



CITY COUNCIL AGENDA

Monday, May 11, 2026

Broadcast on Cable TV Channel 16
and northmetrotv.com/lino-lakes-stream

***Mayor Rafferty, Councilmembers Lyden, Nelson, Ruhland and Rennaker
City Administrator: Karen Anderson***

**CITY COUNCIL WORK SESSION, 6:00 P.M.
Community Room (not televised)**

- A. Call to Order and Roll Call
- B. Setting the Agenda: Addition or Deletion of Agenda Items
- C. Review Regular Agenda
- D. Adjourn

**CITY COUNCIL MEETING, 6:30 PM
Council Chambers (televised)**

- Call to Order and Roll Call
- Pledge of Allegiance
- Setting the Agenda: Addition or Deletion of Agenda Items

SPECIAL PRESENTATION

PUBLIC COMMENT

Sign-in prior to the start of the meeting per Rules of Decorum

1. Consent Agenda

- A. Approval of Expenditures for May 11, 2026 (Check No. 124914 through 124994) in the Amount of \$1,990,455.98
- B. Approval of April 27, 2026, City Council Meeting Minutes
- C. Approval of May 4, 2026, City Council Special Work Session Minutes
- D. Approval of May 4, 2026, City Council Work Session Minutes
- E. Approval of May 4, 2026, City Council Closed Meeting Minute

- F. Adopt Resolution No. 26-70, Solicitor License, Edward Jones
- G. Adopt Resolution No. 26-83, Approving an Off-Sale Liquor and Tobacco License for BJP LLC
- H. Adopt Resolution No. 26-72, Approving a 3.2 On-Sale and Sunday Sales License for My Taco Stop
- I. Adopt Resolution No. 26-48, Approving 2026-2027 Business License Renewals
- J. Adopt Resolution No. 26-68, Approving Site Improvement Performance Agreement for Wilkinson Waters Apartments
- K. Adopt Resolution No. 26-74, Approving Acquisition of Permanent Easement, 601 Prairie Flower Road, Birch Street Sanitary Sewer Crossing
- L. Adopt Resolution No. 26-75, Approving Acquisition of Certain Real Property, Parcel 7, Right of Way Plat No. 4, Otter Lake Road Improvement Project
- M. Adopt Resolution No. 26-73, Authorizing the Issuance of a Cabaret License, Special Event Permit and Temporary Liquor License to St. Joseph of the Lakes Catholic Church
- N. Approve 3M Golf Open Cooperative Agreement
- O. Rookery Activity Center Part-Time Staff Adjusted Wage Scale
- P. Accept the Q1 2026 Financial Report for Filing

2. Finance Department Report

3. Administration Department Report

- A. Appointment of Police Officer, Meg Sawyer

4. Police Department Report

5. Fire Department Report

6. Public Services Department Report

7. Community Development Report

- A. Lyngblomsten PUD Amendment #4-Mixed Use Building, Katie Larsen
 - i. Approval of Resolution No. 26-64 for PUD Preliminary Plan/Preliminary Plat Amendment #4
 - ii. Approval of Resolution No. 26-65 for Conditional Use Permit for Commercial Day Care Facility
 - iii. Approval of Resolution No. 26-66 for Conditional Use Permit for Residential

Apartments

- B. PUBLIC HEARING: Waive Full Reading, Provide 1st Reading of Ordinance No. 04-26, Vacating Drainage & Utility Easement, 6030 Blanchard Blvd, Lot 2, Block 2, & Outlot C, Lyngblomsten at Lino Lakes Addition, Diane Hankee
- C. Resolution 26-71, Rejecting Bids and Authorizing Rebid, 2026 Birch Street Sewer Crossing Project, Diane Hankee
- D. Public Works Building Bid Package #2 Contract Awards, Michael Grochala
 - i. Consider Resolution No. 26-76, Accepting bids, Awarding Construction Contracts, Bid Package 2
 - ii. Consider Resolution No. 26-78, Accepting bids, Awarding Construction Contracts, Bid Package 2, Category 8B Sectional and Specialty Doors
 - iii. Consider Resolution No. 26-79, Reject Low Bid and Awarding 2nd Bid, Bid Category 32C Landscaping and Irrigation
 - iv. Consider Resolution No. 26-80, Reject Low Bid and Awarding 2nd Bid, Quote Category 9B Tile
 - v. Consider Resolution No. 26-81, Reject Low Bid and Awarding 2nd Bid, Quote Category 9D Fluid Applied Flooring
- E. Consider Resolution No. 26-82, Approving Amendment to Professional Services Contract with Oertel Architects, Civil Engineering and Survey Services, Michael Grochala

8. Unfinished Business

9. New Business

10. Notices and Communications

- A. May 13, 2026, Planning and Zoning Board Meeting at 6:30 PM in the Council Chambers

ADJOURNMENT



Expenditures

May 11, 2026

Check #124914 to #124994
\$1,990,455.98

Significant Disbursements this Period:

