If the LOS is C or D, it shall not degrade the LOS. Intersections with a LOS of E or F must be improved to ensure a LOS of D or better.

Intersection	Measure of Effectiveness (Delay in Sec and Queue in Ft)				
	Criteria	2026 No-Build		2026 Build	
		AM Peak Hour	PM Peak Hour	AM Peak Hour	PM Peak Hour
Main St (CSAH 14) & I-35E SB Off-Ramp (Signalized)	Overall LOS & Delay	A 6.6	A 6.5	A 6.7	A 6.6
	Worst Movement LOS & Delay	D 36.7 (SBL)	D 40 (SBL)	D 35.5 (SBL)	D 40.5 (SBL)
	95th Percentile Queue	SBL - 121'	SBL - 114'	SBL - 130'	SBL - 124'
Main St (CSAH 14) & I-35E NB Ramps (Signalized)	Overall LOS & Delay	A 5.7	A 8.2	A 6.0	A 8.1
	Worst Movement LOS & Delay	C 33 (SBR)	C 20.8 (SBR)	D 35.8 (SBR)	C 21 (SBR)
	95th Percentile Queue	SBR - 133'	SBR - 182'	SBR - 133'	SBR - 180'
Main St (CSAH 14) & Otter Lake Rd (Signalized)	Overall LOS & Delay	B 18.2	C 22.4	C 20.7	C 26.2
	Worst Movement LOS & Delay	D 40.7 (NBT)	D 47.4 (NBT)	D 47.2 (SBL)	E 66.4 (WBL)
	95th Percentile Queue	WBT - 342'	WBT - 398'	WBT - 340'	EBT - 317'
Main St (CSAH 14) & Victor Hugo Blvd (Signalized)	Overall LOS & Delay	B 17.3	C 25.0	B 17.6	C 27.5
	Worst Movement LOS & Delay	D 43.4 (WBL)	E 49.6 (EBL)	D 42.7 (WBL)	E 60.9 (EBL)
	95th Percentile Queue	WBT - 193'	EBL - 220'	WBT - 187'	EBL - 266'
Otter Lake Rd & Gymnastics Access (Side-Street Stop-Controlled)	Overall LOS & Delay	A 0.1	A 0.8	A 0.1	A 0.9
	Worst Movement LOS & Delay	A 0.1 (SBT)	A 6.8 (WBL)	A 1 (SBL)	A 7.3 (WBL)
	95th Percentile Queue	No Queue	WBR - 43'	SBLT - 4'	SBLT - 50'
Otter Lake Rd & Existing Access (Side-Street Stop-Controlled) *	Overall LOS & Delay			A 1.7	A 2.4
	Worst Movement LOS & Delay	NA	NA	A 6 (EBL)	A 8.3 (EBL)
	95th Percentile Queue			EBLR - 46'	EBLR - 70'
Main St (CSAH 14) & Right-In Only Access (Free Right Movements)	Overall LOS & Delay			A 2.4	A 2.1
	Worst Movement LOS & Delay	NA	NA	A 3.6 (WBT)	A 3 (WBT)
	95th Percentile Queue			No Queue	EBT - 15'

- Level of Service reported from an average delay from 10 SimTraffic simulations for overall intersection and worst movement.
- 95th percentile queues are a result from an average of 10 SimTraffic simulations and the longest queue per intersection is reported.
- Overall LOS "D" and individual movement LOS "E" are considered acceptable if queuing is accommodated.
- * A dedicated SBL turn lane is assumed with Build conditions on Otter Lake Rd at the access.

The proposed Level of Service does not degrade by more than one (1) LOS; therefore, the traffic generated by the proposed development is within the capabilities of the City.

EQB Environmental Review

The site is within the 2005 I-35E Corridor AUAR environmental review boundary. The AUAR was updated in July 2025. The AUAR identifies this site as commercial in the land use scenarios. The proposed Taco Bell and future retail building are consistent with commercial development. No further environmental assessment is required.

Wetlands

The preliminary plat includes three (3) wetlands. Wetland 1 within Lots 1 and 2 will be completely impacted (3,910sf). The wetland is not within the Wetland Management Corridor (WMC). Wetland banking credits will be purchased for mitigation.

Any wetland impacts to Wetland 2 and Wetland 4 in Outlot B will be analyzed and mitigated for with development in that area.

Shoreland District

The preliminary plat is not located in the Shoreland District.

Floodplain

There is no FEMA floodplain on site.

Additional City and Government Agency Review Comments

- Anoka County Highway Department comments are in the attached memo.
- Lino Lakes Fire Department did not have any comments.
- Lino Lakes Police Department did not have any comments.
- Environmental Board reviewed the project at their February 26, 2026 meeting and recommended approval with conditions as noted in the attached memo.
- Planning & Zoning Board held a public hearing on March 11, 2026. There were no public comments. The Board recommended approval of the preliminary plat.

Agreements

Stormwater Maintenance Agreement

The City pond will continue to be operated and maintained by the City of Lino Lakes as it currently is in existing conditions.

Development Agreement and Final Plat

The applicant shall submit a Land Use Application for final plat after preliminary plat approval. A Development Agreement will then be prepared by the City as part of the final plat application.

Site Improvement Performance Agreement

Site Improvement Performance Agreements will be required for construction of the Taco Bell fast food restaurant and future retail building.

Comprehensive Plan

The Otter Crossing South 2nd Addition preliminary plat is consistent with the goals and policies of the comprehensive plan regarding land use, housing, economic development, transportation, local water management plan, sanitary sewer, water supply and parks, greenway and trails.

Land Use Plan

The Comprehensive Plan guides this property for commercial use. The preliminary plat is consistent with commercial land use.

Housing Plan

The goals and policies of Housing Plan are not negatively impacted by the commercial development.

Economic Development

The commercial development supports the City's economic development plan.

Transportation Plan

Goals of the Transportation Plan are to ensure that street and roads are as safe as possible and to reduce unnecessary traffic. CSAH 14 (Main Street) is an A-Minor Arterial Connector county road. CR 84 (Otter Lake Road) is a minor arterial county road. The exiting road system can accommodate the traffic generated by the commercial development.

Local Water Management Plan

The purpose of the water management program is to protect, preserve, and use natural surface and groundwater storage and retention systems and prevent erosion of soil into surface water systems. The commercial development will construct stormwater management improvements such as curb and gutter to convey stormwater to an existing stormwater pond.

Sanitary Sewer Plan

The goal of the sanitary sewer plan is to maintain the city's residents and businesses with an affordable and safe sanitary sewer system. The commercial development will be served by an affordable and safe sanitary sewer system.

Water Supply Plan

A goal of the water supply plan is to provide residents and businesses with affordable potable water that is safe and of high quality for daily consumption and fire demand. The commercial development will be served with a safe and high quality water supply.

Parks, Greenways and Trails

A goal and policy of the parks, greenways and trails plan is to continue to development and fund recreational activities in the City. The City will require cash in lieu of land dedication for the two (2) new commercial lots.

Findings of Fact

The findings of fact are detailed in the attached resolution.

RECOMMENDATION

Staff recommends approval of the Otter Crossing South 2nd Addition preliminary plat.

ATTACHMENTS

1. Site Location & Aerial Map
2. Otter Crossing South 2nd Addition Preliminary Plat Plan Set
3. City Engineer Memo dated March 4, 2026
4. Environmental Coordinator Memo dated March 4, 2026
5. Anoka County Highway Department Letter dated February 12, 2026
6. Resolution No. 26-46 Approving Preliminary Plat

Otter Crossing South 2nd Addition



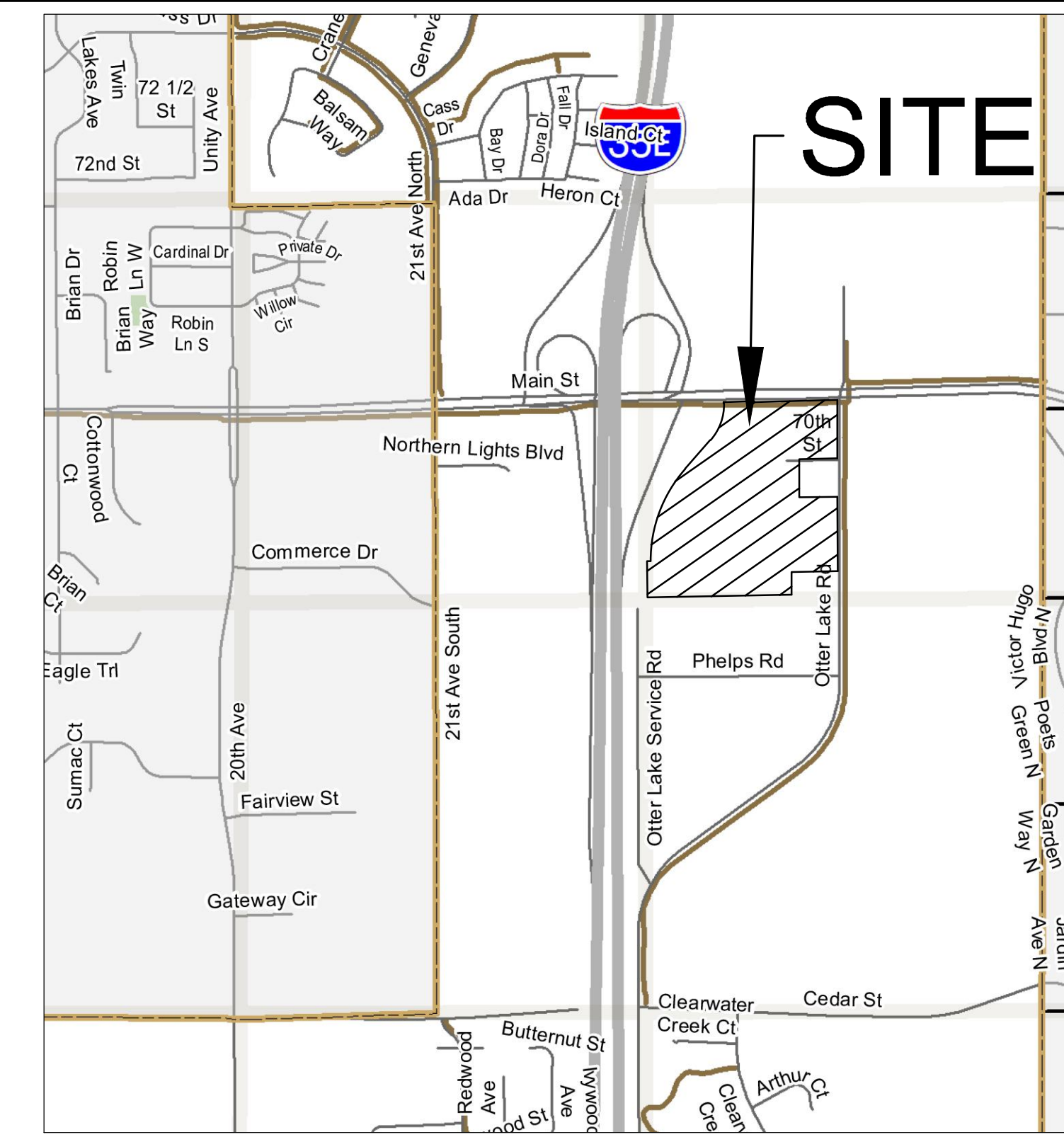
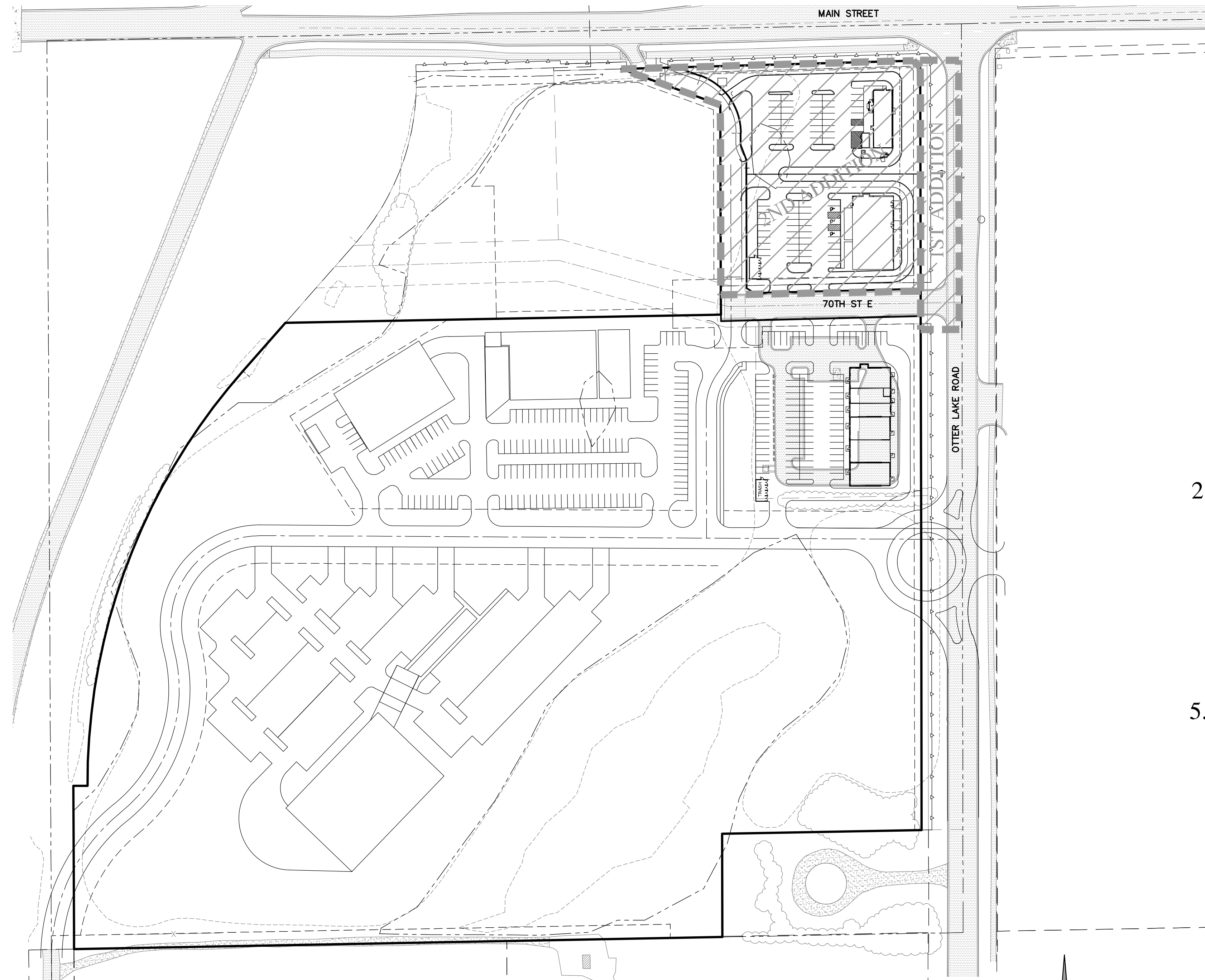
1 in = 300 Ft

Address Labels

 Parcels



OTTER CROSSING SOUTH 2ND ADDITION PRELIMINARY PLANS LINO LAKES, MINNESOTA

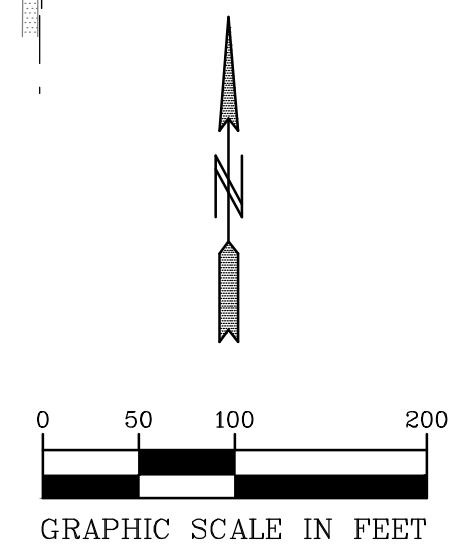


LOCATION MAP

- SHEET INDEX**
- 1.00 COVER SHEET
 - 1.10 LEGEND
 - 2.00-2.01 EXISTING CONDITIONS
 - 2.10 RESOURCE INVENTORY
 - 2.20 NEIGHBORHOOD LAND USE PLAN
 - 2.30 PRELIMINARY PLAT
 - 2.40 MASTER PLAN
 - 3.00 REMOVALS PLAN
 - 3.10 PRELIMINARY SITE PLAN
 - 4.00 PRELIMINARY GRADING PLAN
 - 4.10 PRELIMINARY EROSION CONTROL PLAN
 - 4.20 PRELIMINARY SEEDING PLAN
 - 5.00-5.02 PRELIMINARY GRADING DETAILS
 - 6.00 PRELIMINARY SANITARY SEWER & WATERMAIN PLAN
 - 7.00 PRELIMINARY STORM SEWER PLAN
 - 8.00 PRELIMINARY WETLAND PLAN

 - S1-S2 STORMWATER POLLUTION PREVENTION PLAN
 - S3 MPCA MAP
 - S4 EXISTING HYDROLOGY
 - S5 PROPOSED HYDROLOGY

 - L1 LANDSCAPE PLAN



BENCH MARK
TOP NUT HYDRANT IN N.W. QUAD. OF
OTTER LAKE ROAD & PRIVATE DRIVE
370 FT. NORTH OF MAIN STREET
EL=920.47 NVGD88(DATUM)
02-ENG-119015-SHEET-COVR



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www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Name: *Paul J. Cherm*
Reg. No.: 19860 Date: 02-09-2026