- Staab Construction Corporation - \$1,258,069.40 – Water Treatment Plant

CHECK REGISTER FOR CITY OF LINO LAKES

CHECK NUMBER 124914 - 124994

- CHECK TYPE: PAPER CHECK

Check Date	Check	Vendor Name	Description	Amount
Bank CKING POOLED CHECKING				
04/24/2026	124914	CENTRAL PENSION FUND	Remittance Check	7,115.66
04/24/2026	124915	NCPERS GROUP LIFE INSURANCE	Remittance Check	320.00
05/01/2026	124916	METROPOLITAN LIFE INSURANCE C	Remittance Check	5,532.60
			Remittance Check	5,605.04
				<u>11,137.64</u>
05/11/2026	124917	1ST CHOICE DOCUMENT DESTRUCTI	APRIL SHRED	880.00
05/11/2026	124918	ANOKA COUNTY TREASURY OFFICE	JAN 2026 CAC FIBER	825.00
			FEB 2026 CAC FIBER	825.00
			MAR 2026 CAC FIBER	825.00
			APRIL 2026 CAC FIBER	825.00
				<u>3,300.00</u>
05/11/2026	124919	ASCENTEK, INC	RECYCLE USED OIL FILERS	86.25
05/11/2026	124920	ASPEN MILLS, INC.	DEPT EXP - NEW DUTY CREW WORK UNIFORM	64.95
			DEPT EXP - DUTY CREW WORK UNIFORM	129.90
			UNIFORM ALLOWANCE - A. NG / DEPT EXP -	122.30
			UNIFORM ALLOWANCE - D. THILL	113.90
			UNIFORM ALLOWANCE - R. STRUB	32.00
			DEPT EXP - NEW POC FIREFIGHTER WORK UNI	290.70
			DEPT EXP - NEW HIRE DUTY CREW WORK UNIF	656.70
				<u>1,410.45</u>
05/11/2026	124921	BEST OUTDOOR SERVICES	IRRIGATION REPAIRS PLOW DAMAGE	1,145.00
05/11/2026	124922	CENTENNIAL SCHOOL DISTRICT 12	ADULT TRIP TO BIRTHDAY CANDLES PLAY	445.00
05/11/2026	124923	CENTERPOINT ENERGY	NATURAL GAS	2,258.65
05/11/2026	124924	CITY OF HUGO	HUGO BLDG INSPECTOR 4/15, 4/21 & 4/22/2	658.80
05/11/2026	124925	COBALT COATINGS	RE-PAINTED TRAFFIC SIGNALS AT LAKE DR &	9,025.00
			RE-PAINTED 4 EV/FLASHER POLES - TOWN CE	1,800.00
				<u>10,825.00</u>
05/11/2026	124926	CONNEXUS ENERGY	WATERMARK PARK PAVILION ELECTRICITY	20.15
05/11/2026	124927	CORE & MAIN LP	WATER METERS	15,325.10
			METERS AND TOUCH PADS	15,325.10
				<u>30,650.20</u>
05/11/2026	124928	CRAFCO, INC.	25200 LBS MASTIC	19,200.00
05/11/2026	124929	DATA PRACTICES OFFICE	TUITION - J. POTHAST	125.00
			TUITION - M. SAWYER	125.00
				<u>250.00</u>
05/11/2026	124930	DELL MARKETING LP	MONITOR - M. BAGLEY	359.99
05/11/2026	124931	DELTA DENTAL OF MINNESOTA	DENTAL INS PREMIUMS MAY 2026	5,102.98

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Check Date	Check	Vendor Name	Description	Amount
Bank CKING POOLED CHECKING				
05/11/2026	124932	EMERGENCY APPARATUS MAINTENAN	SIREN REPAIR #620	802.73
05/11/2026	124933	EMERGENCY TECHNICAL DECON	DEPT EXP - PPE SEVERE CONTAMINATION CLE DEPT EXP - PPE NUMBER PATCHES DEPT EXP - PPE SEVERE CONTAMINATION CLE	260.00 150.00 360.00
				<u>770.00</u>
05/11/2026	124934	ENDURANCE FITNESS OF MN, LLC	MONTHLY FEE MAY 2026	11,665.00
05/11/2026	124935	Erickson, Ross	80% REFUND 6491 KILLDEER DRIVE	60.00
05/11/2026	124936	FACTORY MOTOR PARTS COMPANY	AIR CONDITIONING OIL PCV VALVE #259 BRAKE CLEAN ENGINE OIL #422 COOLANT TAHOE TRANSMISSION FILTERS	36.50 8.49 37.92 11.32 84.60 218.80
				<u>397.63</u>
05/11/2026	124937	FASTENAL COMPANY	WING MOUNTING HARDWARE #218	28.72
05/11/2026	124938	FIDELITY SECURITY LIFE INSURA	MAY 2026 VISION INSURANCE PREMIUMS	210.44
05/11/2026	124939	FIRST ADVANTAGE OCC.	INITIAL ENROLLMENT CHG	36.71
05/11/2026	124940	FRATTALLONES HARDWARE & GARDE	GENERATOR BELT - LIFT 6 PVC GLUE PRIMER O-RINGS FOR PD PRESSURE WASHER	9.49 13.48 6.54
				<u>29.51</u>
05/11/2026	124941	FRONTIER FIRE PROTECTION, INC	ANNUAL FIRE SPRINKLER INSPECTION - ROOK ANNUAL FIRE SPRINKLER INSPECTION - CH ANNUAL FIRE SPRINKLER INSPECTION - FIRE	346.00 708.00 346.00
				<u>1,400.00</u>
05/11/2026	124942	GDO LAW	MAY PROSECUTOR CONTRACT	8,750.00
05/11/2026	124943	GILL ID SYSTEMS	MEMBERSHIP KEY TAGS	478.00
05/11/2026	124944	GOPHER STATE ONE-CALL	APRIL LOCATES	660.15
05/11/2026	124945	HAWKINS, INC.	POOL CHLORINE METERS POOL CHLORINE EQUIPMENT FUEL SURCHARGE CREDIT	890.00 1,339.50 (41.00)
				<u>2,188.50</u>
05/11/2026	124946	HEART & SOUL, LLC	TUITION - L. EVANS, J. FRONEK	60.00
05/11/2026	124947	IMPERIAL DADE	JANITORIAL SUPPLIES	344.77
05/11/2026	124948	INNOVATIVE OFFICE SOLUTIONS L	ENVELOPES, PENS, SORTKWIK	56.46
05/11/2026	124949	JAMES SILBERNAGEL	PE ACQUISITION 601 PRAIRIE FLOWER ROAD	4,700.00
05/11/2026	124950	JOSEPH EDHOLM LLC	100% REFUND 6491 KILLDEER DRIVE	76.00
05/11/2026	124951	JUSTIN & BREANNE LARSON	UB REFUND FOR ACCOUNT: 019411-000	1,145.18
05/11/2026	124952	L & D WINTER 2023 CHARITABLE	LAND ACQUISITION PARCEL 7 ROW PLAT 4 OT	65,000.00
05/11/2026	124953	LANGUAGE LINE SERVICES	APRIL INTERPRETATION SERVICES	14.42

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Check Date	Check	Vendor Name	Description	Amount
Bank CKING POOLED CHECKING				
05/11/2026	124954	LENNAR MN DIVISION	PARTIAL ESCROW RELEASE - 7533 NORWAY LN	7,200.00
			PARTIAL ESCROW RELEASE - 7532 NORWAY LN	7,200.00
			PARTIAL ESCROW RELEASE - 7536 NORWAY LN	3,600.00
			PARTIAL ESCROW RELEASE: 7537 NORWAY LN	5,400.00
			PARTIAL ESCROW RELEASE - 2139 NORWAY LN	5,400.00
			PARTIAL ESCROW RELEASE - 7528 NORWAY LN	7,200.00
			PARTIAL ESCROW RELEASE - 7508 NORWAY LN	3,600.00
			PARTIAL ESCROW RELEASE - 7521 NORWAY LN	1,800.00
			PARTIAL ESCROW RELEASE - 7529 NORWAY LN	7,200.00
			PARTIAL ESCROW RELEASE - 7509 NORWAY LN	10,800.00
			PARTIAL ESCROW RELEASE - 7524 NORWAY LN	5,400.00
			PARTIAL ESCROW RELEASE - 2074 NORWAY LN	10,800.00
			PARTIAL ESCROW RELEASE - 7513 NORWAY LN	1,800.00
			PARTIAL ESCROW RELEASE - 7525 NORWAY LN	1,800.00
			ST ESCROW CLOSURE WATERMARK 5TH - DRAIN	1,406.64
				80,606.64
05/11/2026	124955	MACQUEEN EQUIPMENT, INC.	#632 STRIP EQUIPMENT	1,200.00
			LIGHTS REPAIR #631	75.00
			SYNCING SQUAD LIGHTS (12)	300.00
			DEPT EXP - STRUCTURE HELMET LEATHER FRO	138.00
				1,713.00
05/11/2026	124956	MANSFIELD OIL COMPANY	1,000 GALLONS GASOLINE	3,578.91
05/11/2026	124957	MARSHA ERICKSON	SPRING 2026 NEWSLETTER DESIGN	1,600.00
05/11/2026	124958	Medica	HEALTH INSURANCE PREMIUMS MAY 2026	65,643.28
05/11/2026	124959	MENARDS - BLAINE	PVC SLEEVES FOR CITY HALL PARK BALLFIEL	58.68
05/11/2026	124960	MENARDS - FOREST LAKE	GENERATOR REPAIR SUPPLIES - LIFT 6	56.95
			CAULKING- SEALING DOOR	7.99
				64.94
05/11/2026	124961	MET COUNCIL ENVIRONMENTAL SER	JUNE WASTE WATER SERVICES	115,725.05
05/11/2026	124962	METRO SALES INCORPORATED	PD COPIER CONTRACT	36.00
			CITY HALL COPY ROOM COPIER	568.82
			CITY HALL CD COPIER	196.18
				801.00
05/11/2026	124963	METRO-INET	MAY IT SERVICES	33,282.00
			CRADLEPOINT AUXILIARY SCADA MONITORING	1,358.11
				34,640.11
05/11/2026	124964	METROPOLITAN LIFE INSURANCE C	JANUARY 2026 LIFE AND LTD INSURANCE PRE	2,445.17
			FEBRUARY 2026 LIFE AND LTD INSURANCE PR	2,448.05