Revisions
1. 02-10-2026 City Comments

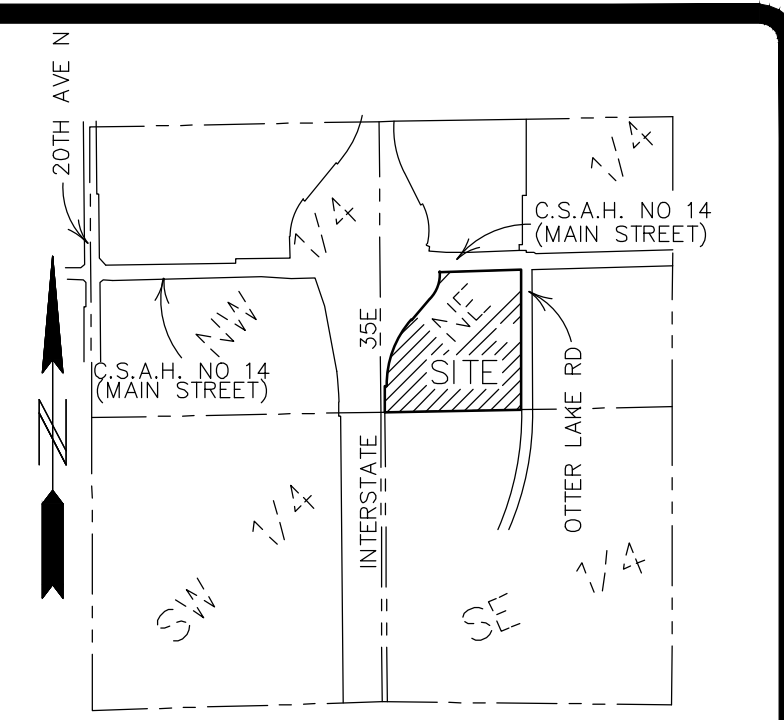
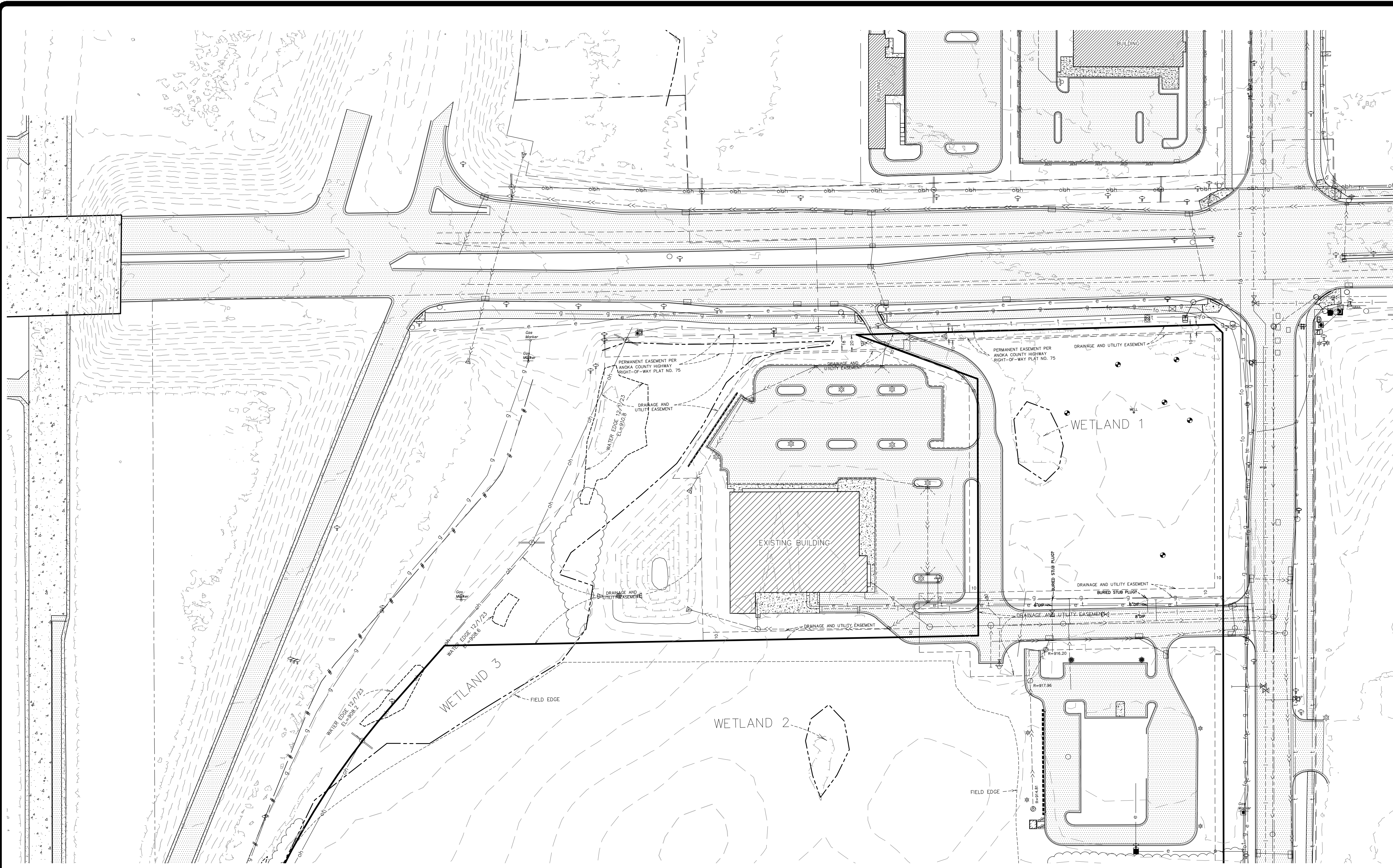
Date: 02-09-2026
Designed: PIC
Drawn: NJK, JLT

COVER SHEET

TYME PROPERTIES
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
LINO LAKES, MINNESOTA

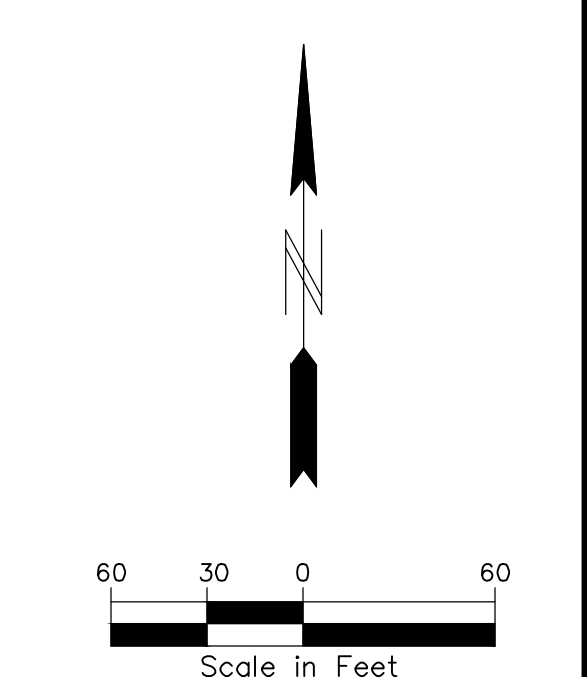
1.00 OF 19



SECTION 24, TWP. 31, RGE. 22
 ANOKA COUNTY, MINNESOTA
 LOCATION MAP
 NO SCALE

- LEGEND**
- Denotes concrete
 - Denotes gravel
 - Denotes bituminous
 - Denotes tree line
 - Denotes storm sewer line
 - Denotes sanitary sewer line
 - Denotes water line
 - Denotes overhead utility lines
 - Denotes underground television line
 - Denotes underground telephone line
 - Denotes underground fiber optic line
 - Denotes underground electric line
 - Denotes underground petroleum lines
 - Denotes underground gas line
 - Denotes fence (barbed wire)
 - Denotes fence (chain link)
 - Denotes 100 year flood level
 - Denotes Fema flood plain boundary
 - Denotes catch basin
 - Denotes catch basin beehive
 - Denotes flared end section
 - Denotes gate valve
 - Denotes hydrant
 - Denotes service
 - Denotes hand hole
 - Denotes manhole other than sanitary or storm
 - Denotes sanitary or storm manhole
 - Denotes utility pole
 - Denotes transformer box
 - Denotes fiber optic box
 - Denotes electric box
 - Denotes light pole
 - Denotes semaphore
 - Denotes telephone box
 - Denotes television box
 - Denotes cast iron monument
 - Denotes found iron pipe
 - Denotes pk nail
 - Denotes mailbox
 - Denotes sign

LEGAL DESCRIPTION FOR PRELIMINARY PURPOSES ONLY
 OUTLOT A, AND OUTLOT B, OTTER CROSSING SOUTH, according
 to the recorded plat thereof, Anoka County, Minnesota.



BENCH MARK
 TOP NUT HYDRANT IN N.W. QUAD. OF
 OTTER LAKE ROAD & PRIVATE DRIVE
 370 FT. NORTH OF MAIN STREET
 EL=920.47 NVGD88(DATUM)
 EX02-SURV-119015-BASE.DWG

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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor under the laws of the State of Minnesota

Name: Peter J. Hawkinson
 Reg. No.: 42299 Date: 02-09-2026

Revisions:
 1. 02-10-2026 City Comments

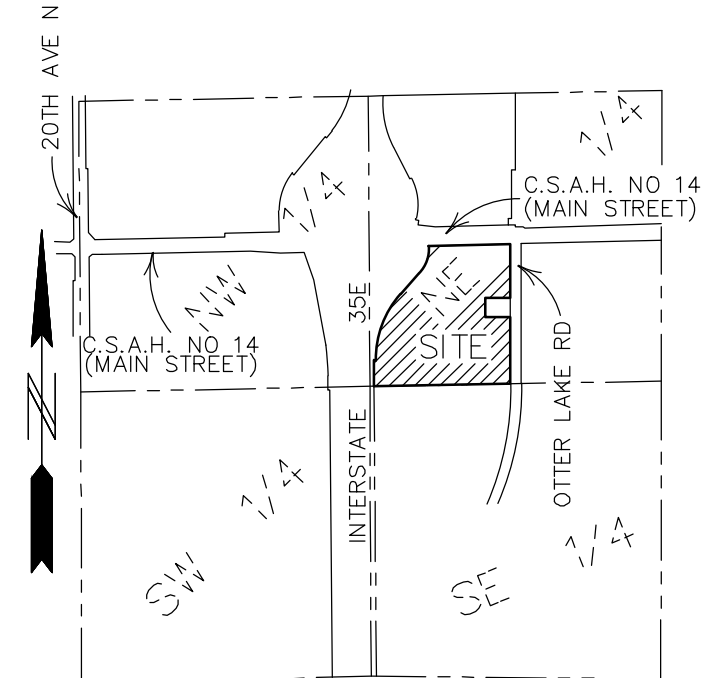
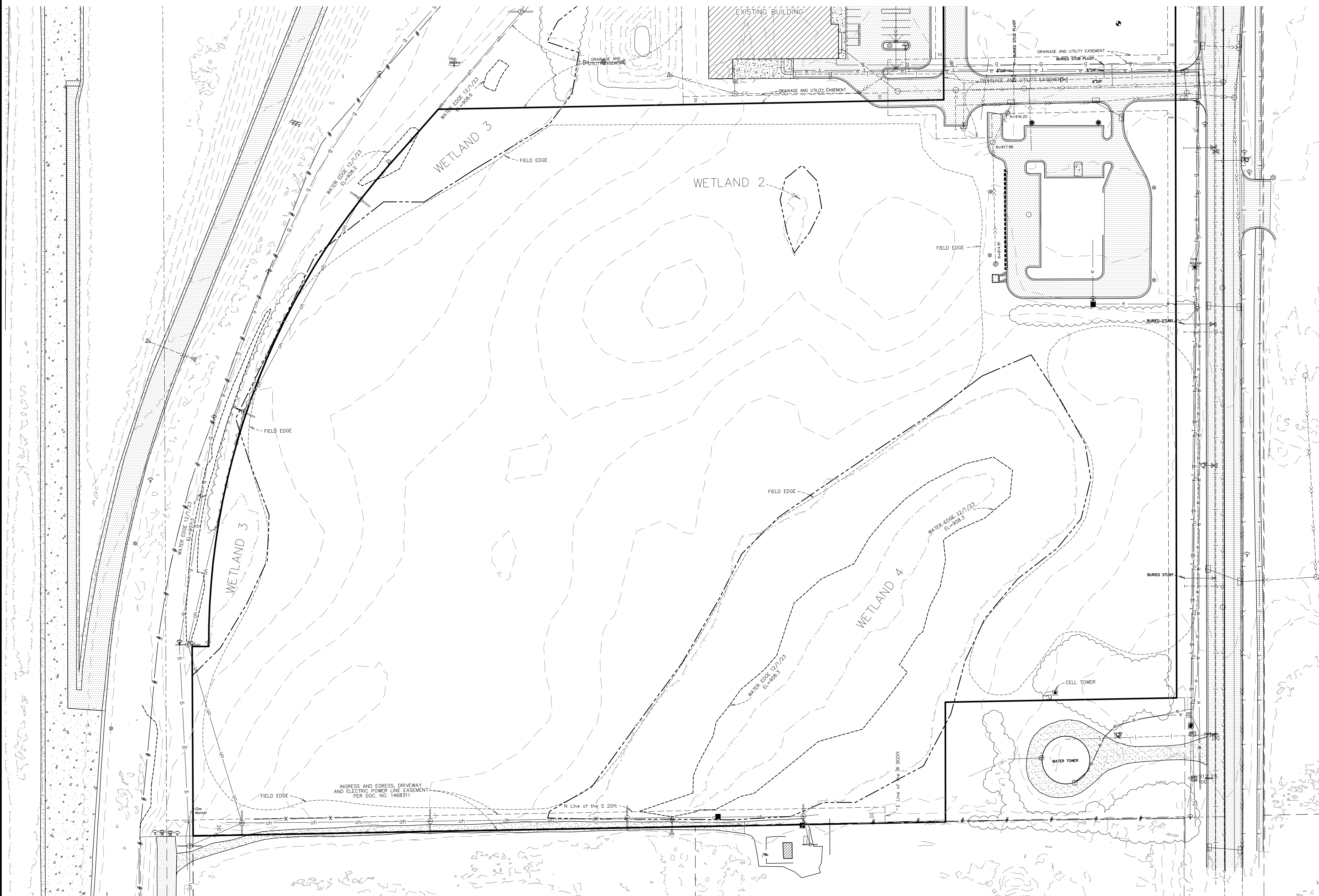
Date: 02-09-2026
 Designed: PIC
 Drawn: NJK/JLT

EXISTING CONDITIONS

TYME PROPERTIES
 3435 LABORE ROAD SUITE 150
 VADNAIS HEIGHTS, MN 55110

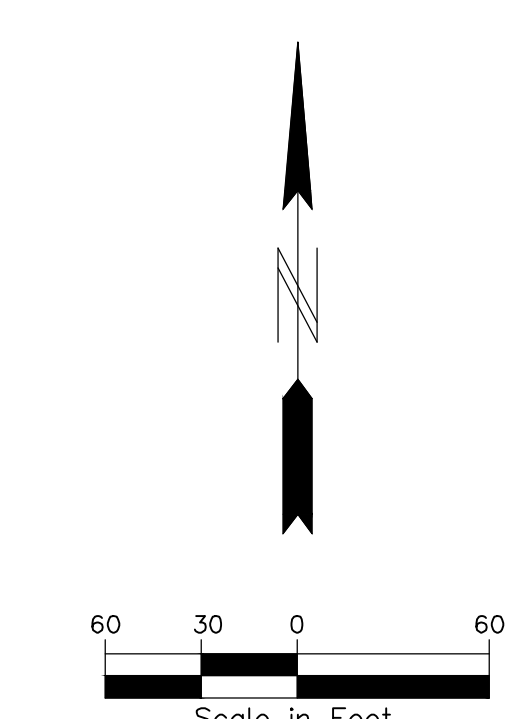
OTTER CROSSING SOUTH 2ND ADD.
 LINO LAKES, MINNESOTA

2.00 OF 19



SECTION 24, TWP. 31, RGE. 22
 ANOKA COUNTY, MINNESOTA
 LOCATION MAP
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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor under the laws of the State of Minnesota

Name: Peter J. Hawkins
 Reg. No.: 42299 Date: 02-09-2026

Revisions:
 1. 02-10-2026 City Comments

Date: 02-09-2026
 Designed: PIC
 Drawn: NJK, JLT

EXISTING CONDITIONS

TYME PROPERTIES
 3435 LABORE ROAD SUITE 150
 VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
 LINO LAKES, MINNESOTA

2.01 OF 19



COMMERCIAL

COMMERCIAL

COMMERCIAL

MAIN STREET

I-35E

COMMERCIAL

INDUSTRIAL

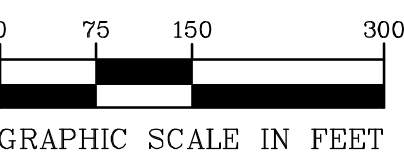
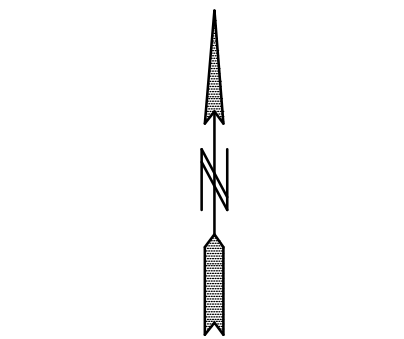
INDUSTRIAL

COMMERCIAL

INDUSTRIAL

COMMERCIAL

INDUSTRIAL



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Name: Jennifer L. Thompson
Reg. No.: 44763
Date:

Revisions

Date: 2-9-2026
Designed: JLT
Drawn: JLT

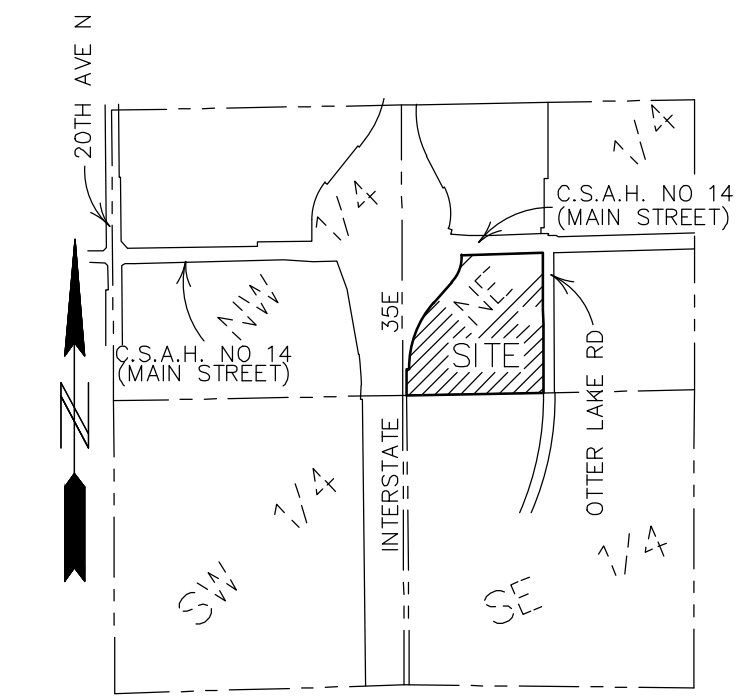
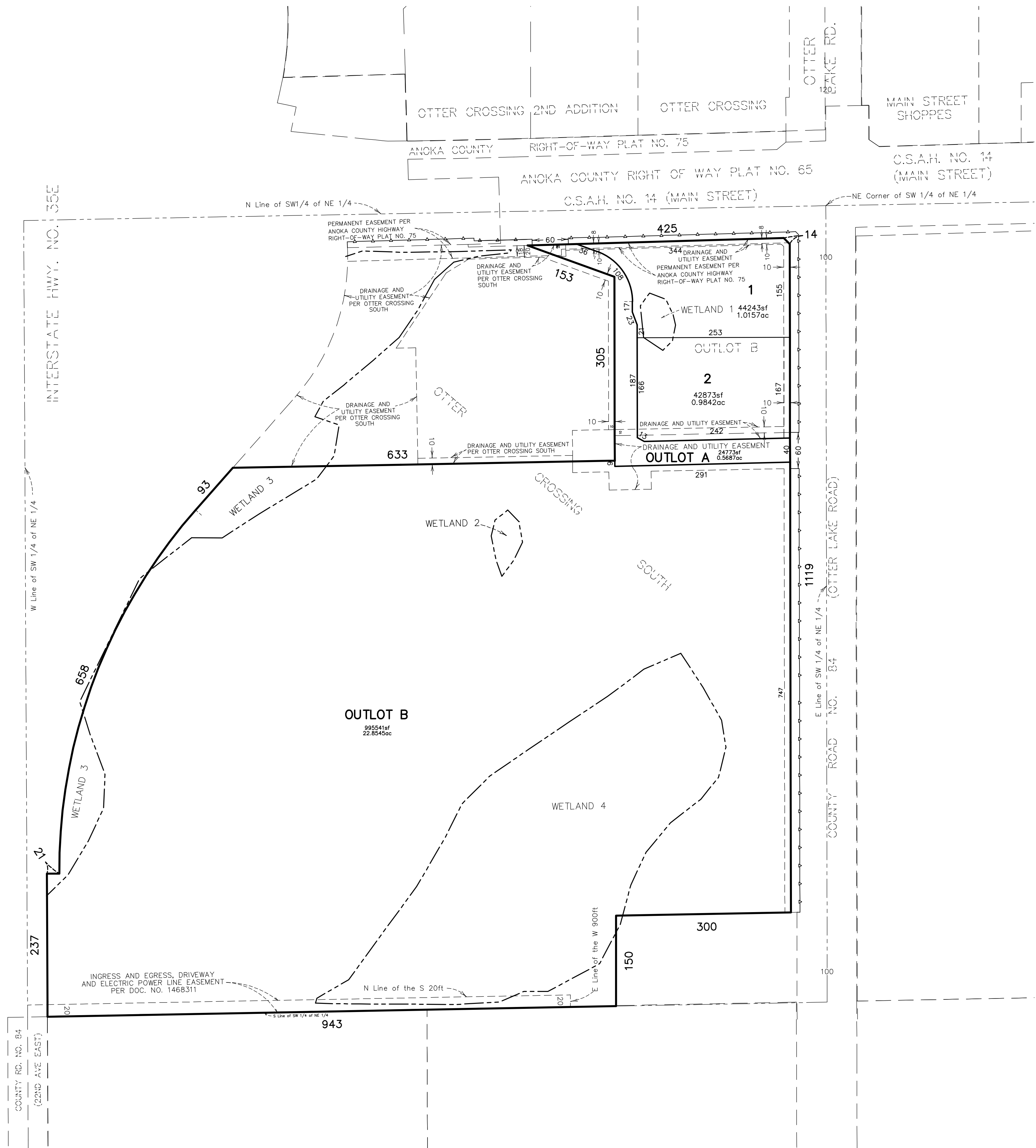
NEIGHBORHOOD LAND USE PLAN

TYME PROPERTIES
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH
LINO LAKES, MINNESOTA

2.20 OF 19

ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 75



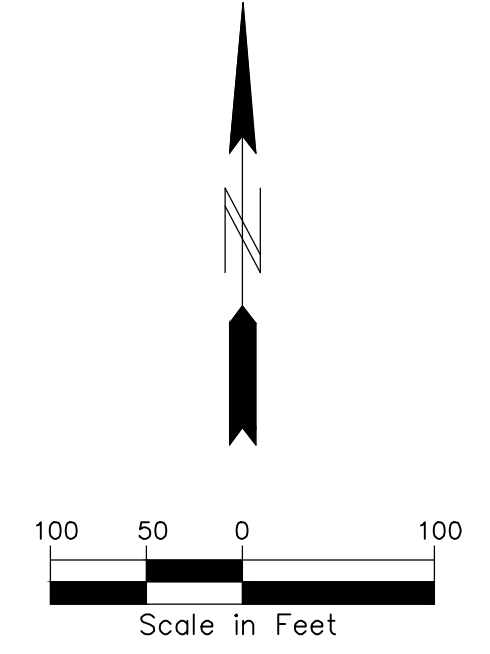
SECTION 24, TWP. 31, RGE. 22
ANOKA COUNTY, MINNESOTA
LOCATION MAP
NO SCALE

DENOTES EASEMENTS TO BE VACATED
 DENOTES RESTRICTED ACCESS

ZONING INFORMATION
2040 Comprehensive Land Use is commercial
Zoning is GB, General Business

LEGAL DESCRIPTION FOR PRELIMINARY PURPOSES ONLY
OUTLOT A, AND OUTLOT B, OTTER CROSSING SOUTH, according to the recorded plat thereof, Anoka County, Minnesota.