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			MARCH 2026 LIFE AND LTD INSURANCE PREMI	2,429.58
			APRIL 2026 LIFE AND LTD INSURANCE PREMI	3,239.71
				<u>10,562.51</u>
05/11/2026	124965	MN METRO NORTH TOURISM BOARD	MARCH 2026 TOURISM TAX	4,679.00
05/11/2026	124966	MNSPECT, LLC	APRIL PLAN REVIEW 2026	1,417.50
05/11/2026	124967	NEIL EVENSON	1ST QTR 2025 STIPEND	225.00
05/11/2026	124968	NORTHERN TOOL COMMERCIAL ACCO	TRAILER JACK #700	59.84
			CHAINS AND BINDERS FOR TRAILER #714	245.04
			RETURN CHAINS FOR TRAILER #714	(189.98)
				<u>114.90</u>
05/11/2026	124969	NYSTROM PUBLISHING COMPANY	SPRING 2026 NEWSLETTER	7,001.85
05/11/2026	124970	O'REILLY AUTOMOTIVE STORES	FLUID PUMP	14.99
			GENERATOR REPAIR PARTS - LIFT 6	8.41
			BELTS #417	62.37
			GENERATOR BATTERY - LIFT 6	176.32
			BATTERY CORE RETURN	(22.00)
				<u>240.09</u>
05/11/2026	124971	PAUL CONWAY SHIELDS, INC	DEPT EXP - STRUCTURE HELMET SHIELDS	126.50
05/11/2026	124972	PHILIP KERN	STRATEGIC PLANNING CONSULTANT	3,500.00
05/11/2026	124973	PLUNKETT'S PEST CONTROL INC.	GENERAL PEST CONTROL 5/2026 - 4/2027	770.68
05/11/2026	124974	PRECISE MRM LLC	GPS SERVICE FOR PACE CONTROLS	180.00
05/11/2026	124975	PRESS PUBLICATIONS, INC.	AD FOR BIRCH ST SEWER XING BID	325.44
			AD FOR PW BID PACK #2	874.62
				<u>1,200.06</u>
05/11/2026	124976	PRIMARY PRODUCTS COMPANY	NITRILE GLOVES (5)	326.83
05/11/2026	124977	PYE-BARKER FIRE & SAFETY, LLC	WATER CAN GAUGE (4)	48.00
05/11/2026	124978	ROADKILL ANIMAL CONTROL	APRIL ROADKILL PICKUP SERVICES	129.00
05/11/2026	124979	S&S INDUSTRIAL HARDWARE SUPPL	WATER VALVE REPAIR BOLTS - 4TH AVE	41.77
05/11/2026	124980	SAFEASSURE CONSULTANTS, INC.	SAFETY TRAINING	5,592.20
05/11/2026	124981	SAFETY-KLEEN SYSTEMS, INC.	SOLVENT	50.42
05/11/2026	124982	SCR	RTU 1 CONTROL ISSUE	1,100.00
05/11/2026	124983	SHI INTERNATIONAL CORP	OFFICE STANDARD LICENSES	652.40
05/11/2026	124984	Shoup, Benjamin	80% REFUND 6750 BLACK DUCK DR	60.00
05/11/2026	124985	SITEONE LANDSCAPE SUPPLY LLC	IRRIGATION REPAIR SUPPLIES WATERMARK PA	158.09
05/11/2026	124986	SQUIRES, WALDSPURGER & MACE P	FEBRUARY LEGAL	12,009.09
05/11/2026	124987	STAAB CONSTRUCTION CORPORATIO	WTP PAYMENT APP 22	1,258,069.40
05/11/2026	124988	STAPLES INC.	TONER (4), STENO BOOKS	518.36
05/11/2026	124989	STREICHER'S, INC.	DEPT EXP - S. PETERSEN	2,038.97
			40MM TRAINING ROUNDS	1,393.10
				<u>3,432.07</u>

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Check Date	Check	Vendor Name	Description	Amount
Bank CKING POOLED CHECKING				
05/11/2026	124990	T-MOBILE USA INC	CELL PHONES & WI-FI	2,715.09
05/11/2026	124991	WALSER POLAR CHEVROLET	BRAKE SWITCH REPAIR #321	444.99
05/11/2026	124992	WHEELER HARDWARE COMPANY	DONGLE MONTHLY LICENSE & SERVICE FEE	75.00
			DOOR ADJUSTMENT AND REPAIR- PD	336.00
				<u>411.00</u>
05/11/2026	124993	WSB & ASSOCIATES, INC.	MARCH LYNGBLOMSTEN SENIOR HOUSING SITE	877.50
			MARCH MARKET PL DR REALIGNMENT	1,503.00
			MARCH WINTERS WETLAND BANK	3,244.00
			MARCH WATER TREATMENT PLANT	48,579.85
			MARCH 2025 ST RECON & MUN UTILITY EXT	3,927.50
			MARCH NATURES REFUGE NORTH	394.50
			MARCH WATERMARK 8TH ADDITION	1,663.00
			MARCH SLATER ADDITION	131.50
			MARCH WILKINSON WATERS	5,200.75
			MARCH 2025 BIRCH ST SANITARY SEWER	8,849.25
			MARCH SP062-660-013 I35E & CR J INTERCH	131.50
			MARCH JAVA PROPERTIES - LINO LAKES 2.0	526.00
			MARCH LYNGBLOMSTEN NURSING HOME FACILIT	2,087.50
			MARCH OTTER LAKE RD EXT PROJ - ROW SERV	6,535.25
			MARCH PELTIER PONDS	1,724.50
			MARCH 2025 SURFACE WATER MGMT PROJ	20,182.00
			MARCH OTTER CROSSING SOUTH	526.00
			MARCH CLEARWATER COMMONS	263.00
			MARCH HARVEST GRANGE (NELSON REHBEIN)	263.00
			MARCH CHIPOTLE CLEARWATER COMMONS	400.25
			MARCH JAVA LINO LAKES 2ND ADDITION	1,643.25
			MARCH HAMPTON PROPERTY	1,315.00
			MARCH CSAH 21-32 ROUNDABOUT REVIEW	1,672.50
			MARCH 2026 TRUNK WATERMAIN PROJECT	11,047.00
			MARCH SHENANDOAH DRAINAGE FINAL DESIGN	11,449.50
			MARCH 2025 LUMEN FIBER EXTENSION	682.50
			MARCH 2026 REHABILITATION PROJECT	723.25
			MARCH 2026 PRIVATE UTILITY PERMITS	1,579.25
			MARCH 2026 PUBLIC WORKS UTILITY EXT	20,731.00
			MARCH PINE OAKS CP	394.50
			MARCH VALVOLINE (CLEARWATER COMMONS)	526.00
			MARCH PUBLIC WORKS FACILITY PLAN REVIEW	5,440.50
			MARCH OTTER CROSSING SOUTH 2ND ADDITION	2,661.25
			MARCH TACO BELL (OTTER CROSSING SOUTH 2	2,389.75
			MARCH 2026 GENERAL ENGINEERING SERVICES	8,290.58
			MARCH WATERMARK PARK	1,693.25
			2026 STREET SEAL COAT	1,478.00
			2026 MISC ENGINEERING	657.50
			SUNSET AVE TRUNK UTILITIES PH 1 WEST RE	5,760.75
			MARCH 2026 GPS-GIS MISC ASSISTANCE	4,387.50
				<u>191,532.68</u>
05/11/2026	124994	CORE & MAIN LP	WATER METERS	15,325.10

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Check Date	Check	Vendor Name	Description	Amount
Bank CKING POOLED CHECKING				
CKING TOTALS:				
Total of 81 Checks:				2,021,106.18
Less 1 Void Checks:				30,650.20
Total of 80 Disbursements:				<u>1,990,455.98</u>



Electronic Funds Transfer
 MN Statute 471.38 Subd. 3

Council Meeting May 11, 2026

Transfer In/(Out)

4/24/2026 Payroll #09	(234,587.66)
4/24/2026 Payroll #09 Federal Deposit	(66,352.25)
4/24/2026 Payroll #09 PERA	(65,614.07)
4/24/2026 Payroll #09 State	(15,195.83)
4/24/2026 Payroll #09 H.S.A. Bank Pretax	(4,372.44)
4/24/2026 Payroll #09 TASC Pretax	(2,080.58)
4/24/2026 Payroll #09 Mission Sq 457 Def. Comp #301596	(3,270.00)
4/24/2026 Payroll #09 Mission Sq Roth IRA #706155	(720.00)
4/24/2026 Payroll #09 MSRS HCSP #98946-01	(5,476.96)
4/24/2026 Payroll #09 MSRS Def. Comp #98945-01	(1,505.00)
4/24/2026 Payroll #09 MSRS Roth IRA #98945-01	(1,330.00)
4/24/2026 Payroll #09 MSRS HCSA Vac/Sev	(1,520.98)
5/1/2026 Council Payroll #05 Federal Deposit	(182.30)
5/1/2026 Council Payroll #05 PERA	(490.78)
5/1/2026 Council Payroll #05 State	(27.26)
5/1/2026 Payroll Remit Inv - Met Life MN Paid Leave	(5,532.37)
5/1/2026 Payroll Remit Inv - Met Life MN Paid Leave	(5,605.04)

**LINO LAKES CITY COUNCIL
REGULAR MEETING
MINUTES**

DATE: April 27, 2026
TIME STARTED: 6:39 PM
TIME ENDED: 7:24 PM
LOCATION: City Council Chambers
MEMBERS PRESENT: Mayor Rafferty Councilmembers Lyden, Nelson, Ruhland and Rennaker
MEMBERS ABSENT: None

Staff Members Present: City Administrator Karen Anderson, City Clerk Roberta Colotti, Community Development Director Mike Grochala, City Planner Katie Larsen, City Engineer Diane Hankee, Environmental Specialist Tom Hoffman, Public Works Superintendent Justin Williams, Finance Director Tracy Thoma, Communications Specialist Andrea Turner, Fire Chief Dan L’Allier, Chief of Police Curt Boehme, Police Department Office Manager Margie Schlueter, Police Officers Kayla McKinney, Colton Timmons and David Staigerwald.

The meeting was called to order by Mayor Rafferty at 6:39 PM.

SETTING THE AGENDA

The agenda was approved as presented.

Mayor Rafferty announced that the regularly scheduled Work Session for 6:00 p.m. this evening has been cancelled due to the 5:30 p.m. Local Board of Appeal & Equalization meeting extending into that time.

Council Member Nelson, stated that the item “Utility Company Tree Trimming Project” listed on the Work Session agenda for this evening, will be discussed at the next Work Session.

SPECIAL PRESENTATIONS

Mayor Rafferty administered the Oath of Police Service for Officers Kayla McKinney, Colton Timmons and David Staigerwald.

PUBLIC COMMENT

Mayor Rafferty opened the public comment period.

Teresa O’Connell, 1000 Main Street, Lino Lakes, stated that she spoke at a previous meeting about the 2026 Public Works Facility project construction costs, and options for a well and septic system. She stated that she would speak with staff further about this matter. She noted that it was too expensive to run water and sewer to the new Wilkinson Waters development, and they had to contract with White Bear Township for service. Yet, the city is running water and sewer to the public works facility.

Ms. O'Connell stated that regarding the bike path on Main Street. The design is great for her, however, at the meeting including Lino Lakes and Columbus there was interest in an off-road bike path for kids to use. There was opposition to an on-road bike path on Lake Street. She stated that it is important to have a safe path for kids to get from point A to point B on Main Street.

Charlie Roadfeldt, 6640 Sherman Lake Road, Lino Lakes, reported that last Friday, he walked along Sherman Lake Road and notice 20 different oil spills, from where the garbage truck stopped. He called ACE as this is the second time there have been oil spills on the road. There was also a separate anti-freeze spill. He asked what more the City could do to mitigate the issue.

Mayor Rafferty stated that staff will review and follow up with Mr. Roadfeldt.

Councilmember Nelson stated that there has been the same issue in her neighborhood.

Nathan N., High School Student, stated that as part of his History Class assignment he had to pick a topic and take action. He chose the topic of Menthol and Other Flavored Commercial Tobacco Product sales. He requested that the City Council adopt an ordinance prohibiting the sale of these products because of the impact on students and environmental impacts from improper disposal of related plastics. He presented a MN Star Tribune article dated April 22, 2026 titled "Opinion | Vapes are hooking kids. Plymouth City Council can make a difference" and a flyer from the Minnesotans for a Smoke-Free Generation titled "Ending the Sale of All Menthol and Other Flavored Commercial Tobacco Products". He reported that the City of Shoreview has adopted an ordinance prohibiting Menthol and Other Flavored Commercial Tobacco Product sales. He asked that the City of Lino Lakes adopt an ordinance prohibiting Menthol and Other Flavored Commercial Tobacco Product sales.

Councilmember Nelson thanked Nathan for his presentation. She stated that this is an important topic.