NUMBER OF LOTS	2
NUMBER OF OUTLOTS	2
TOTAL LOT AREA	1.9999 ACRES
TOTAL OUTLOT AREA	23.4232 ACRES
TOTAL WETLAND AREA	5.01 ACRES
TOTAL GROSS AREA	25.4231 ACRES



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Name: Peter J. Hawkinson
Reg. No.: 42299
Date: 02-09-2026

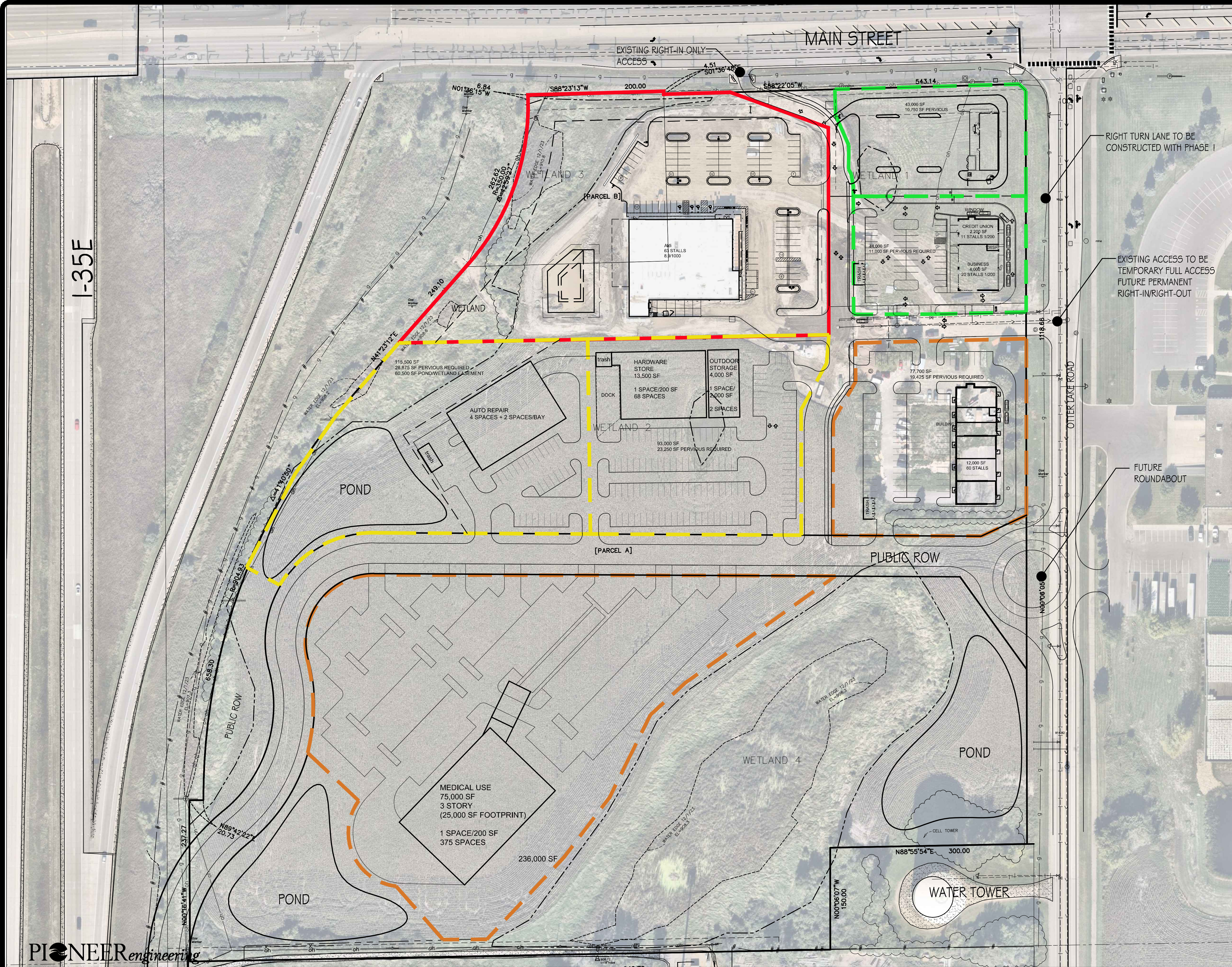
Revisions:
1. 02-10-2026 City Comments

Date: 02-09-2026
Designed: PIC
Drawn: NJK/JLT

PRELIMINARY PLAT

TYME PROPERTIES
3435 LABORE ROAD SUITE 150
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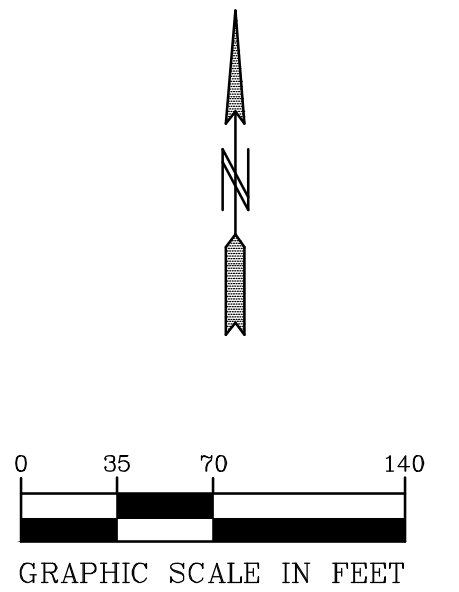
OTTER CROSSING SOUTH 2ND ADD.
LINO LAKES, MINNESOTA



GENERAL BUSINESS ZONING STANDARDS:

- AREA: 20,000 SF
- WIDTH: 100'
- SETBACK FROM MAJOR COLLECTOR OR ARTERIAL: 40'
- SETBACK FROM LOCAL OR MINOR COLLECTOR: 30'
- PARKING LOT SETBACK FROM PUBLIC STREET ROW: 15'
- REAR LOT LINE SETBACK:
 - 30' PRINCIPAL BUILDING
 - 10' PARKING
 - 10' ACCESSORY BUILDING
- SIDE LOT LINE SETBACK:
 - 10' PRINCIPAL BUILDING, PARKING, AND ACCESSORY BLDG
- BETWEEN PRINCIPAL BUILDINGS: 1/2 SUM OF THE TWO BUILDING HTS.
- MAXIMUM IMPERVIOUS: 75%

- ALDI PHASE 1
- PHASE 2
- PHASE 3
- FUTURE PHASES



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Name: Jennifer L. Thompson
Reg. No.: 44763
Date:

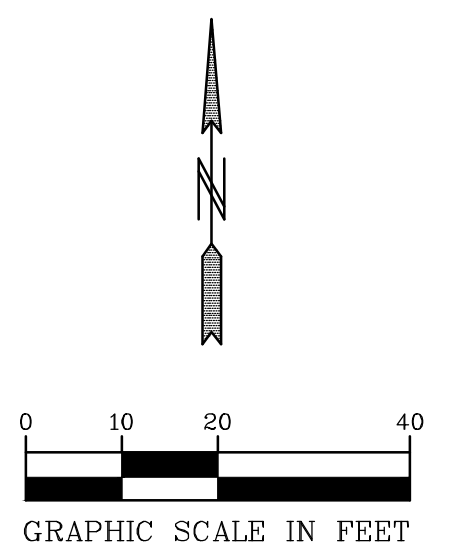
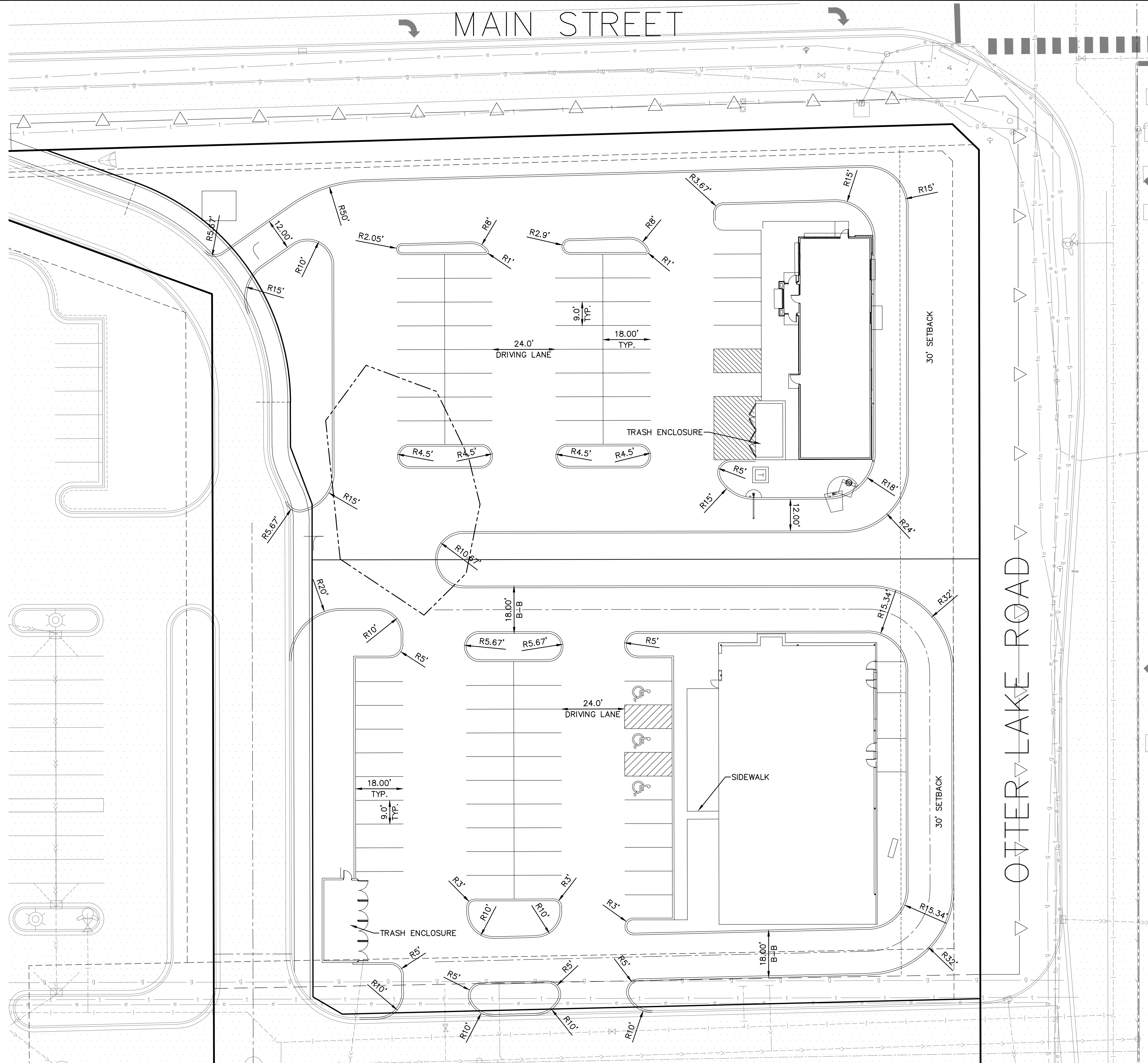
Revisions:
Date: 2-9-2026
Designed: JLT
Drawn: JLT

MASTER PLAN

TYME PROPERTIES
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH
LINO LAKES, MINNESOTA

2.40 OF 19



BENCH MARK
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 370 FT. NORTH OF MAIN STREET
 EL=920.47 NVGD88(DATUM)
 02-ENG-119015-SHEET-SITE

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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Name: *Paul J. Cherm*
 Paul J. Cherm
 Reg. No. 19860 Date 02-09-2026

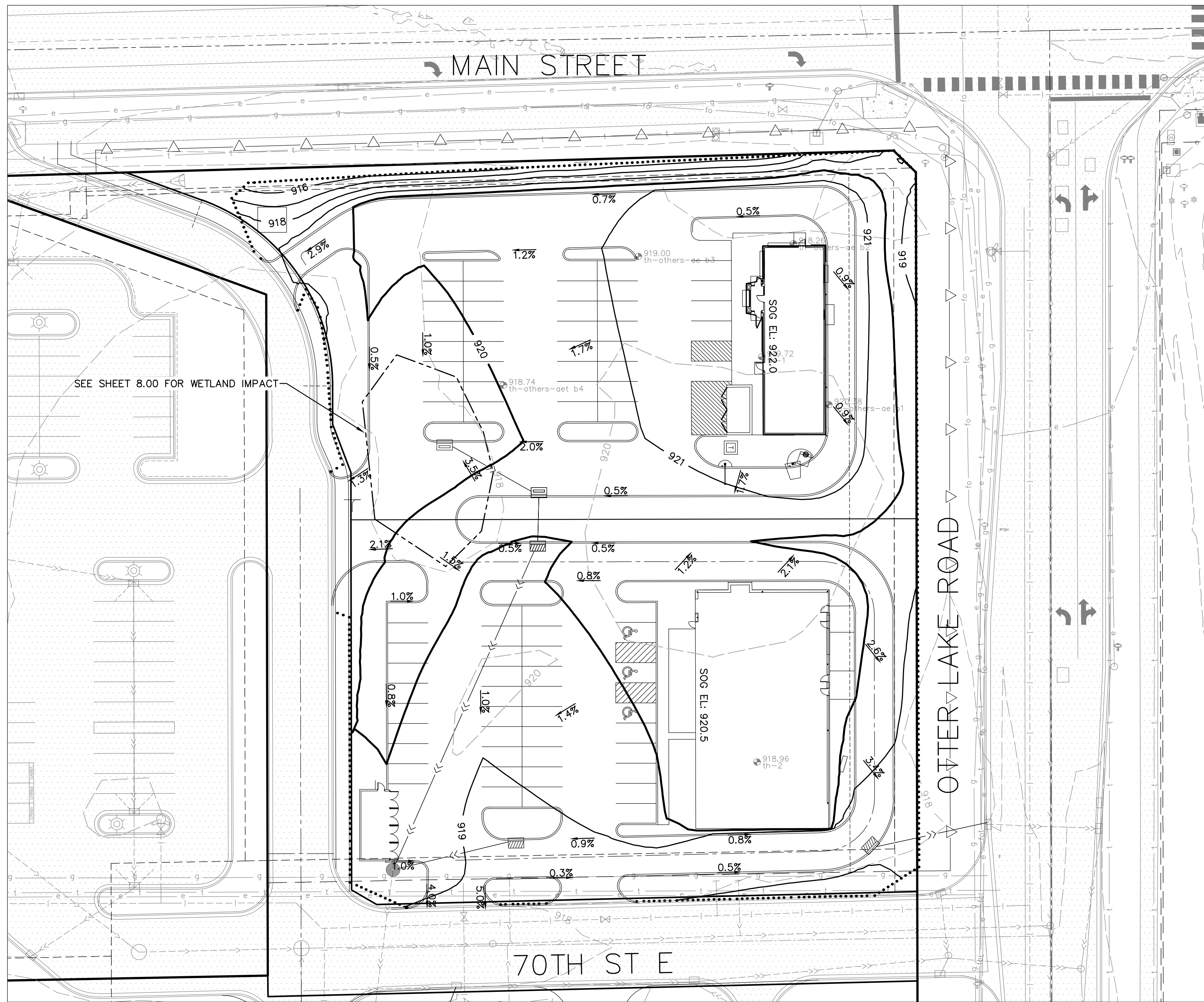
Revisions
 1. 02-10-2026 City Comments

Date 02-09-2026
 Designed PIC
 Drawn NJK/JLT

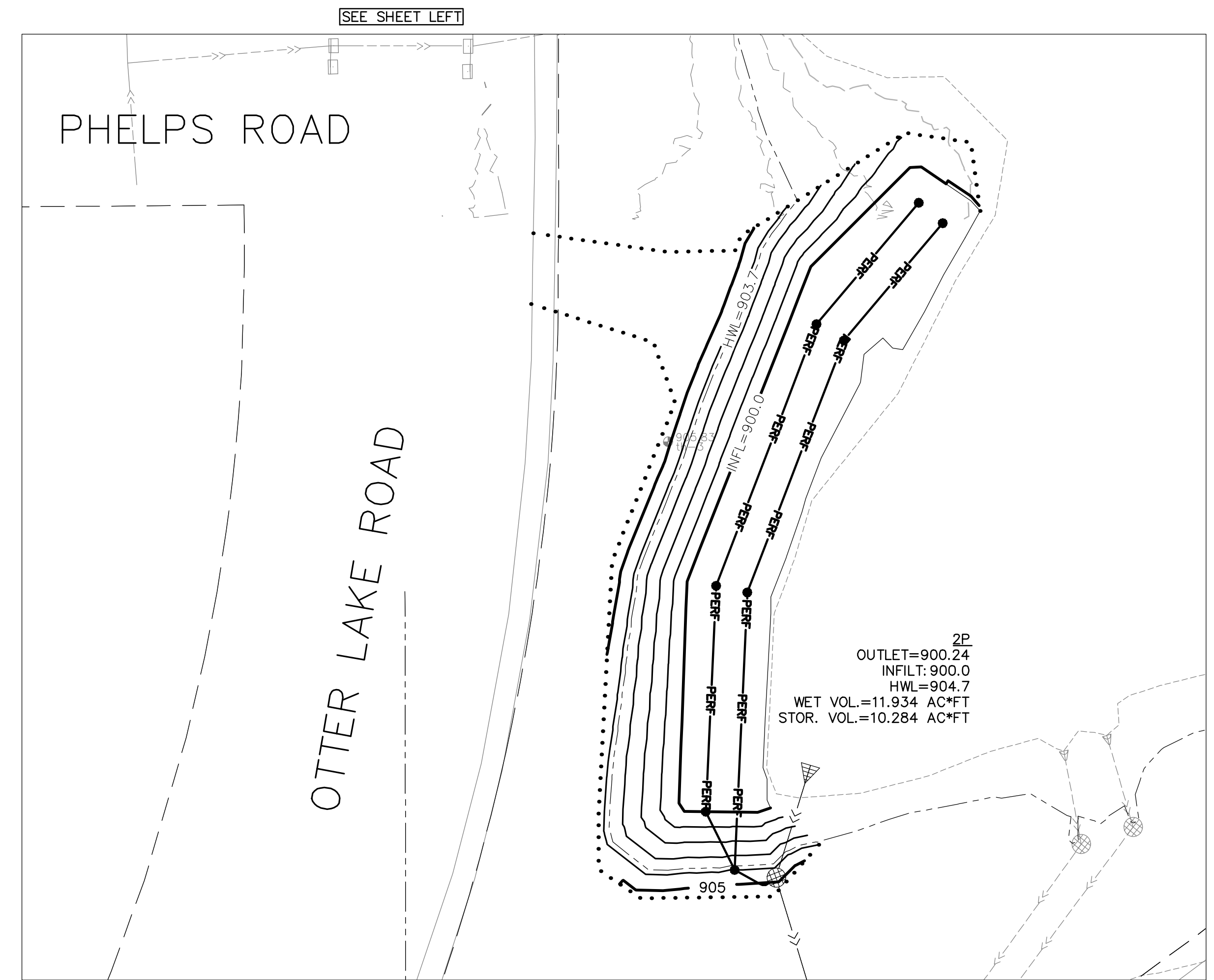
PRELIMINARY SITE PLAN

TYME PROPERTIES
 3435 LABORE ROAD SUITE 150
 VADNAIS HEIGHTS, MN 55110

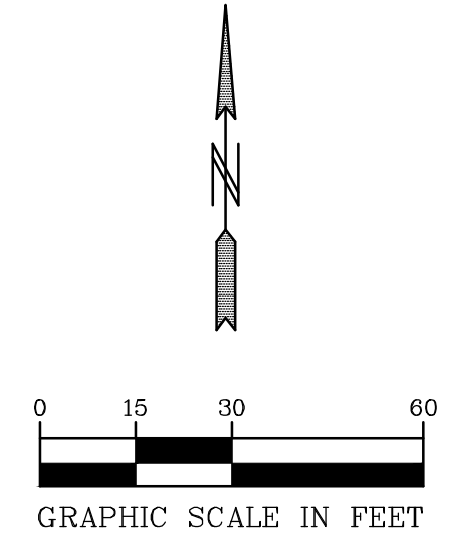
OTTER CROSSING SOUTH 2ND ADD.
 LINO LAKES, MINNESOTA



SEE SHEET RIGHT



EXISTING POND EXTENSION



BENCH MARK
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 OTTER LAKE ROAD & PRIVATE DRIVE
 370 FT. NORTH OF MAIN STREET
 EL=920.47 NVGD88(DATUM)
 02-ENG-119015-SHEET-GRAD

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 Name: *Paul J. Cherm*
 Paul J. Cherm
 Reg. No. 19860 Date 02-09-2026

Revisions
 1. 02-10-2026 City Comments

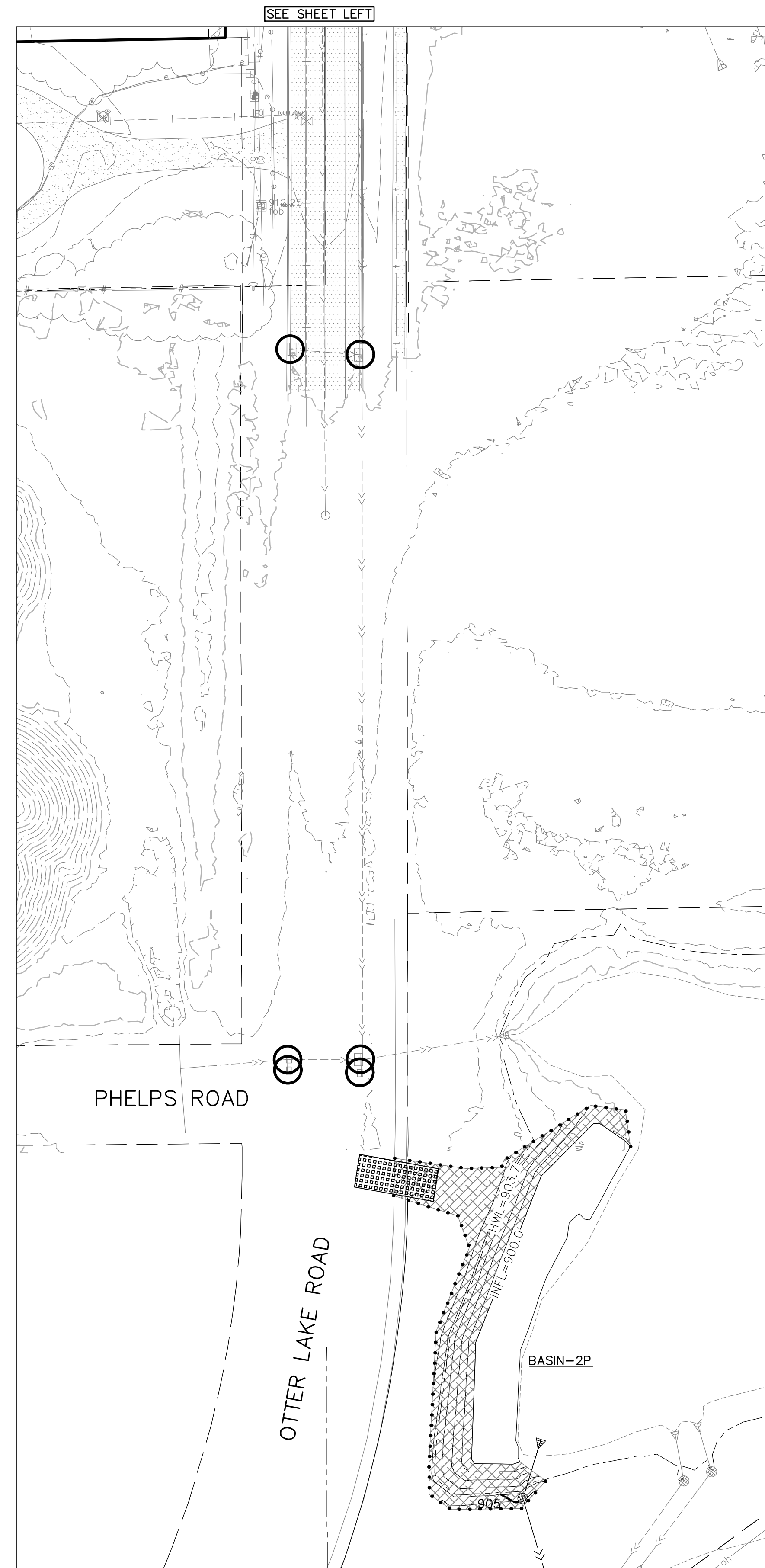
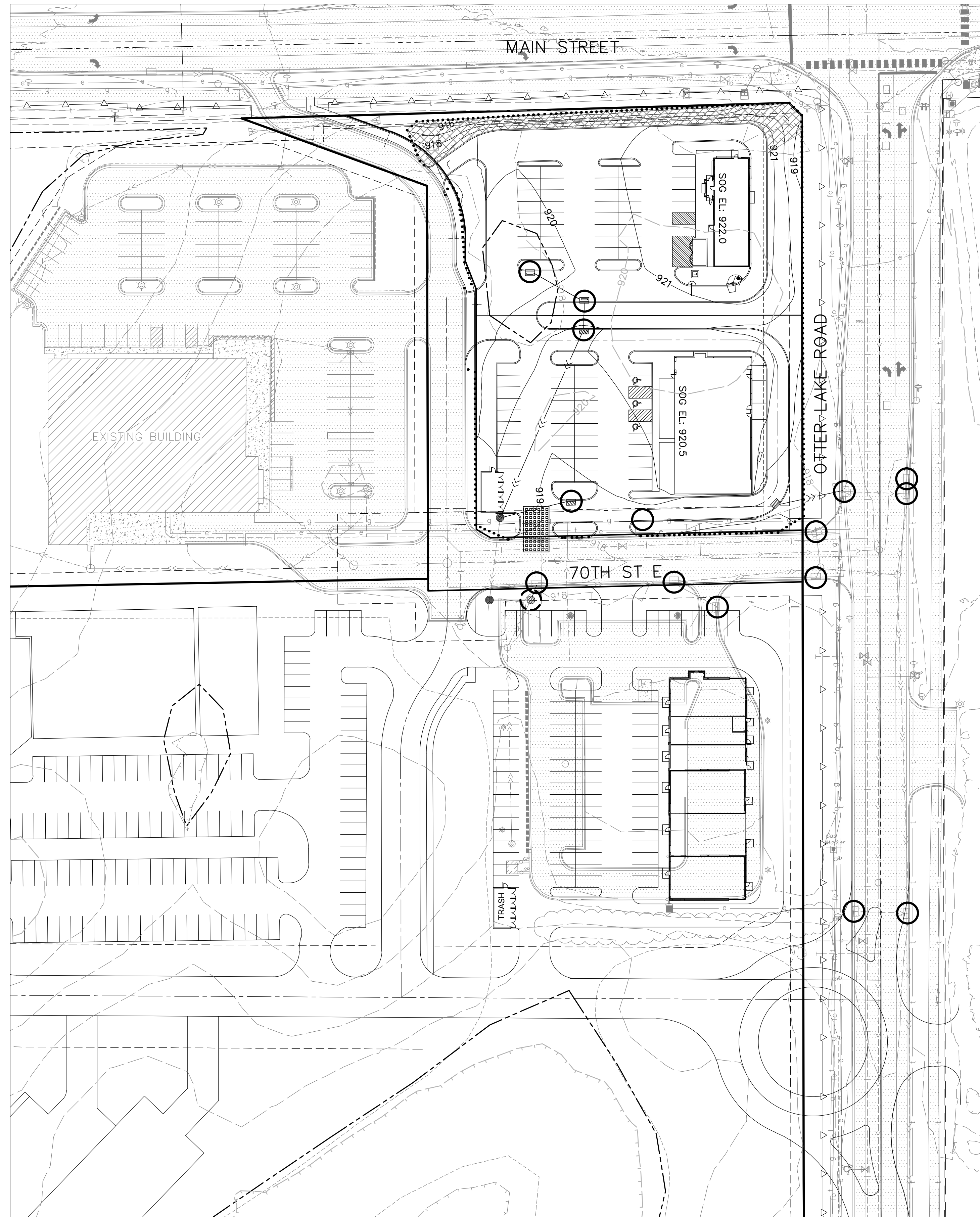
Date 02-09-2026
 Designed PIC
 Drawn NJK/JLT

PRELIMINARY GRADING PLAN

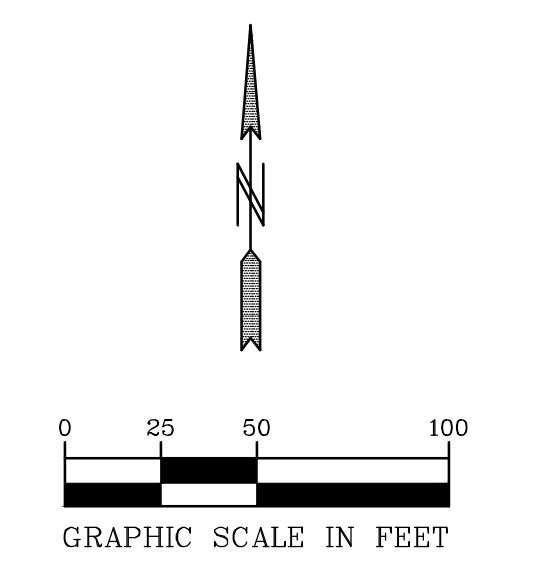
TYME PROPERTIES
 3435 LABORE ROAD SUITE 150
 VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
 LINO LAKES, MINNESOTA

4.00 OF 19



- LEGEND**
- ROCK CONSTRUCTION ENTRANCE
INSTALL BEFORE START OF GRADING
 - PERIMETER EROSION CONTROL FENCE.
INSTALL BEFORE START OF GRADING
 - HEAVY DUTY SECONDARY EROSION CONTROL
FENCE TO BE INSTALLED 48 HOURS AFTER
COMPLETION OF GRADING.
 - CAT 20 BLANKET FROM BACK OF CURB
TO ROW TO BE INSTALLED AFTER
COMPLETION OF SIDEWALK CONSTRUCTION.
 - BASIN ACCESS 7% SLOPE MAX.
 - SUMPED RIP RAP PERMANENT ENERGY
DISSIPATER, INSTALL WITHIN 24 HOURS
AFTER CONNECTION TO A SURFACE WATER.
 - CATCH BASIN INLET PROTECTION
TO BE INSTALLED AFTER 1ST LIFT
OF BITUMINOUS.
 - CATCH BASIN INLET PROTECTION
TO BE INSTALLED WITH CATCH
BASIN GRATE.
 - STRAW BIO ROLLS. INSTALL WITHIN 7 DAYS
OF GRADING COMPLETION OR BEFORE 1ST
RAINFALL EVENT WHICHEVER IS FIRST
 - ROCK BERM. INSTALL WITHIN 7 DAYS OF
GRADING COMPLETION OR BEFORE 1ST
RAINFALL EVENT WHICHEVER IS FIRST
 - MNDOT CAT 20 EROSION CONTROL BLANKET.
INSTALL WITHIN 7 DAYS OF GRADING
COMPLETION
 - STABILIZED EMERGENCY OVERFLOW



BENCH MARK
TOP NUT HYDRANT IN N.W. QUAD. OF
OTTER LAKE ROAD & PRIVATE DRIVE
370 FT. NORTH OF MAIN STREET
EL=920.47 NVGD88(DATUM)
02-ENG-119015-SHEET-EROS

SEE SHEET RIGHT

SEE SHEET LEFT

EXISTING POND EXTENSION

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2422 Enterprise Drive
Mendota Heights, MN 55120
(651) 681-1914
Fax: 681-9488
www.pioneereng.com

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Name: *Paul J. Cherm*
Paul J. Cherm
Reg. No. 19860 Date 02-09-2026

Revisions
1. 02-10-2026 City Comments

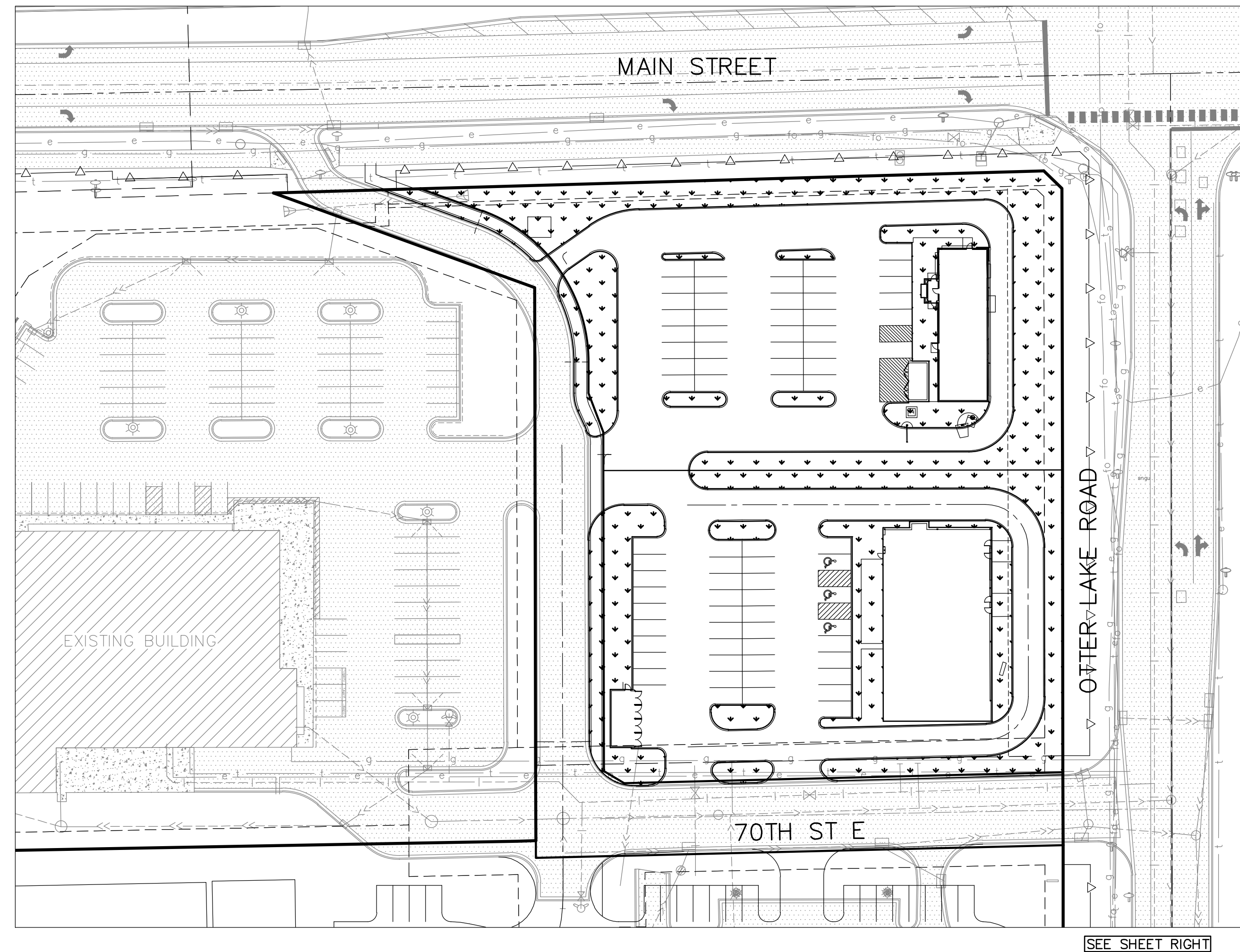
Date 02-09-2026
Designed PIC
Drawn NJK/JLT

PRELIMINARY EROSION CONTROL PLAN

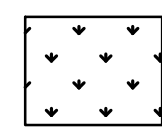
TYME PROPERTIES
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110

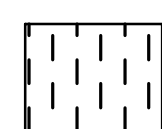
OTTER CROSSING SOUTH 2ND ADD.
LINO LAKES, MINNESOTA

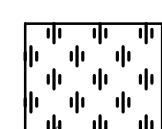
4.10 OF 19

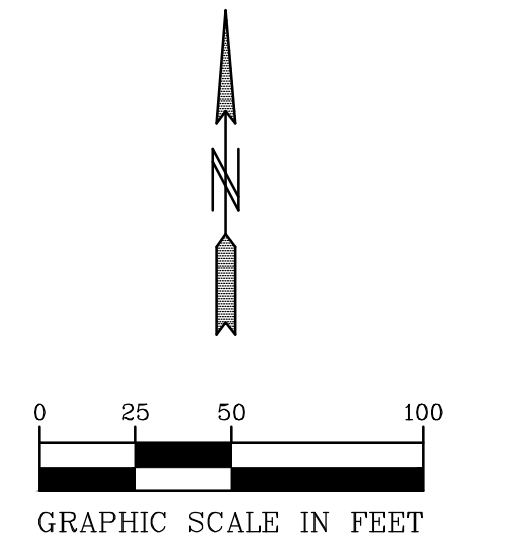


EXISTING POND EXTENSION

- 
 PERMANENT TURF RESTORATION SHALL BE DONE IN ACCORDANCE WITH MNDOT 2575 & 3876 CONSISTING OF:
 - MINNESOTA STATE SEED MIXTURE 25-141 (MESIC GENERAL ROADSIDE) AT 59 POUNDS PER ACRE.
 - MULCH SHALL BE MNDOT 3882, TYPE 1 @ 2 TONS PER ACRE OR APPROVED EQUAL AND DISK ANCHORED IN PLACE OR APPROVED EQUAL, INSTALLED TO MINIMUM 90% COVERAGE OF THE SURFACE AREA DISTURBED.
 - MNDOT 3881, TYPE 3 SLOW-RELEASE FERTILIZER, 22-5-10, MINIMUM 70% WATER-INSOLUBLE NITROGEN @ 350 LBS PER ACRE.