Jon Hermann, 7859 Lois Lane, Lino Lakes, stated that he has worked with Great River Energy (GRE) on the maintenance of the easement below their transmission lines, on his property, over the years. Over time there were three different large projects that he did in cooperation with GRE including a White Pine tree replacement, replanting of lilacs, and a replacement of a grass area within the easement. He said that in each of those cases he worked with a Representative of GRE on the selection of the new plants.

Mr. Hermann stated that in 2026, while he was out of town, a tree company for GRE placed a door hanger at his home advising that a number of trees were scheduled for removal. He stated that with this current plan, nothing under the transmission lines is going to be allowed to stand. He stated that he understands that the city does not have authority to regulate the maintenance of the easement, however, he is asking that the city assist in reaching a resolution. He stated that he had the contact information for the representative at GRE that he has been working with on this matter.

Mayor Rafferty asked that he provide the contact information to the City Clerk.

Motion to Close the Public Comment period at 6:54 p.m.

RESULT:	CARRIED [5-0]
MOVER:	Ruhland
SECONDER:	Lyden
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

1. CONSENT AGENDA

- A. Approval of Expenditures for April 27, 2026 (Check No. 124827 through 124913) in the Amount of \$623,638.35
- B. Approval of March 30, 2026, City Council Special Work Session Minutes
- C. Approval of April 13, 2026, City Council Work Session Minutes
- D. Approval of April 13, 2026, City Council Meeting Minutes
- E. Approval of Exempt Gambling Permit, Lino Lakes Lions
- F. Hiring of Part-Time Staff for the Rookery Activity Center
- G. Adopt Resolution No. 26-54, Approving Site Improvement Performance Agreement for O'Reilly Auto Parts at Java Lino Lakes 2nd Addition
- H. Approval of Resolution No. 26-62, Purchase of Mobile Post Lifts for Public Works Facility

Motion to Approve Consent Agenda Items 1A through 1H as presented.

RESULT:	CARRIED [5-0]
MOVER:	Nelson
SECONDER:	Ruhland
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

2. FINANCE DEPARTMENT REPORT

- A. Resolution 26-59, Awarding Sale of General Obligation Bonds
Item reviewed at 7:07 p.m.

Motion to Approve Resolution 26-59 Awarding the Sale of General Obligation Bonds, Series 2026A, in the Original Aggregate Principal Amount of \$8,355,000; Fixing Their Form and Specifications; Directing Their Execution and Delivery; and Providing for Their Payment.

RESULT:	CARRIED [5-0]
MOVER:	Lyden
SECONDER:	Ruhland
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

B. Resolution No. 26-59, Authorizing the Execution and Delivery of a Ground Lease

Motion to Approve No. 26-63 Authorizing the Execution and Delivery of a Ground Lease, Lease-purchase agreement, and Related Documents with the Lino Lakes Economic Development Authority.

RESULT:	CARRIED [5-0]
MOVER:	Nelson
SECONDER:	Rennaker
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

3. ADMINISTRATION DEPARTMENT REPORT

No Report

4. POLICE DEPARTMENT REPORT

No Report

5. FIRE DEPARTMENT REPORT

No Report

6. PUBLIC SERVICES DEPARTMENT REPORT

No Report

7. COMMUNITY DEVELOPMENT REPORT

- A. Resolution No. 26-55, Approving Grading Agreement for Peltier Ponds

Motion to Approve Resolution No. 26-55, Approving Grading Agreement for Peltier Ponds.

RESULT:	CARRIED [5-0]
MOVER:	Rennaker
SECONDER:	Ruhland
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

- B. 24 Century Trail

Motion Waive Full Reading of Ordinance No. 03-26, Vacating Drainage Easement, 24 Century Trail, Lot 2, Block 1, Century Farm North.

RESULT:	CARRIED [5-0]
MOVER:	Nelson
SECONDER:	Ruhland
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

Motion to provide second reading and adopt Ordinance No. 03-26, Vacating Drainage Easement, 24 Century Trail, Lot 2, Block 1, Century Farm North.

RESULT:	CARRIED [5-0]
MOVER:	Rennaker
SECONDER:	Lyden
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None
Roll Call Vote	

Motion to Approve Resolution No. 26-56, Approving Summary Publication of Ordinance No. 03-26.

RESULT:	CARRIED [5-0]
MOVER:	Rennaker
SECONDER:	Lyden
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

C. Resolution No. 25-58, 2026 Seal Coat and Crack Fill Project

Motion to Approve Resolution No. 26-58, Accepting Quotes, and Awarding a Construction Contract, 2026 Seal Coat and Crack Fill Project.

RESULT:	CARRIED [5-0]
MOVER:	Nelson
SECONDER:	Ruhland
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

D. Resolution No. 26-57, Production Well No. 7

Motion to Approve Resolution No. 26-57, Authorize the Preparation of Plans and Specs, Production Well No. 7.

RESULT:	CARRIED [5-0]
MOVER:	Rennaker
SECONDER:	Ruhland
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

E. Wilkinson Waters Addition

Motion to Resolution No. 26-60 for PUD Final Plan/Final Plat.

RESULT:	CARRIED [5-0]
MOVER:	Nelson
SECONDER:	Lyden
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

Motion to Resolution No. 26-61 for Development Agreement.

RESULT:	CARRIED [5-0]
MOVER:	Rennaker
SECONDER:	Ruhland
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

8. UNFINISHED BUSINESS

No Report

9. NEW BUSINESS

No Report

10. NOTICES AND COMMUNICATIONS

- A. Economic Development Authority (EDA) Meeting, immediately following the Council Meeting this evening, in the Council Chambers.
- B. Park Board Meeting, Tuesday, April 28, 2026, at 6:30 p.m. at City Hall in the Police Workroom.

ADJOURNMENT

Mayor Rafferty adjourned the meeting at 7:24 p.m.