- 
 PERMANENT BASIN SEEDING SHALL BE DONE IN ACCORDANCE WITH MNDOT 2575 & 3876 CONSISTING OF:
 - WET BASIN BENCH/(IN)FILTRATION BASIN: MINNESOTA STATE SEED MIXTURE 33-261 (STORMWATER SOUTH AND WEST) AT 35 POUNDS PER ACRE.
 - ABOVE BASIN BENCH TO HIGH WATER LEVEL: MINNESOTA STATE SEED MIXTURE 35-241 (MESIC PRAIRIE GENERAL) AT 38.5 POUNDS PER ACRE.
 - MULCH SHALL BE MNDOT 3882, TYPE 3 @ 2 TONS PER ACRE OR APPROVED EQUAL AND DISK ANCHORED IN PLACE OR APPROVED EQUAL,
 - MNDOT 3881, TYPE 4 NATURAL-BASED FERTILIZER, 18-1-8 @ 120 LBS PER ACRE OR 17-10-7 @ 150 LBS PER ACRE

- 
 UPLAND/NATURAL AREA SEEDING SHALL BE DONE IN ACCORDANCE TO MNDOT 2575 & 3876; CONSISTING OF:
 - MINNESOTA STATE SEED MIXTURE 35-621 (DRY PRAIRIE SOUTHEAST) AT 11.0 POUNDS PER ACRE.
 - MULCH SHALL BE MNDOT 3882, TYPE 3 @ 2 TONS PER ACRE OR APPROVED EQUAL AND DISK ANCHORED IN PLACE OR APPROVED EQUAL,
 - MNDOT 3881, TYPE 4 NATURAL-BASED FERTILIZER, 18-1-8 @ 120 LBS PER ACRE OR 17-10-7 @ 150 LBS PER ACRE



BENCH MARK
 TOP NUT HYDRANT IN N.W. QUAD. OF
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 02-ENG-119015-SHEET-SEED

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 Name: *Paul J. Cherm*
 Paul J. Cherm
 Reg. No. 19860 Date 02-09-2026

Revisions
 1. 02-10-2026 City Comments

Date 02-09-2026
 Designed PIC
 Drawn NJK/JLT

PRELIMINARY SEEDING PLAN

TYME PROPERTIES
 3435 LABORE ROAD SUITE 150
 VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
 LINO LAKES, MINNESOTA

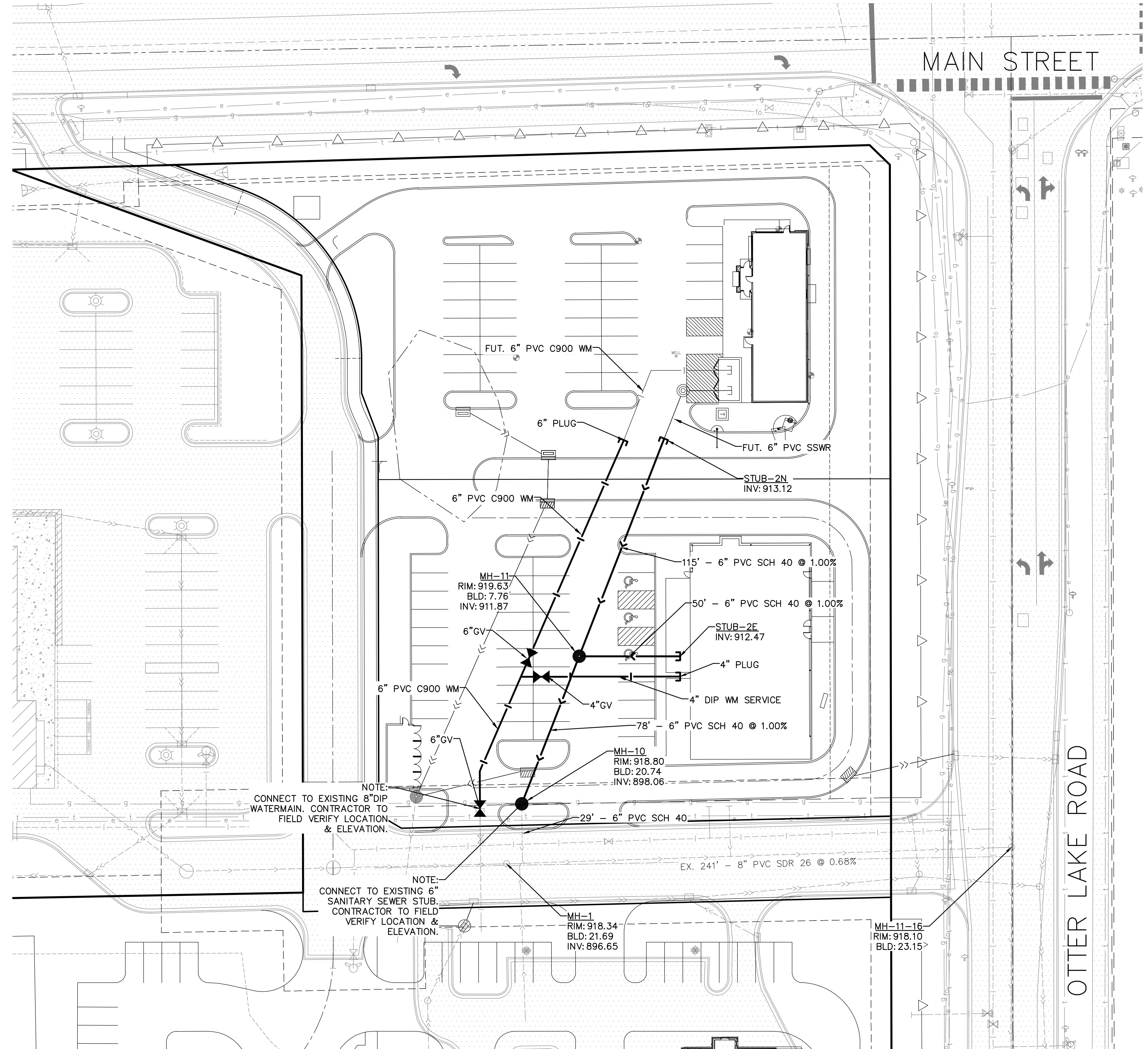
4.20 OF 19

SANITARY SEWER NOTES:

1. TRACER WIRE REQUIRED ON ALL NON-CONDUCTIVE MAINLINE PIPE, LATERALS, SERVICES, MANHOLES, CATCH BASINS, STUBS, UTILITY LOCATION BOXES AS REQUIRED BY THE SPECIAL PROVISIONS.

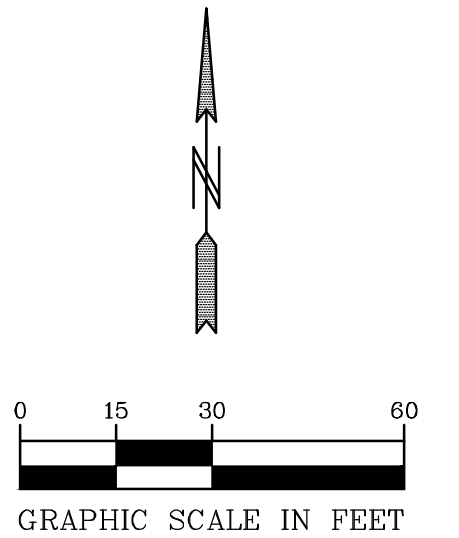
WATERMAIN NOTES:

1. ALL WATERMAIN SHALL BE PVC C900 UNLESS OTHERWISE NOTED.
2. ALL FITTINGS SHALL MEET AWWA C153 REQUIREMENTS.
3. TRACER WIRE REQUIRED ON ALL NON-CONDUCTIVE PIPE PER CITY SPEC.
4. WATERMAIN SHALL HAVE A MINIMUM OF 7.5 FEET OF COVER.



NOTE:
CONNECT TO EXISTING 8\"/>

NOTE:
CONNECT TO EXISTING 6\"/>



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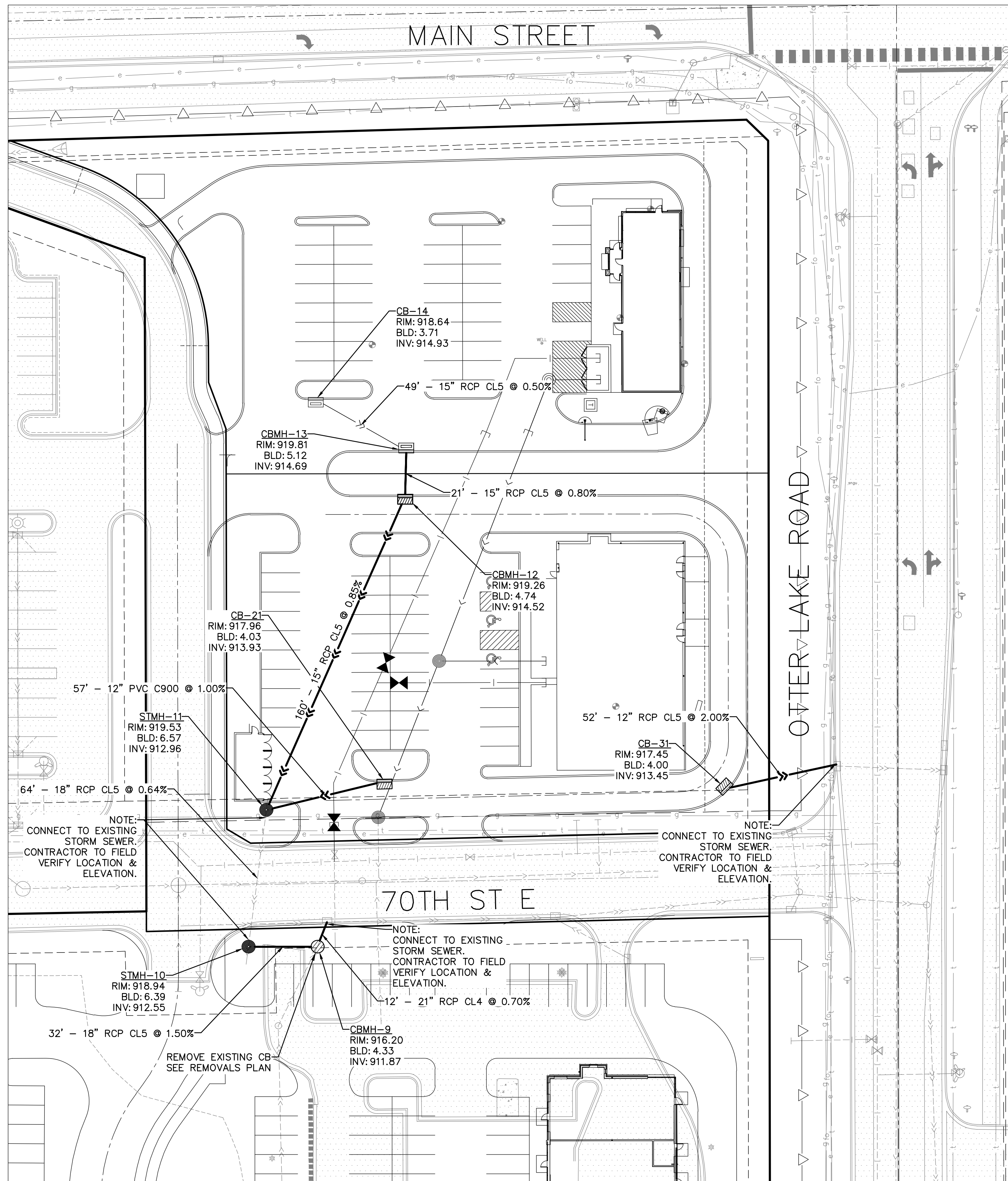
Date 02-09-2026
Designed PIC
Drawn NJK/JLT

PRELIMINARY SANITARY SEWER & WATERMAIN PLAN

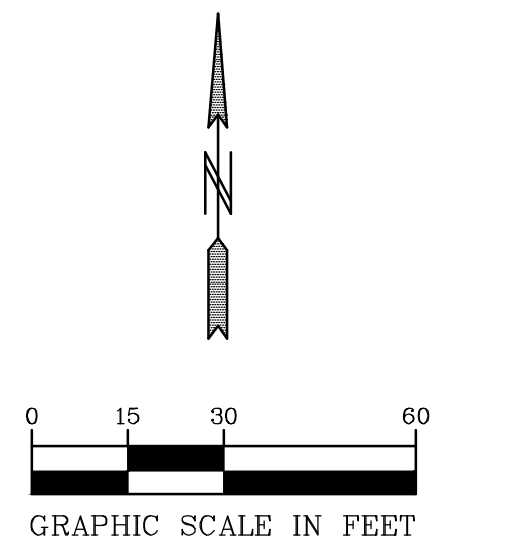
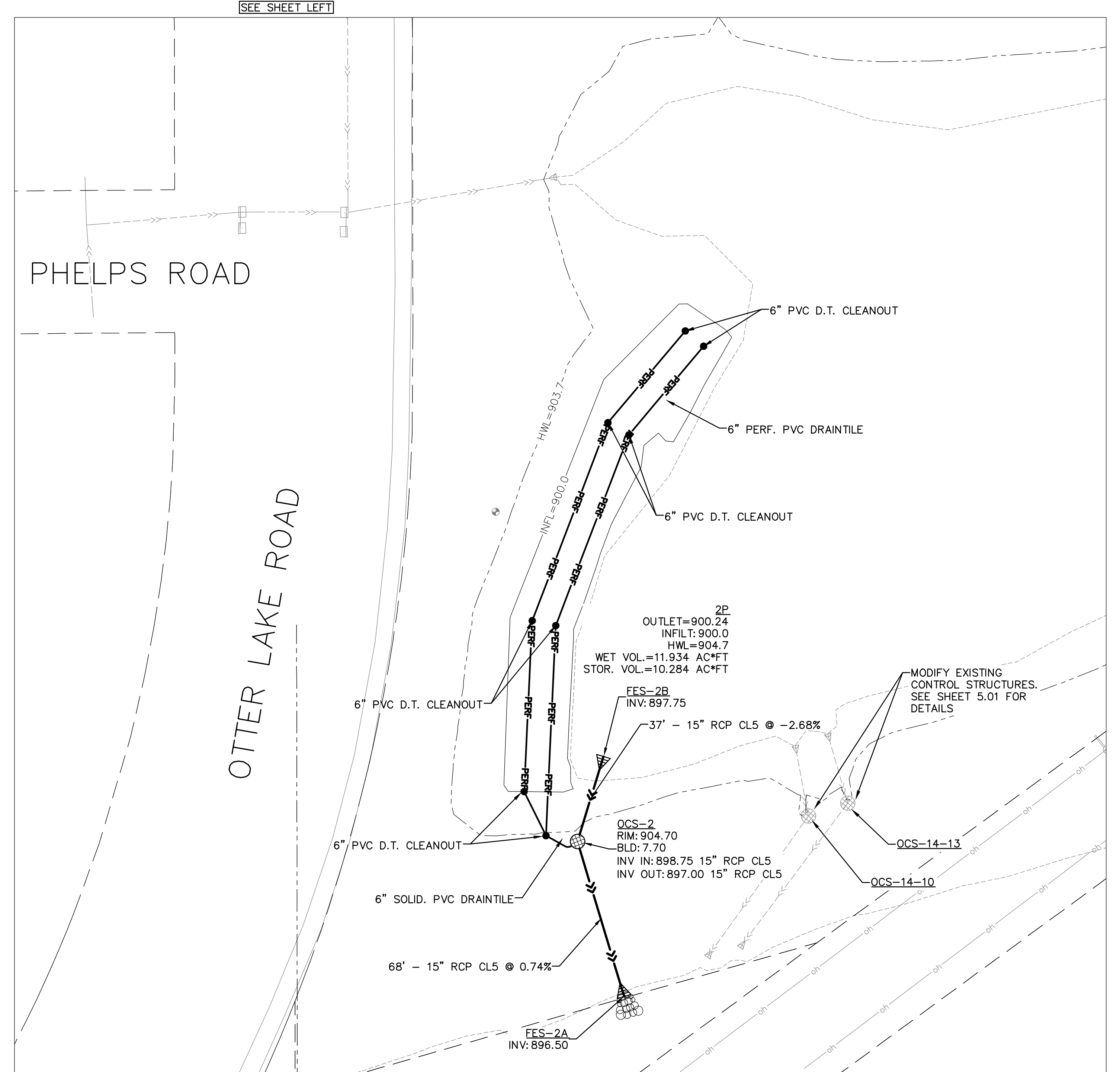
TYME PROPERTIES
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
LINO LAKES, MINNESOTA

6.00 OF 19



SEE SHEET RIGHT



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02-ENG-119015-SHEET-STRM

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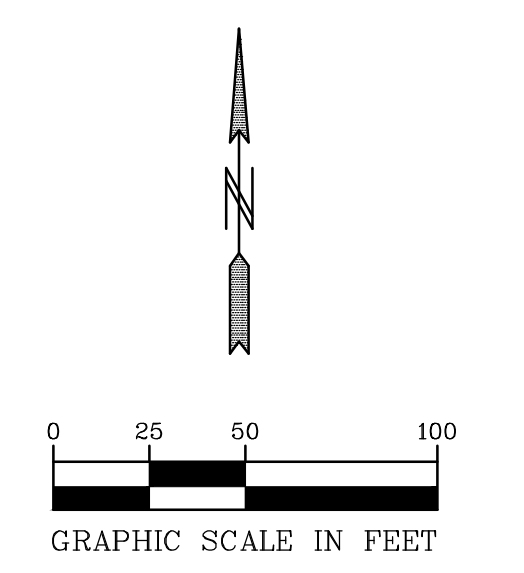
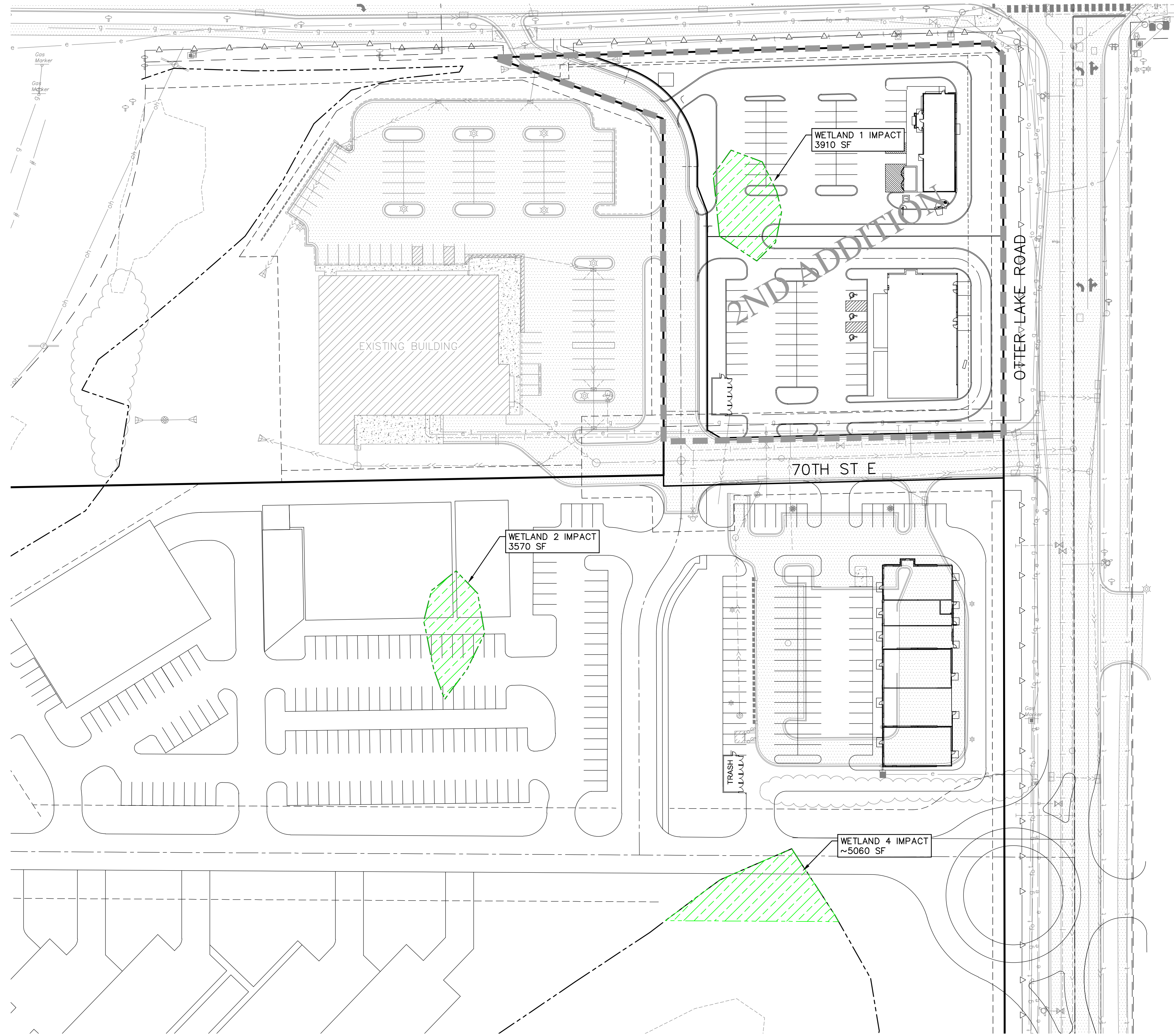
Date: 02-09-2026
Designed: PIC
Drawn: NJK/JLT