These minutes were approved at the City Council Meeting on May 11, 2026.

Roberta Colotti, CMC
City Clerk

Rob Rafferty,
Mayor

**Lino Lakes City Council
Special Work Session
Minutes**

DATE: May 4, 2026
TIME STARTED: 6:02 P.M.
TIME ENDED: 6:56 P.M.
LOCATION: Community Room
MEMBERS PRESENT: Mayor Rafferty Councilmembers Lyden, Nelson, Ruhland and Rennaker
MEMBERS ABSENT: None

Staff Members Present: City Administrator Karen Anderson, City Clerk Roberta Colotti and City Attorney Kristin Nierengarten.

1. Call to Order and Roll Call

Mayor Rafferty called the meeting to order at 6:02 p.m.

2. Setting the Agenda: Addition or Deletion of Agenda Items

The agenda was adopted as presented.

3. City Council Training: Council's Role, Responsibilities & Governance

The City Attorney presented a governance training session relating to the Council's role, governance responsibilities, duties to the public and steps for responding to question and complaints.

The City Council reviewed and discussed the materials as presented.

4. Adjournment

Mayor Rafferty adjourned the meeting at 6:56 p.m.

These minutes were approved at the regular Council Meeting on May 11, 2026.

Roberta Colotti, CMC
City Clerk

Rob Rafferty,
Mayor

**Lino Lakes City Council
Work Session
Minutes**

DATE: May 4, 2026
TIME STARTED: 7:46 P.M.
TIME ENDED: 8:20 P.M.
LOCATION: Community Room
MEMBERS PRESENT: Mayor Rafferty Councilmembers Lyden, Nelson, Ruhland and Rennaker
MEMBERS ABSENT: None

Staff Members Present: City Administrator Karen Anderson, City Clerk Roberta Colotti, Community Development Director Mike Grochala, City Planner Katie Laresen, and Chief of Police Curt Boehme.

1. Call to Order and Roll Call

Mayor Rafferty called the meeting to order at 7:46 p.m.

2. Setting the Agenda: Addition or Deletion of Agenda Items

Mayor Rafferty requested that Item #4, Utility Company Tree Trimming Project be removed from the agenda as it was discussed at the May 1, 2026, Special City Council Meeting.

The City Administrator requested that Item #6, City Administrator Update be removed from the agenda.

The agenda was adopted as amended to remove the items as listed.

3. Lyngblomsten PUT Amendment #4

The City Planner stated that Lyngblomsten at Lino Lakes, LLC, submitted a Land Use Application for PUD Amendment #4. They are requesting an amendment to the PUD Preliminary Plan/Preliminary Plat ("PUD Amendment") to construct a 4-story mixed use building at the southeast corner of the site. The first floor would be commercial uses, and the other three floors would be 59 market-rate independent living units for residents age 55 and older.

The applicant was present to answer any questions.

The Council was in favor of the project as presented.

The City Planner stated that this item will be presented at the May 11, 2026 regular meeting for formal action.

4. 2026-2027 Business License Renewals

The City Clerk reviewed the status of the 2026-2027 business license applications and new business licenses applications that will be presented at the May 11, 2026 meeting for formal action. She reviewed the request of Allure Salon & Spa to extend the massage therapy license to August 31, 2026 as they will be moving from the site at that time and continuing to offer hair and nail services but no longer offer massage therapy. She reviewed the pending sale of an off-sale

liquor license holder's business. She reviewed the background check requirements for corporations/organizations with a board of directors, renewing their business licenses.

Council Consensus

It was the consensus of the City Council to extend the current massage therapy business and therapist license held by Allure Salon & Spa to August 31, 2026. Furthermore, to provide for a point of contact to be identified by corporations/organizations with a board of directors to be required to complete the background check as part of the application renewal process.

5. Notices and Communications

Councilmember Rennaker noted that he has started to see advertising for the Del-Webb project.

Mayor Rafferty asked about the status of the Lennar development.

The Community Development Director stated that they are at the grading phase.

Mayor Rafferty requested a report on the public works facility bids received today.

The Community Development Director stated that the bids are being reviewed for accuracy at this time. Once that is complete, they will be presented to the City Council for formal action. That is scheduled for May 11th. He said some were over the estimate and some were under, with the overall total being within the budget estimate. He said the city is basically acting as the general contractor so there were approximately 30 different aspects being bid.

Councilmember Ruhland asked if different contractors bid under this structure then as with a general contractor structure for past projects.

The Community Development Director stated that there was a wide spectrum of bidders that responded. The notice was posted to the legal newspaper as well as a contractor platform. There were two elements that did not receive any bids, and the city will be seeking quotes for that work.

6. Adjournment

Mayor Rafferty adjourned the meeting at 8:20 p.m.

These minutes were approved at the regular Council Meeting on May 11, 2026.

Roberta Colotti, CMC
City Clerk

Rob Rafferty,
Mayor

**Lino Lakes City Council
Special Closed Meeting
Minutes**

DATE: May 4, 2026
TIME STARTED: 6:58 P.M.
TIME ENDED: 7:40 P.M.
LOCATION: Council Work Room
MEMBERS PRESENT: Mayor Rafferty Councilmembers Lyden, Nelson, Ruhland and Rennaker
MEMBERS ABSENT: None

Staff Members Present: City Administrator Karen Anderson, City Clerk Roberta Colotti, Community Development Director Mike Grochala, and City Attorney Zach Cronen.

1. Call to Order and Roll Call

Mayor Rafferty called the meeting to order at 6:58 p.m.

2. Setting the Agenda: Addition or Deletion of Agenda Items

The agenda was adopted as presented.