PRELIMINARY STORM SEWER PLAN

TYME PROPERTIES
3435 LABORE ROAD SUITE 150
VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
LINO LAKES, MINNESOTA

7.00 OF 19



BENCH MARK
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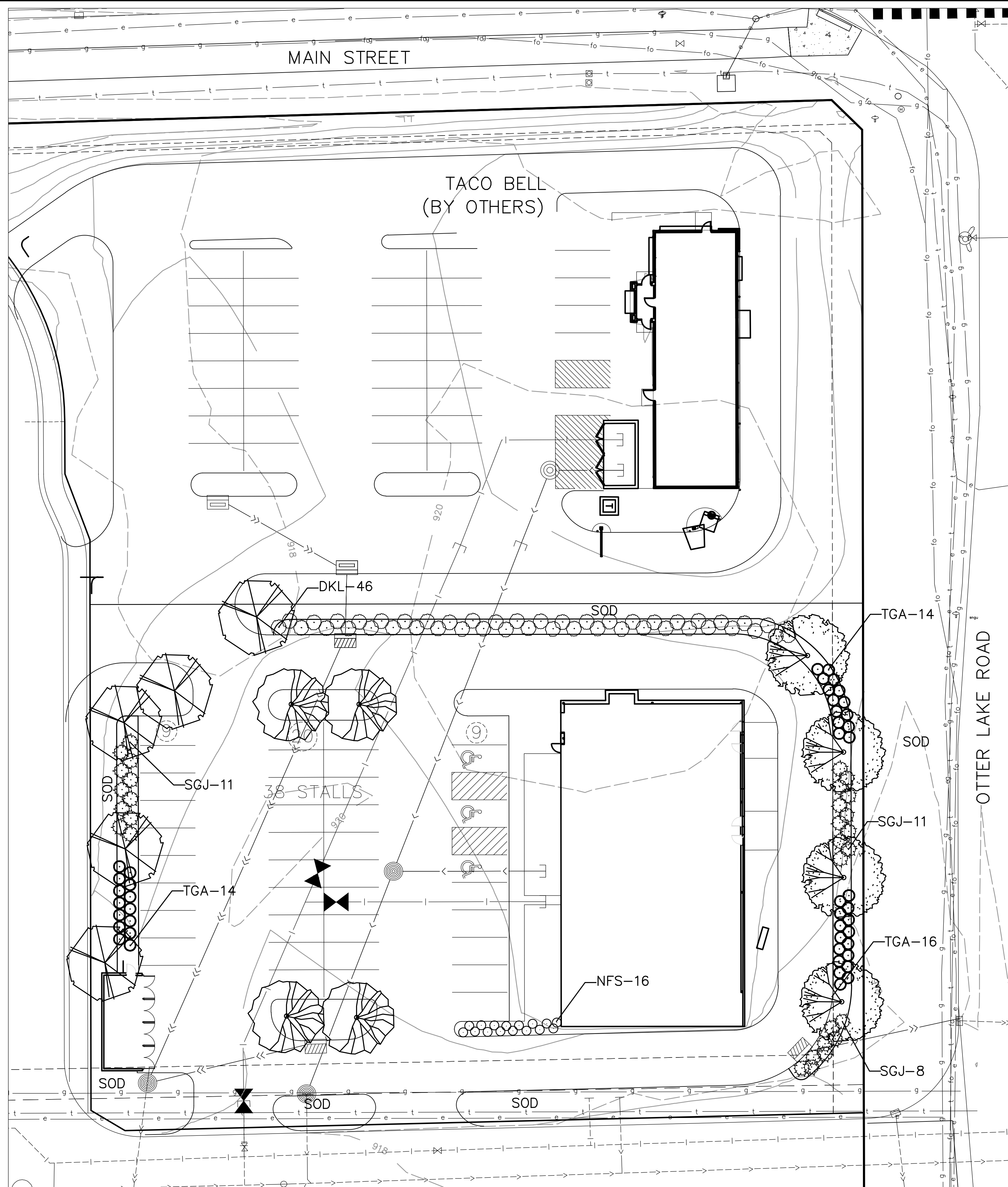
Revisions
 1. 02-10-2026 City Comments
 Date 02-09-2026
 Designed PIC
 Drawn NJK/JLT

PRELIMINARY WETLAND PLAN

TYME PROPERTIES
 3435 LABORE ROAD SUITE 150
 VADNAIS HEIGHTS, MN 55110

OTTER CROSSING SOUTH 2ND ADD.
 LINO LAKES, MINNESOTA

8.00 OF 19



PLANTING SCHEDULE

KEY	COMMON NAME/SCIENTIFIC NAME	ROOT	QUANTITY
OVERSTORY TREES			
⊗	THORNLESS HONEYLOCUST/GLEDITSIA TRIACANTHOS VAR INEMIS	2.5" B&B	5
⊗	NORTHWOOD MAPLE/ACER RUBRUM 'NORTHWOOD'	2.5" B&B	4
⊗	SENTRY LINDEN/TILIA AMERICANA 'SENTRY'	2.5" B&B	4
SHRUBS			
NFS	NEON FLASH SPIREA/SPIRAEA X BUMALDA 'NEON FLASH'	#3 POT	16
DKL	DWARF KOREAN LILAC/SYRINGA MEYERI 'PALABIN'	#3 POT	46
SGJ	SEA GREEN JUNIPER/JUNIPERUS CHINENSIS 'SEA GREEN'	#3 POT	30
TGA	TECHNY GLOBE ARBORVITAE/THUJA OCCIDENTALIS 'TECHNY GLOBE'	#3 POT	44

CITY LANDSCAPE REQUIREMENTS

40% OF VEHICULAR HARDSCAPE COVERAGE WITH CANOPY

VEHICULAR HARDSCAPE: 22,950 SQ FT
40% REQUIREMENT=9,180 SQ FT

ASSIGNED CANOPY COVER VALUE:
OVERSTORY TREE IN ISLANDS: 950 SF
OVERSTORY TREES WITHIN 7' OF PARKING LOT: 600'

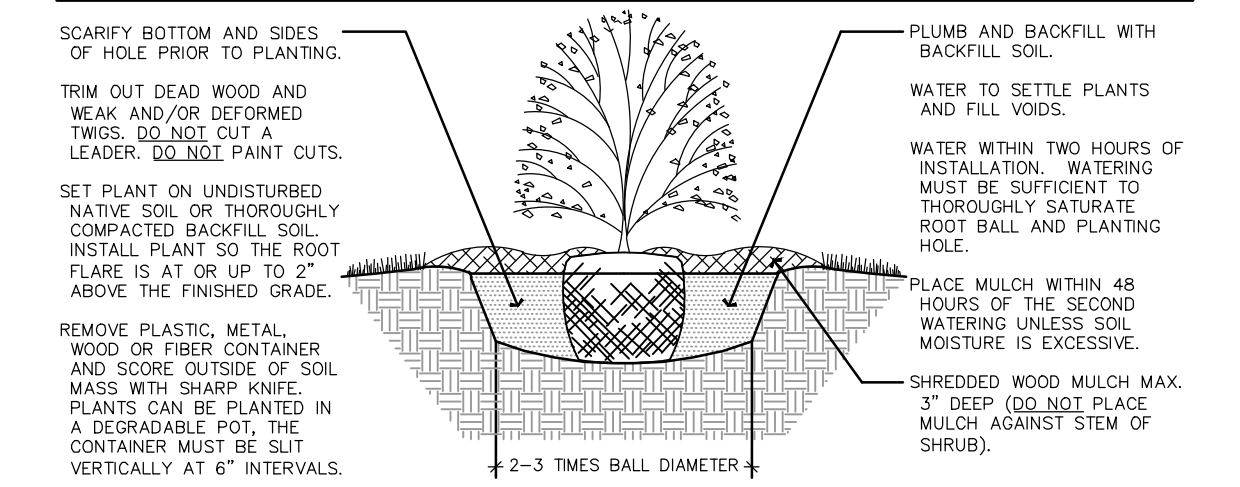
11 OVERSTORY TREES PROPOSED: 9,200 SF
4 ISLAND TREES: 3,800 SF
9 TREES WITHIN 7' OF PARKING LOT: 5,400 SF

LANDSCAPE SCREENING BETWEEN PARKING LOT AND RIGHT OF WAY. CREATE A CONTINUOUS SCREEN AT A HEIGHT OF 30". DOUBLE ROW OF PLANTS WITH TRIANGULATED SPACING.

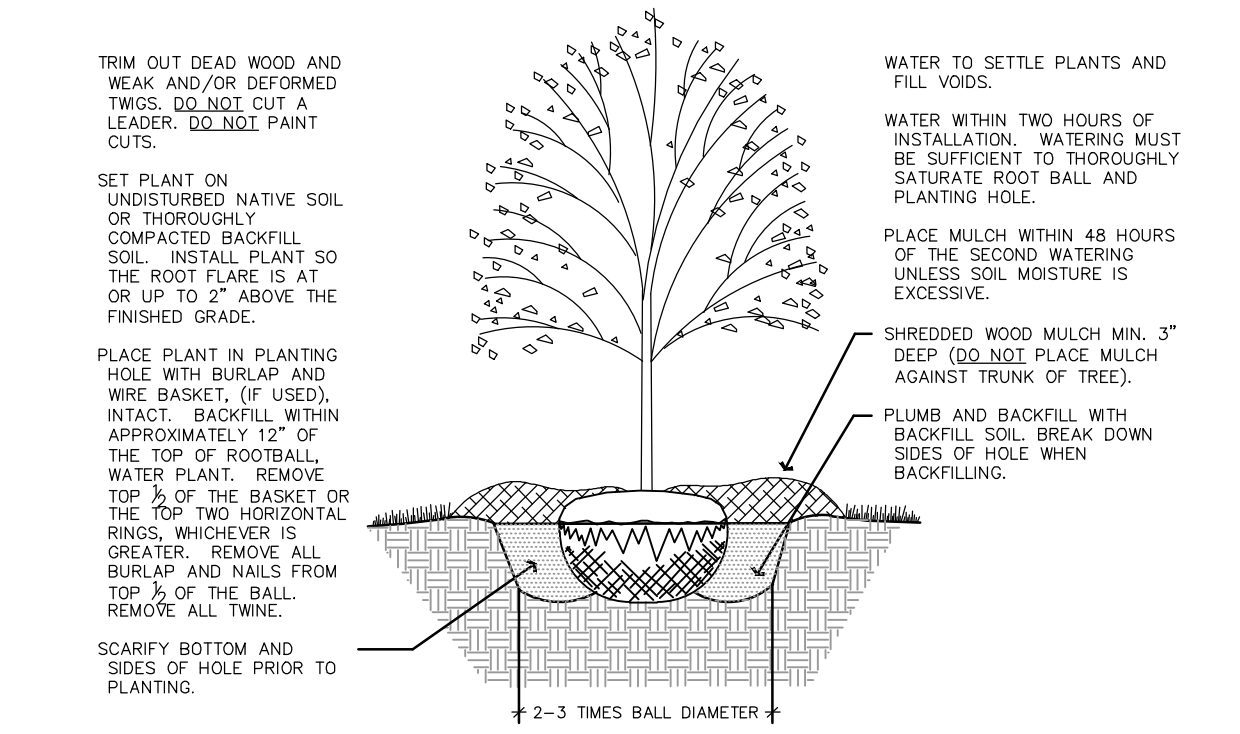
NOTES:

1. PLANTING BEDS THAT ABUT SOD SHALL BE EDGED WITH STEEL EDGER
2. PLANTING BEDS TO BE MULCHED WITH 1.25-1.5" RIVER ROCK TO A DEPTH OF 3"
3. RIVER ROCK LAID OVER FIBER MAT WEED BARRIER
4. SODDED AREAS AS NOTED ON PLAN TO BE IRRIGATED.
5. SOD USED BETWEEN PLANTING BEDS AND ADJACENT STREET CURBS.
6. IRRIGATION DESIGNED BY OTHERS.

SHRUB PLANTING DETAIL



DECIDUOUS TREE PLANTING DETAIL



LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF PROPOSED PHYSICAL START DATE AT LEAST 7 DAYS IN ADVANCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING UTILITY LOCATIONS ON THE PROJECT SITE WITH Gopher State One Call 1-800-252-1166 PRIOR TO COMMENCING WORK. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF EXISTING UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- GRADING TO BE PERFORMED BY OTHERS.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS FOUND IN THE AMERICAN ASSOCIATION OF NURSERMEN-AMERICAN STANDARD FOR NURSERY STOCK.
- ALL CONTAINER MATERIAL TO BE GROWN IN THE CONTAINER A MINIMUM OF SIX (6) MONTHS PRIOR TO PLANTING ON SITE.
- DECIDUOUS AND CONIFEROUS TREES SHALL NOT BE STAKED, BUT THE LANDSCAPE CONTRACTOR MUST GUARANTEE STABILITY TO A WIND SPEED OF 60 M.P.H.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM GUARANTEE OF ONE YEAR ONE TIME REPLACEMENT ON NEW PLANT MATERIALS. GUARANTEE SHALL BE AGREED UPON BY DEVELOPER/BUILDER AND LANDSCAPE CONTRACTOR.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING OR AFTER INSTALLATION.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER SHOWN ON THE PLANT LIST, THE NUMBER SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE WORK SHOWN ON THE PLAN. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE PLANT SCHEDULE.
- COMMERCIAL GRADE POLY LAWN EDGING SHALL BE INSTALLED WHERE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO THE SITE CAUSED BY THE PLANTING OPERATION AT NO COST TO THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL KEEP PAVEMENTS CLEAN UNSTAINED. ALL PEDESTRIAN AND VEHICLE ACCESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL WASTES SHALL BE PROMPTLY REMOVED FROM THE SITE. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS AND PERMITS GOVERNING THE WORK.
- STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.

Memorandum

To: Katie Larsen, Lino Lakes City Planner

From: Diane Hankee PE, Lino Lakes City Engineer

Date: March 4, 2026

**Re: Otter Crossing South 2nd Addition
Preliminary Plat Review
033423-000**

WSB reviewed the Preliminary Plat submittal for the Otter Crossing South 2nd Addition site in Lino Lakes, MN, received February 9, 2026. The site is 3.80 acres and located off 70th Avenue and Otter Lake Road. Comments were made on the following documents:

- Otter Crossing South 2nd Addition – Preliminary Plat submittal prepared by Pioneer, dated February 10, 2026, received February 10, 2026.
- Traffic Study – Lino C Development prepared by S² Traffic Solutions, February 16, 2024, received February 10, 2025.

The following review comments should be responded to in writing by the applicant. There are additional redline comments on the preliminary plans that should be responded to as well. Not all redline comments are in the review memo.

Engineering

- **General**

The Otter Crossing South 2nd commercial development proposes to create two (2) commercial lots from Outlot B of the original Otter Crossing South development and outlots the remaining area for access and future commercial development. A previously provided Master plan, which laid out an idea of how the remaining outlotted areas could be platted in the future, was updated.

- **Grading**

A grading and drainage plan was provided for the site including paved areas, curb, and expanding the existing pond. The level of detail was relatively minimal but provided a rough idea of how the future lots would be laid out and graded.

Comments:

1. Additional comments provided for the more detailed grading plans of the individual lots may require additional grading in the common developments areas outside the individual lots

- **Stormwater Management**

Stormwater management for the Otter Crossing South 2nd Addition development is proposing to use the existing City stormwater pond south and east of the project area to provide rate control and water quality treatment. There is a conservation easement for a wetland bank that exists over the existing City pond. Analysis includes a proposed City roundabout on Otter Lake Road south of 70th Street. Runoff will be routed via the existing storm sewer system along the roadway.

Future phases of development will provide onsite stormwater management. 2nd Addition flows ultimately discharge to the west for a small northern portion of the site and the rest discharges south to Clearwater Creek from the City pond.

Additional lots and a future roundabout in Otter Lake Road are included in the drainage area to the existing stormwater pond. These areas were included in the original study prepared by TKDA with 1998 Otter Lake Road improvement project. This pond has capacity to provide stormwater management for the development. The pond existing and proposed discharge rates are summarized below.

Pre- and Post- Development Discharge Rates (cfs)				
Condition	2-Year	10-Year	100-Year	10-Day Snowmelt
Existing - Creek	15.00	23.24	56.26	N/A
Proposed - Creek	10.35	13.66	40.14	N/A
Existing - West	5.59	10.15	27.00	N/A
Proposed - West	3.97	6.51	20.40	N/A
Existing – Southeast (wetland)	8.72	18.69	41.10	N/A
Proposed – Southeast (wetland)	8.72	18.69	41.10	N/A

Comments:

1. Clarify the extents of what will be constructed as part of the 2nd Addition and what will be constructed as part of the individual lot developments.
2. Applicant to verify through RCWD existing City pond use in the conservation easement, see below.
3. Per the 2024 RCWD rules, stormwater ponds designed in accordance with NURP criteria satisfy stormwater management requirements. The proposed filtration bench is not needed and should be removed to simplify future maintenance of Pond 2P.
 - a. While implied in the details, show the location of the proposed riprap-stabilized spillway for the pond in the plan view.
4. Without the proposed filtration bench, the new proposed outlet through OCS-2 shall be removed. Rate control should be achieved for the updated design via alterations to the existing outlet structures. The NWL of 900 must be maintained.
5. Applicant to confirm if storage curves of Pond 2P in HydroCAD are based on as-built or surveyed depths. If surveyed, include bathymetry linework in SWMP for verification.
6. Original permitted drainage areas and stormwater calculations for Pond 2P shall be included as an appendix to the SWMP.

7. Applicant to confirm the extent of runoff routed to Pond 2P in full buildout conditions of Otter Crossing South. Any proposed future runoff must be included in the stormwater calculations.
8. Pretreatment by way of sumped storm manhole or hydrodynamic separator at structure STMH-10 must be provided for flows leaving the private site.
9. HydroCAD modeling must use dynamic storage-indication (Dyn-Stor-Ind) routing to properly account for tailwater effects.
10. Existing pond maintenance and sediment removal to maintain original pond capacity should be included in the project plans. Outlet structures and modifications to the existing structures will need to meet current standards.

- **Water Supply**

Water for the platted commercial lots is proposed to be served by connecting to the existing 8" water service stubs on the north side of 70th Street. Service for Lot 1 will require extending across Lot 2.

Comments:

1. Easement will be required in favor of the Taco Bell site for utilities from the north side of 70th Street
2. Hydrant coverage to be reviewed by City Fire Official

- **Sanitary Sewer**

Sanitary sewer for the platted commercial lots is proposed to be served by connecting to the existing 6" sanitary sewer service stubs on the north side of 70th Street. Service for Lot 1 will require extending across Lot 2.

Comments:

1. Easement will be required in favor of the Taco Bell site for utilities from the north side of 70th Street

- **Transportation**

The current Otter Crossing South 2nd Addition proposes utilizing the existing 70th Street and north/south service roads while constructing additional accesses. The anticipated uses of the sites were accounted for in the traffic study and analysis conducted with the original overall development. 70th St at Otter Lake Road will become a right in / out in the future.

Comments:

1. Only one connection will be allowed to 70th Street on the north side and it will ultimately need to line up to a similar single connection on the south side
2. Clarify the extents of what will be constructed as part of the 2nd Addition and what will be constructed as part of the individual lot developments
3. Provide turning movements for emergency vehicles within the proposed sites

a. Emergency access to be reviewed by City Fire Official

- **Landscaping**

The City's Environmental Coordinator to review the landscape plan provided and offer additional in-depth comments.

- **Floodplain**

No floodplain impacts are proposed on site.

- **Drainage and Utility Easements**

No further easements are needed for stormwater facilities as there are none proposed onsite.

Comments:

1. Easement will be required in favor of the Taco Bell site for utilities from the north side of 70th Street

- **Development Agreement**

A Development Agreement will be required with the final plat.

- **Grading Agreement**

Grading agreement not required at this time.

- **Stormwater Maintenance Agreement**

The City pond will continue to be operated and maintained by the City of Lino Lakes as it currently is in existing conditions.

- **Permits Required**

1. NPDES General Construction Permit
2. City of Lino Lakes Zoning Permit for construction

If you or the applicant have any questions regarding these comments, please contact Kris Keller at (612) 419-3083 or kkeller@wsbeng.com. You may also contact Diane Hankee at (651) 982-2430 or dhankee@linolakes.us.



Environmental Memo

To: Katie Larsen, City Planner
From: Tom Hoffman, Environmental Coordinator
Date: February 25, 2026
Re: Environmental Comments – Otter Crossing South 2nd Addition Preliminary Plat

The Environmental Board recommended the following at their February 25, 2026 meeting:

1. Update Wetland Application Permit to only include proposed work to be completed with the second addition.
 - a. Current submittal shows impacts to three wetlands, two of which are not within Outlot B.
2. Recommend using native plantings or low maintenance turf as a replacement to traditional turf grass.
3. Foundation landscape requirements not currently being provided. Provide foundation plantings along building foundation that are adjacent to a private/public street.
4. Recommend planting a tree or landscaping adjacent to 70th Street adjacent to the proposed site.
5. Provide screening or planting on the backside of the trash enclosure to break up the outline of the enclosure.
6. Lot 1 to be reviewed with current submittal to meet all landscaping requirements.
7. Stormwater management to be confirmed and reviewed by city engineer.
 - a. Provide pretreatment of stormwater prior to discharging into the trunk storm sewer system.
 - b. 4' sumps should be proposed prior to the connection to the city system.
8. Photometric plan to be reviewed with each site to ensure it meets the city requirements.
9. Add note to BMP Maintenance that street sweeping of all impervious may be required at the discretion of the City engineer to reduce sediment tracking.
10. Copy of final NPDES permit will be required be issuance of grading permit. All requirements for the SWPPP shall meet MPCA design standards.

- a. Final review of erosion control will be completed with each proposed site plan review.



Anoka County

TRANSPORTATION DIVISION

Highway

Katie Larsen
City of Lino Lakes
600 Town Center Pkwy
Lino Lakes, MN 55014

February 12, 2026

RE: Preliminary Plat – Otter Crossing South 2nd Addition

Dear Katie,

We have reviewed the Preliminary Plat for Otter Crossing South 2nd Addition to be located south of CSAH 14 (Main Street) and west of CR 84 (Otter Lake Road) within the City of Lino Lakes, and I offer the following comments:

- The existing right of way along CSAH 14 is 75 feet south of centerline which should be sufficient for future reconstruction purposes. The existing right of way along CR 84 is 60 feet west of centerline.
- As proposed, the plat will not introduce any new access points onto CSAH 14 or CR 84 as both have an existing access. The right of access is dedicated to Anoka County in the proposed preliminary plat.
- 70th Street is currently open with full access and no restrictions. Maintaining 70th Street with full access is preferred in the interim and until the further development of this area occurs. In the future, when the Outlots of Otter Crossing are replatted and a new full-access point—potentially a roundabout—is proposed south of 70th Street, Anoka County will restrict access at 70th Street at CR 84 to right-in only. At that time, a new 120-foot access opening will be granted by Anoka County at the new location on CR 84.
- Internal site grading shall not commence until the requested ACHD Engineering plan approvals are received and the applicable permits can be issued.
- Any public or private utility relocation in the CSAH 14 or CR 84 right of way may be required and shall be coordinated directly by the city/developer. Any costs associated with the public or private utility relocations to meet standards, setbacks or other requirements shall be at the developers cost.
- Please note that no plantings or private signs will be permitted within the county right of way and care must be exercised when locating private signs, building, structures, plantings, berms, etc. outside of the county right of way, so as not to create any new sight obstructions for this section of CSAH 14 and CR 84.

Our Passion Is Your Safe Way Home

1440 Bunker Lake Boulevard N.W. ▲ Andover, MN 55304-4005
Office: 763-324-3100 ▲ Fax: 763-324-3020 ▲ www.anokacounty.us/highway

Affirmative Action / Equal Opportunity Employer

The ACHD Engineering Plan Review process will apply to this site. The following items should be submitted to Camila Arenas, Engineer I, Camila.Arenas@anokacountymn.gov (checklist and payment information are available on our website: <https://www.anokacountymn.gov/4072/Development-Review>):

- Construction plans (including right turn lane plans)
- Utility relocation plans
- Traffic Control plans
- Grading and erosion control plans
- Drainage calculations – Note that the post-developed rate/volume of runoff must not exceed the pre-developed rate/volume of runoff for the 10-year critical design storm
- ACHD Design Requirements Checklist
- Engineering plan review fee (estimated at \$150.00)

If any work will be performed in the County Right of Way, a Permit for work within the County Right of Way (\$250.00) must be obtained prior to the commencement of any construction. License permit bonding, methods of construction, design details, work zone traffic control, restoration requirements and follow-up inspections are typical elements of the permitting process. Contact Sue Burgmeier via phone at 763.324.3176 or via email at HighwayPermits@anokacountymn.gov for further information and to coordinate the ACHD Permit process.

Thank you for the opportunity to comment. Feel free to contact me if you have any questions regarding this review.

Sincerely,



Logan Keehr, PE
Traffic Engineer II

xc: CR 84/Plats+Developments/2026
Jerry Auge, Assistant County Engineer
David Zieglmeier, County Surveyor
Sean Thiel, Traffic Engineering Manager
Sue Burgmeier, Traffic Technician
Camila Arenas, Engineer I

**CITY OF LINO LAKES
RESOLUTION NO. 26-46**

APPROVING OTTER CROSSING SOUTH 2nd ADDITION PRELIMINARY PLAT

WHEREAS, the City received a land use application for Otter Crossing South 2nd Addition preliminary plat (“Development”); and

WHEREAS, City staff completed review of the Development based on the following submittals:

- Preliminary Plat Plan Set prepared by Pioneer Engineering dated February 10, 2026
- Geotechnical Evaluation Reports prepared by Braun Intertec dated April 7, 2006 and September 21, 2007
- Wetland Permit Application prepared by Midwest Natural Resources, Inc. dated February 6, 2026
- Traffic Study prepared by SSTS Traffic Solutions dated February 16, 2024; and

WHEREAS, the Planning & Zoning Board held a public hearing on March 11, 2026 and recommended approval of the preliminary plat.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Lino Lakes, Minnesota that:

FINDINGS OF FACT

Per City Code Section 1001.013, Premature Subdivision:

(1) *General*. Any concept plan, preliminary plat or final plat deemed premature pursuant to the following criteria shall be denied by the City Council.

(2) *Conditions for establishing a premature subdivision*. A subdivision may be deemed premature should any of the following conditions not be met.

(a) *Consistency with the Comprehensive Plan*. Including any of the following:

1. Land use plan;
2. Transportation plan;
3. Utility (sewer and water) plans;
4. Local water management plan;
5. Capital improvement plan; and
6. Growth management policies, including MUSA allocation criteria.

Otter Crossing South 2nd Addition preliminary plat is consistent with the goals and policies of the comprehensive plan.

(b) *Consistency with infill policies.* A proposed urban subdivision shall meet the city's infill policies:

1. The urban subdivision must be located within the Metropolitan Urban Service Area (MUSA) or the staged growth area as established by the city's Comprehensive Plan;
2. The cost of utilities and street extensions must be covered by one or more of the following:
 - a. An immediate assessment to the proposed subdivision;
 - b. One hundred percent of the street and utility costs are privately financed by the developer;
 - c. The cost of regional and/or oversized trunk utility lines can be financed with available city trunk funds; and
 - d. The cost and timing of the expenditure of city funds are consistent with the city's capital improvement plan.
3. The cost, operation and maintenance of the utility system are consistent with the normal costs as projected by the water and sewer rate study; and
4. The developer payments will offset additional costs of utility installation or future operation and maintenance.

Otter Crossing South 2nd Addition preliminary plat is consistent with infill policies. The development is within the current Utility Staging Area 1A (2018-2025). The cost and timing of the expenditure of city funds are consistent with the city's capital improvement plan. The cost, operation and maintenance of the utility system are consistent with the normal costs projected by the water and sanitary rate study. No future utility costs are proposed.

(c) *Roads or highways to serve the subdivision.* A proposed subdivision shall meet the following requirements for level of service (LOS), as defined by the Highway Capacity Manual:

1. If the existing level of service (LOS) outside of the proposed subdivision is A or B, traffic generated by a proposed subdivision will not degrade the level of service more than one grade;
2. If the existing LOS outside of the proposed subdivision is C, traffic generated by a proposed subdivision will not degrade the level of service below C;
3. If the existing LOS outside of the proposed subdivision is D, traffic generated by a proposed subdivision will not degrade the level of service below D;
4. The existing LOS must be D or better for all streets and intersections providing access to the subdivision. If the existing level of service is E or F, the subdivision developer must provide, as part of the proposed project, improvements needed to ensure a level of service D or better;
5. Existing roads and intersections providing access to the subdivision must have the structural capacity to accommodate projected traffic from the proposed subdivision or the developer will pay to correct any structural deficiencies;
6. The traffic generated from a proposed subdivision shall not require city street improvements that are inconsistent with the Lino Lakes capital improvement plan.

However, the city may, at its discretion, consider developer-financed improvements to correct any street deficiencies;

7. The LOS requirements in divisions (2)(c)1. to 4. above do not apply to the I-35W/Lake Drive or I-35E/Main St. interchanges. At city discretion, interchange impacts must be evaluated in conjunction with Anoka County and the Minnesota Department of Transportation, and a plan must be prepared to determine improvements needed to resolve deficiencies. This plan must determine traffic generated by the subdivision project, how this traffic contributes to the total traffic, and the time frame of the improvements. The plan also must examine financing options, including project contribution and cost sharing among other jurisdictions and other properties that contribute to traffic at the interchange; and

8. The city does not relinquish any rights of local determination.

Otter Crossing South 2nd Addition preliminary plat meets the requirements for level of service (LOS). Intersections currently operate at an overall Level of Service (LOS) A. Build condition overall LOS will continue to operate at a level A.

The proposed Level of Service does not degrade by more than one (1) LOS; therefore, the development is not considered premature. Existing roads and intersections providing access to the subdivision have the structural capacity to accommodate projected traffic from the proposed subdivision. No street improvements are proposed that are inconsistent with the City's capital improvement plan. The city does not relinquish any rights of local determination.

(d) *Water supply.* A proposed subdivision shall be deemed to have an adequate water supply when:

1. The city water system has adequate wells, storage or pipe capacity to serve the subdivision;
2. The water utility extension is consistent with the Lino Lakes water plan and offers the opportunity for water main looping to serve the urban subdivision;
3. The extension of water mains will provide adequate water pressure for personal use and fire protection; and
4. The rural subdivision can demonstrate that each of the proposed lots can be provided with a potable water supply.

Otter Crossing South 2nd Addition preliminary plat will have an adequate water supply.

(e) *Waste disposal systems.* A proposed subdivision shall be served with adequate waste disposal systems when:

1. The urban sewered subdivision is located inside the city's MUSA or is consistent with the MUSA allocation criteria;
2. The city has sufficient MUSA and pipe capacity to serve the subdivision if developed to its maximum density;
3. The subdivision will result in a sewer extension consistent with Lino Lakes sewer plan and capital improvement plan;

4. A rural subdivision can demonstrate that each lot can be served by an adequate sanitary sewer disposal system; and
5. A rural subdivision with a proposed communal sanitary sewer or water system has an effective long range management and maintenance program with proper financing.

Otter Crossing South 2nd Addition preliminary plat will be served with an adequate waste disposal system.

BE IT FURTHER RESOLVED the Otter Crossing South 2nd Addition preliminary plat is not a premature subdivision; and

BE IT FURTHER RESOLVED the Otter Crossing South 2nd Addition preliminary plat is approved subject to the following conditions:

1. A shared access and maintenance agreement with exhibit for the private street over Outlot A shall be recorded.
2. A shared access and maintenance agreement with exhibit for the shared driveway between Lot 1 and Lot 2 shall be recorded.

BE IT FURTHER RESOLVED the following items shall be addressed prior to City Council approval of the Otter Crossing South 2nd Addition final plat:

1. All comments from the City Engineer memo dated March 4, 2026.
2. All comments from the Environmental Coordinator memo dated March 4, 2026.
3. All comments from Anoka County Transportation Division letter dated February 12, 2026.
4. Drafts of the following documents shall be submitted:
 - a. Shared access and maintenance agreement with exhibit for the private street over Outlot A.
 - b. Shared access and maintenance agreement with exhibit for the shared driveway between Lot 1 and Lot 2.
5. Sheet 2.00, Existing Conditions:
 - a. Show Document No. 629739.003: Declaration of Easements, Covenants and Restrictions.
6. Sheet 2.20, Neighborhood Land Use Plan and Sheet 2.40, Master Plan:
 - a. Revise plan so parking lot islands and driveways meet location, setback, etc. requirements and are not located in public road right-of-way.
7. Sheet 2.30, Preliminary Plat:
 - a. Standard drainage and utility easements at least 10 feet wide shall be provided on the preliminary plat over Lot 1 and Lot 2 lot lines.
8. Sheet 3.10, Preliminary Site Plan:
 - a. Lot lines shall be more defined and easier to differentiate between other lines.
 - b. Only one (1) driveway access is allowed to Lot 2 from 70th Street.
 - i. The access should be located as west as possible.
 - ii. This access shall be shown on all applicable plan sheets.

Adopted by the City Council of the City of Lino Lakes this _____ day of _____,
2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

**CITY COUNCIL
REGULAR MEETING STAFF REPORT
AGENDA ITEM 7B**

STAFF ORIGINATOR: Diane Hankee, City Engineer

MEETING DATE: April 13, 2026

TOPIC: **PUBLIC HEARING:** 1st Reading of Ordinance No. 03-26, Vacating Drainage Easement, 24 Century Trail, Lot 2, Block 1, Century Farm North

VOTE REQUIRED: Super Majority

INTRODUCTION

Staff is requesting the 1st Reading of Ordinance No. 03-26, vacating Drainage easement, 24 Century Trail, Lot 2, Block 1, Century Farm North.

BACKGROUND

The property at 24 Century Trail is a residential parcel owned by Mylissa Bringgold. The property owner submitted a land use application requesting the vacation of a drainage easement on their property. The easement is to perpetuate surface water from the west to a drainage structure “catch basin” on the east property line. The property owner would like to move the 10 foot wide easement south of where it exists today. The applicant has submitted a grading plan to adjust the surfacewater flow through the new easement.

The easement adjustment also provides the property owner with the opportunity to construct a deck. Any deck would have protruded into the easement and City Ordinances do not allow for decks in drainage easements. The vacation is contingent upon them providing a new perpetual drainage easement south.

The Drainage and Utility Easement Vacation Description Sketch prepared by E.G Rud and Sons, Inc. received on March 3, 2026 details the proposed drainage area to be vacated.

The second reading of the ordinance is scheduled for April 27, 2026.

RECOMMENDATION

Staff is recommending approval of the 1st Reading of Ordinance No. 03-26 Vacating Drainage & Utility Easements, 24 Century Trail, Lot 2, Block 1, Century Farm North.

ATTACHMENTS

1. Ordinance No. 03-26
2. Drainage Easement Vacation Description Sketch

1 st Reading:	Website Notice:
2 nd Reading:	Publication:
Adoption:	Effective:

**CITY OF LINO LAKES
ORDINANCE NO. 03-26**

**VACATING DRAINAGE EASEMENT
24 CENTURY TRAIL, LOT 2, BLOCK 1 CENTURY FARM NORTH, ANOKA COUNTY,
MINNESOTA**

The City Council of Lino Lakes ordains:

Section 1: Findings of Fact

1. The City Council of Lino Lakes has determined to vacate a drainage easement (“Easement”).
2. The area of the vacated Easement is legally described as follows and shown in Attachment A-Vacation Exhibit.

A strip of land 10.00 feet in width over Lot 2, Block 1, CENTURY FARM NORTH, according to said plat on file and of record in the office of the County Recorder, Anoka County, Minnesota, the centerline of which is described as follows:

Beginning at a point on the West line of said Lot 2, distant 90.00 feet South of the Northwest corner of said Lot 2; thence East, a distance of 80.00 feet to a point on the East line of said Lot 2, distant 90.00 feet South of the Northeast corner of said Lot 2 and said centerline there terminating.

Said strip of land is to extend by its full width from said West line of Lot 2 to said East line of Lot

3. Except that part which lies within any perpetual easement of record for drainage and utility purposes. A public hearing was held on April 13, 2026 before the City Council in the City Hall Council Chambers after due published and posted notice had been given and reasonable attempts were made to give personal notice to all affected property owners, and all persons interested were given an opportunity to be heard; and
4. It appears to be in the best interest of the City to vacate such Easement; and
5. This ordinance shall be recorded with Anoka County; and
6. Four-fifths of all members of the City Council concur with this ordinance.

Section 2: Easement Vacated

The Easement described herein is hereby vacated.

Section 3: Effect

This ordinance shall be in force and effect from and after its passage and publication according to the Lino Lakes City Charter and upon filing of the ordinance.

Section 4: The vacation provided for by this ordinance is contingent on the recording of a new drainage easement. Should the new easement not be recorded, the vacation provided by this ordinance shall be null and void.

Adopted by the Lino Lakes City Council this ____ day of _____, 2026.

BY: _____
Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

ATTACHMENT A
Vacation Exhibit

VACATION SKETCH

~for~ MYLISSA BRINGGOLD
 ~of~ 24 CENTURY TRAIL
 LINO LAKES, MN

Lot 2, Block 1, CENTURY FARM NORTH,
 Anoka County, Minnesota.

EASEMENT VACATION:

A strip of land 10.00 feet in width over Lot 2, Block 1, CENTURY FARM NORTH, according to said plat on file and of record in the office of the County Recorder, Anoka County, Minnesota, the centerline of which is described as follows:

Beginning at a point on the West line of said Lot 2, distant 90.00 feet South of the Northwest corner of said Lot 2; thence East, a distance of 80.00 feet to a point on the East line of said Lot 2, distant 90.00 feet South of the Northeast corner of said Lot 2 and said centerline there terminating.

Said strip of land is to extend by its full width from said West line of Lot 2 to said East line of Lot 2.

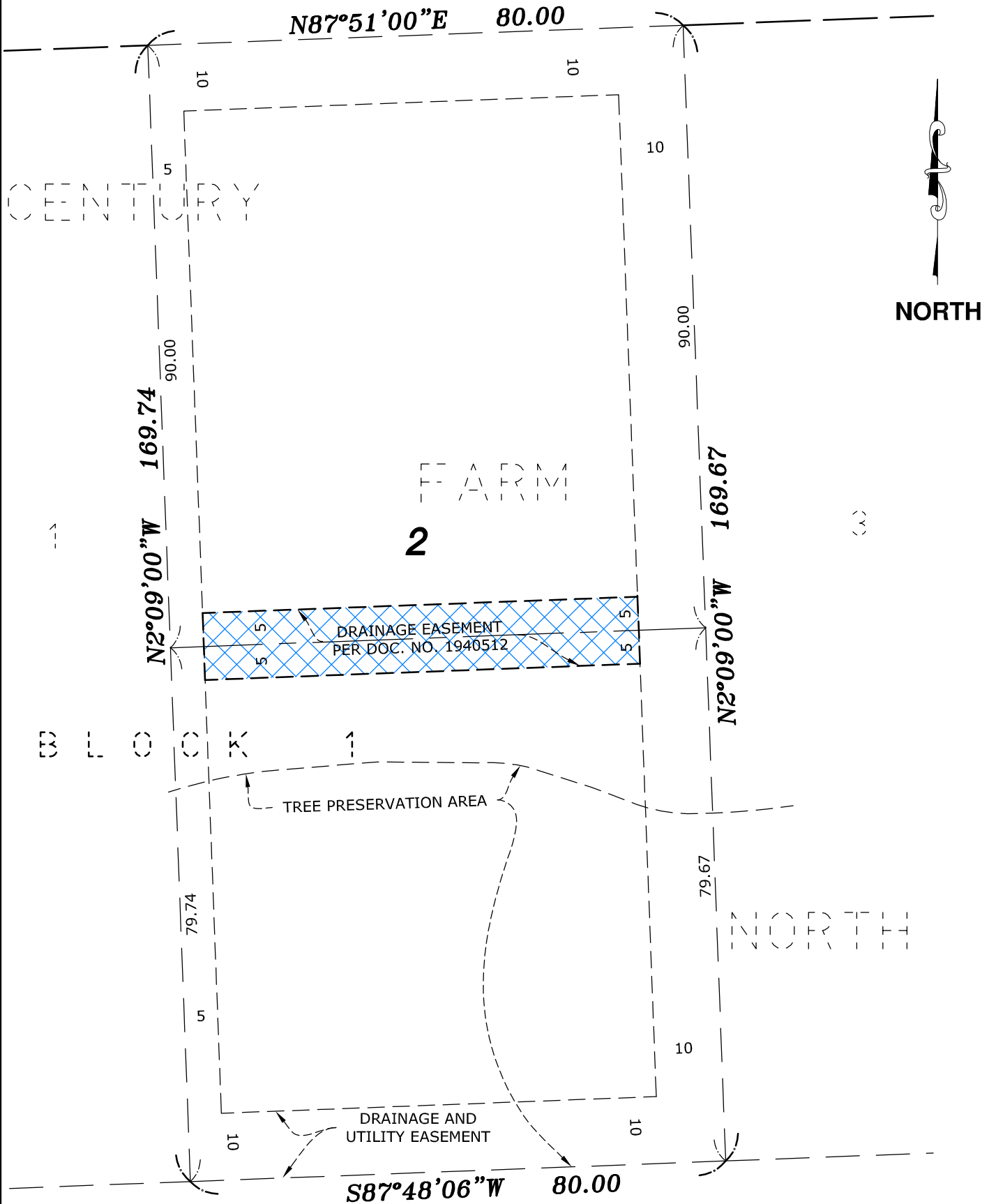
Except that part which lies within any perpetual easement of record for drainage and utility purposes.

LEGEND



DENOTES EASEMENT VACATION AREA

CENTURY TRAIL



NORTH

SCALE: 1" = 20'	BEARING DATUM: Assumed	JOB NO. 251028AB	DRAWN BY: RAF	CREW: JH
I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota. By: <i>[Signature]</i> Minnesota License No. 52140 Dated 29th day of October 2021.		DATE: 10/29/2025	E. G. RUD & SONS, INC PROFESSIONAL LAND SURVEYORS 6776 LAKE DRIVE NE, SUITE 110 LINO LAKES, MINNESOTA 55014 TEL. (651) 361-8200 FAX (651) 361-8701 www.egrud.com	
		REVISIONS		
1				
2				
3				
4				
#	DATE	DESCRIPTION	BY	

L-B

**CITY COUNCIL
REGULAR MEETING STAFF REPORT
AGENDA ITEM 7C**

STAFF ORIGINATOR: Diane Hankee, PE City Engineer

MEETING DATE: April 13, 2026

TOPIC: Resolution 26-50, Order Project, Approve the Plans and Specifications and Authorize the Ad for Bid, Otter Lake Road Improvement Project

VOTE REQUIRED: Simple Majority

INTRODUCTION

Staff is requesting Council consideration to order the project, approve the plans and specifications, and authorize the ad for bid for the Otter Lake Road Improvement Project.

BACKGROUND

On August 14, 2023, the City Council authorized the preparation of the plans and specifications for the Otter Lake Road Improvement Project. The extension of Otter Lake Road, north of Main Street, is identified in the City's 2040 Comprehensive Plan, as an arterial roadway providing access to the City's commercial and industrial corridor along I-35E. Planning for the corridor has been underway since the late 2000's. The City completed the Otter Lake Road Master Plan in December of 2022. The plan identified a preferred alignment for the roadway connecting to 24th Avenue.

The project includes trunk sanitary sewer and water main, a regional stormwater conveyance and ponding system, street, and pedestrian/bicycle improvements. The new road, which includes two roundabouts, will extend from approximately 300' north of Main Street to a merge point with 24th Avenue, just north of Heritage Parkway in Hugo. The project also includes paving the gravel section of Elmcrest Avenue / 24th Avenue from approximately 400 feet north of Heritage to Washington County Road 4A / Anoka County Road 140.

The estimated construction cost is \$10,879,000.00 The estimated total project cost including right of way, contingency, and overhead is \$14,930,000.00. Funding for the project is through municipal state aid, trunk area and unit fund, the surface water management fund, cost share with Hugo and a Local Road Improvement Grant. The Local Road Improvement Grant is in the amount of \$1,500,00.00. The 50/50 cost share with Hugo in the estimated amount of \$375,000.00 is for paving Elmcrest Avenue / 24th Avenue from approximately 400 feet north of

Heritage to Washington County Road 4A / Anoka County Road 140. A Joint Powers Agreement is being drafted and will be presented to Council a future meeting.

The project schedule:

Authorize Preparation of Plans and Specifications	August 14, 2023
Order Improvement, Approve Plans and Specs, Authorize Ad for Bids	April 13, 2026
City Opens Bids	May 19, 2026
City Council Awards Contract	May 26, 2026
Construction Begins	June, 2026
Final Completion	August 31, 2027

RECOMMENDATION

Staff is recommending approval of Resolution No. 26-50, Order Project, Approve the Plans and Specifications and Authorize the Ad for Bid for the Otter Lake Road Improvement Project.

ATTACHMENTS

1. Resolution No. 26-50
2. Construction Plans

**CITY OF LINO LAKES
RESOLUTION NO. 26-50**

**ORDER PROJECT, APPROVE PLANS AND SPECIFICATIONS, AND AUTHORIZE
ADVERTISEMENT FOR BIDS FOR OTTER LAKE ROAD IMPROVEMENT PROJECT**

WHEREAS, the City Engineer has prepared plans and specifications for the Otter Lake Road Improvement Project. Project plans and specifications have been presented to the City Council for approval;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Lino Lakes:

1. Such plans and specifications, a copy of which is attached hereto and made a part hereof, are hereby approved.

2. The City Clerk shall prepare and cause to be inserted in the official paper and in Finance and Commerce an advertisement for bids for the making of such improvement under such approved plans and specifications. The advertisement shall be published for two weeks, shall specify the work to be done, shall state that bids will be received by the Clerk, at which time they will be publicly opened at the City Hall by the City Clerk and Engineer, will then be tabulated, and will be considered by the Council at 6:30 p.m. on May 26, 2026, in the Council chambers of the City Hall. Any bidder whose responsibility is questioned during consideration of the bid will be given an opportunity to address the Council on the issue of responsibility. No bids will be considered unless sealed and filed with the Clerk and accompanied by a cash deposit, cashier's check, bid bond or certified check payable to the Clerk for five (5) percent of the amount of such bid.

Adopted by the Council of the City of Lino Lakes this 13th day of April 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

**CITY COUNCIL
REGULAR MEETING STAFF REPORT
AGENDA ITEM 7D**

STAFF ORIGINATOR: Michael Grochala, Community Development Director

MEETING DATE: April 13, 2026

TOPIC: Consider Resolution No. 26-45, Authorizing Regional Solicitation Grant Application – Main Street Trail

VOTE REQUIRED: Simple Majority

INTRODUCTION

Staff is requesting City Council approval to authorize submission of a Regional Solicitation grant application for the Main Street Trail.

BACKGROUND

The transportation and park components of the City’s 2040 Comprehensive Plan identify a planned extension of the Central Anoka County Regional Trail along Main Street (CSAH 14). This regional trail corridor is intended to extend from the City’s eastern border with the City of Hugo to the City of Ramsey on Anoka County’s western border. To date, over 16 miles of the planned 26-mile system have been constructed countywide. Within Lino Lakes, segments of the trail have been constructed incrementally over the past 15 years in coordination with County roadway projects. The most recent segment, completed in 2013, extended the trail across Interstate 35W from the Chain of Lakes Regional Park.

Providing improved access to the regional park system and expanding multi-use trail opportunities on the north side of the community continues to be a priority for the City. The proposed Main Street Trail segment would construct approximately 1.7 miles (9,000 linear feet) of trail between Interstate 35W and Lino Lakes Elementary School, closing a critical gap in the local and regional trail network. The proposed trail is also identified in Anoka County’s long-range trail planning efforts, reinforcing its importance as part of the regional transportation and recreation network.

Every two years, the Regional Solicitation distributes federal transportation funds to locally initiated projects that meet regional transportation needs. The Metropolitan Council’s 2026 Regional Solicitation is expected to open for applications in May or June. The City, in coordination with Anoka County, intends to submit an application under the Active Transportation Local Bicycle Facilities solicitation. The estimated project cost is \$1,620,000.

The City plans to pursue the maximum eligible funding amount; no local match is required. The project is included in the City's Capital Improvement Plan, which identifies up to \$200,000 that could be committed if doing so would strengthen the competitiveness of the application.

If the application is authorized, staff will conduct an online survey to gather resident input and gauge community support for the proposed trail. This feedback will help inform the application and demonstrate public engagement.

RECOMMENDATION

Staff recommends approval of Resolution No. 26-45.

ATTACHMENTS

1. Resolution No. 26-45
2. Lino Lakes 2040 Park and Trail Plan
3. Project Location Map

**CITY OF LINO LAKES
RESOLUTION NO. 26-45**

**AUTHORIZING THE 2026 REGIONAL SOLICITATION GRANT APPLICATION SUBMITTAL
FOR A MULTIUSE TRAIL ALONG MAIN STREET (CSAH 14) BETWEEN LINO LAKES ELEMENTARY
SCHOOL AND THE I-35W OVERPASS**

WHEREAS, the Transportation Advisory Board (TAB) is soliciting project applications for federal funding through the Regional Solicitation process; and

WHEREAS, funding requests are for the federal fiscal years 2030 and 2031; and

WHEREAS, funding provides up to 100 percent of project construction costs; and

WHEREAS, bicycle and pedestrian facilities that benefit the regional bikeway system are eligible projects for the funding request; and

WHEREAS, Main Street (CSAH 14) is identified as a Tier 2 alignment in the Regional Bicycle Transportation Network (RBTN); and

WHEREAS, there is a gap in the multiuse trail network along Main Street (CSAH 14) between Lino Lakes Elementary School and the I-35W overpass; and

WHEREAS, the proposed multiuse trail would close this gap in the Central Anoka County Regional Trail system and improve access to local and regional destinations, including Lino Lakes Elementary School, Rice Creek Regional Park Reserve, and the Lino Lakes Public Works facility.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Lino Lakes that staff is hereby authorized to submit a 2026 Regional Solicitation grant application for a multiuse trail along Main Street (CSAH 14) between Lino Lakes Elementary School and the I-35W overpass.

BE IT FURTHER RESOLVED that the City of Lino Lakes commits to providing snow and ice control to support year-round bicycle and pedestrian use of this facility should funding be awarded and the project constructed.

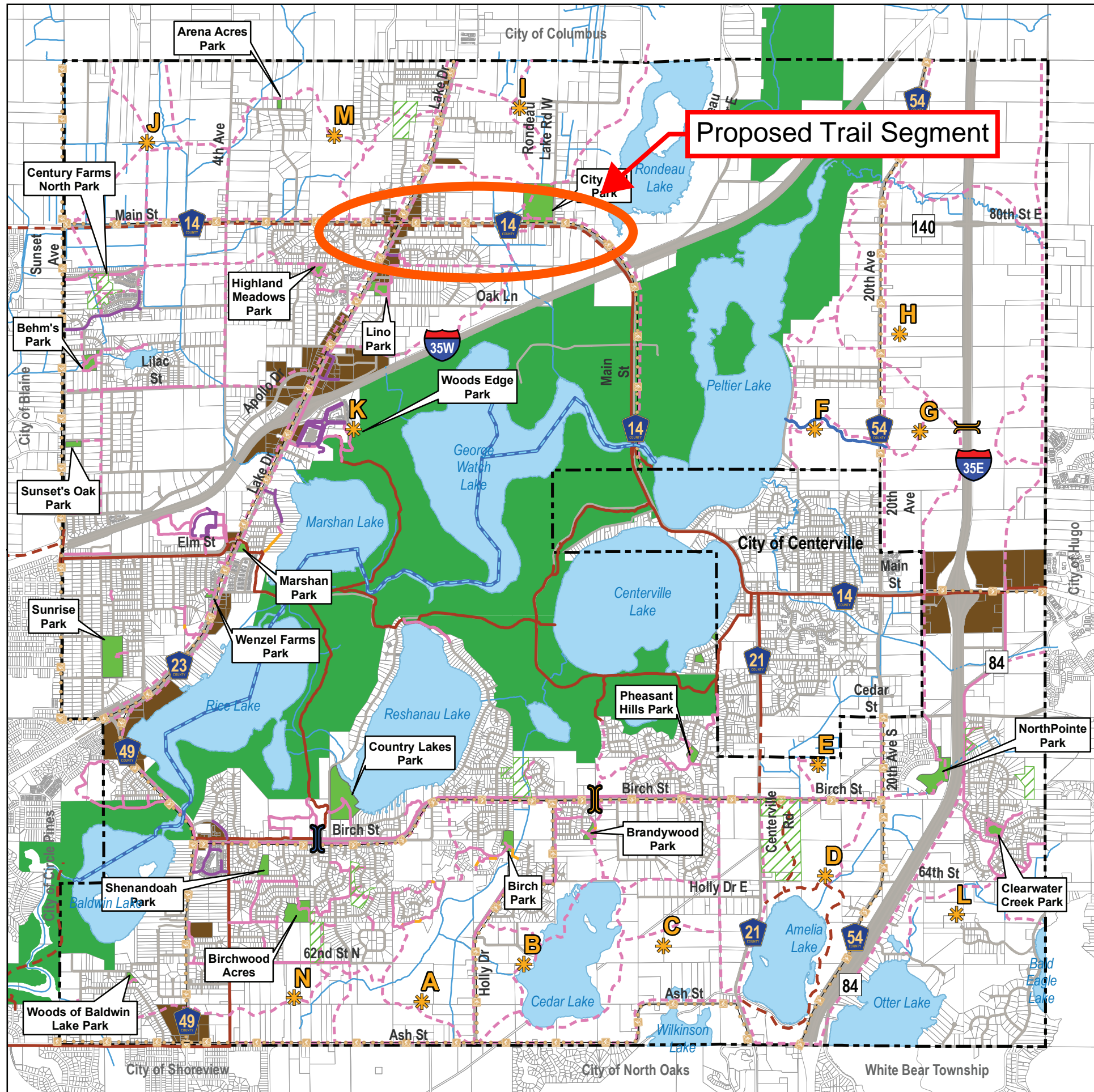
Adopted by the City Council of the City of Lino Lakes this 13th day of April, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

**Figure 6-16
Trail System**

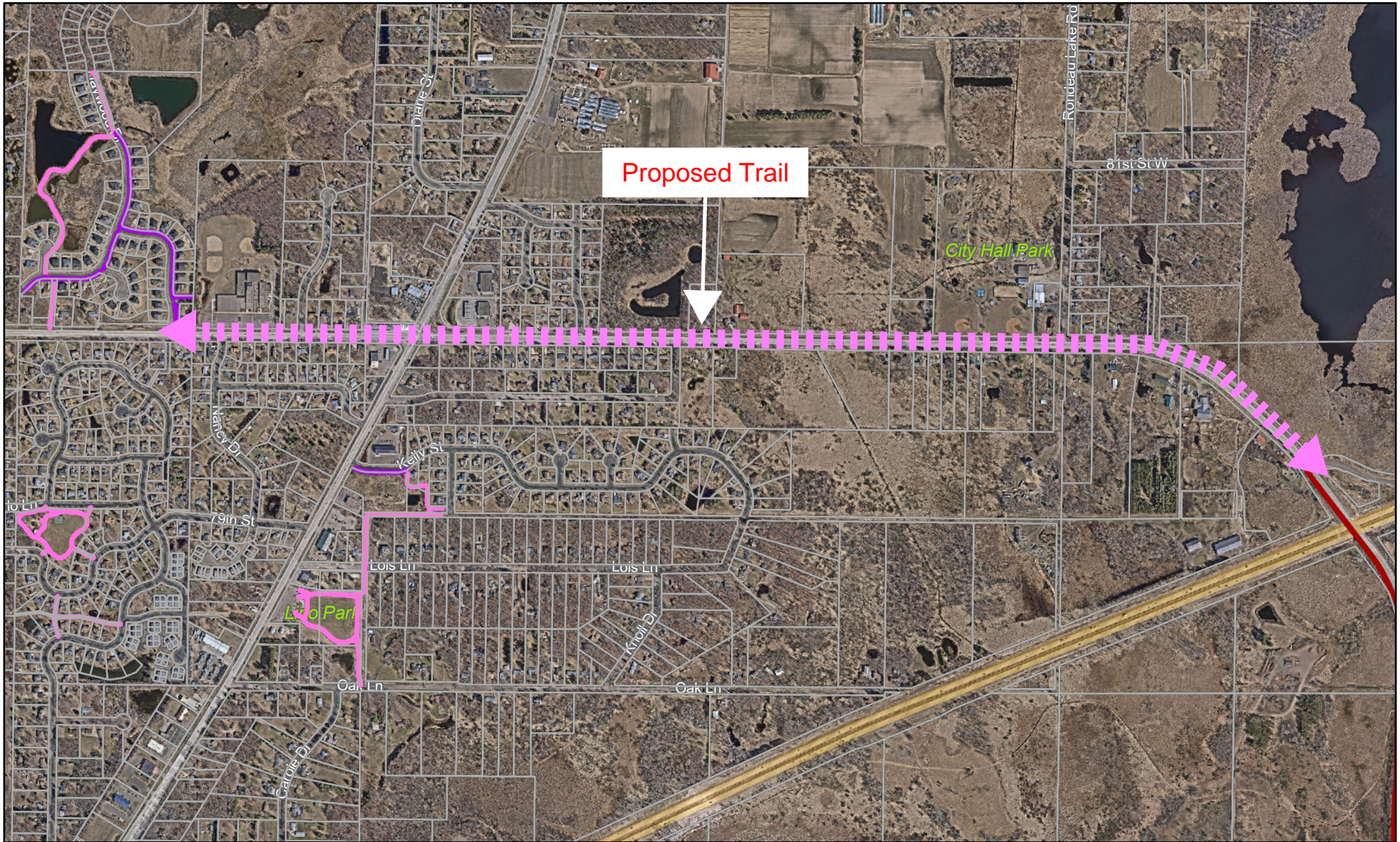


Legend






Future Neighborhood Park Search Area's	Existing Regional Trail
Existing Tunnel	Proposed Regional Trail
Proposed Tunnel/Bridge	Undeveloped Park
Water Trail	City Parks
NE Drainage Outlet	Regional Parks
Existing Asphalt	Business/Commercial Areas'
Existing Concrete Trail	Open Water
Existing Boardwalk Trail	Municipal Boundary
Proposed Trails	
Proposed On-Street Route	



Proposed Main Street Trail Concept



Surface Type, Trail Type, Functional Class

-  Existing Asphalt
-  Existing Concrete Trail
-  Existing Regional Trail
-  Parcels
-  Proposed Trail



1 in = 1,000 Ft