3. Annoucement

Mayor Rafferty stated that the next agenda item is a Motion to go into Closed Session to discuss confidential legal strategy regarding possible litigation for the City’s acquisition of right-of-way. The Open Meeting Law, Minnesota Statues section 13D.05, subdivision 3(b), allows the City Council to close a meeting for the following purpose, among others: for confidential discussions permitted by the attorney-client privilege. The City Council will close the meeting to meet with its attorney regarding the City’s options with respect to the possible litigation and strategies for the same. There is a need for absolute confidentiality because the City’s position would be compromised if such discussion took place in public and could be overheard by adverse parties, and thus, the City’s interest in maintaining confidentiality outweighs the public’s right to hear the discussion. Accordingly, pursuant to the law I have cited, I will hereby entertain a motion that this meeting be closed pursuant to the attorney-client privilege.

4. Motion to go into Closed Session

Motion to go into Closed Session pursuant to Minnesota Statues, Section 13D.05 at 7:01 p.m.

RESULT:	CARRIED [5-0]
MOVER:	Ruhland
SECONDER:	Rennaker
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

5. Closed Meeting Discussion with City Attorney

Discussion with legal counsel regarding possible litigation for the City’s acquisition of right-of-way.

6. **Motion to Return to Open Session**
Motion to return to Open Session at 7:40 p.m.

RESULT:	CARRIED [5-0]
MOVER:	Nelson
SECONDER:	Rennaker
AYES:	Rafferty, Lyden, Nelson, Ruhland and Rennaker
NAYS:	None

7. **Adjournment**
Mayor Rafferty adjourned the meeting at 7:40 p.m.

These minutes were approved at the regular Council Meeting on May 11, 2026.

Roberta Colotti, CMC
City Clerk

Rob Rafferty,
Mayor

**CITY COUNCIL
STAFF REPORT
AGENDA ITEM 1.F.**

STAFF ORIGINATOR: Roberta Colotti, City Clerk

MEETING DATE May 11, 2026

AGENDA ITEM: Adopt Resolution No. 26-70, Solicitor License, Edward Jones

VOTE REQUIRED: Simple Majority

INTRODUCTION

The Council is being asked to approve Resolution No. 26-70 Authorizing the Issuance of a Solicitor's License to Edward Jones.

BACKGROUND

The attached resolution outlines the conditions and requirements for the issuance of a solicitor's permit to the applicant. All conditions must be met prior to the permit being finalized and as a condition of continued maintenance of the permit. The list of salespeople is included in the resolution. All salespeople are required to complete a successful background check as a condition of approval.

RECOMMENDATION

Motion to adopt Resolution No. 26-70 Authorizing the Issuance of a Solicitor's License to Edward Jones.

ATTACHMENTS

1. 26-70 - Resolution - Solicitor Edward Jones

**CITY OF LINO LAKES
RESOLUTION NO. 26-70**

**AUTHORIZING THE ISSUANCE OF A SOLICITOR LICENSE TO
EDWARD JONES**

WHEREAS, Edward Jones, 407 Lake Street S., Forest Lake, MN, has applied for a solicitor license to allow the following salespeople to solicit within the City of Lino Lakes:

1. Andrew Fish

WHEREAS, Edward Jones will be required to comply with the provisions of Chapter 613 of the Lino Lakes City Code for obtaining the necessary license as a condition of issuance.

NOW, THEREFORE, BE IT RESOLVED that the City Council of Lino Lakes, Minnesota hereby approves the request of Edward Jones to solicit throughout Lino Lakes for a period of six (6) months, for a license term beginning within the year 2026, contingent upon successful completion of all conditions of the license.

Adopted by the City Council of the City of Lino Lakes on May 11, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC
City Clerk

**CITY COUNCIL
STAFF REPORT
AGENDA ITEM 1.G.**

STAFF ORIGINATOR: Roberta Colotti, City Clerk

MEETING DATE May 11, 2026

AGENDA ITEM: Adopt Resolution No. 26-83, Approving an Off-Sale Liquor and Tobacco License for BJP LLC

VOTE REQUIRED: Simple Majority

INTRODUCTION

BJP LLC (DBA BJP) has submitted an Off-Sale Liquor License and Tobacco Sales License application for the site located at 6501 Ware Road, Lino Lakes, MN 55014.

BACKGROUND

This new liquor store will be taking over the site of the former JP's Liquor Wine & Beer on June 1, 2026. All conditions of the license will be required to be met prior to issuance of the license.

RECOMMENDATION

Motion to Adopt Resolution No. 26-83, Approving an Off-Sale Liquor and Tobacco License for BJP LLC.

ATTACHMENTS

1. 26-83 - Resolution - Liquor and Tobacco Lic - BJP

**CITY OF LINO LAKES
RESOLUTION NO. 26-83**

APPROVING AN OFF-SALE LIQUOR AND TOBACCO LICENSE FOR BJP LLC

WHEREAS, BJP LLC (DBA BJP) has submitted an Off-Sale and Tobacco sales license application for the site located at 6501 Ware Road, Lino Lakes, MN 55014; and,

WHEREAS, the applicant will be required to pass a background check completed by the Lino Lakes Police Department and meet all conditions of approval for issuance of the license.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Lino Lakes, Minnesota, that the City hereby approves the issuance of an Off-Sale and Tobacco license to BJP LLC (DBA BJP), with said approval contingent upon applicants meeting all city and state requirements for said licenses.

Adopted by the City Council of the City of Lino Lakes this 11th day of May 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC
City Clerk

**CITY COUNCIL
STAFF REPORT
AGENDA ITEM 1.H.**

STAFF ORIGINATOR: Roberta Colotti, City Clerk

MEETING DATE May 11, 2026

AGENDA ITEM: Adopt Resolution No. 26-72, Approving a 3.2 On-Sale and Sunday Sales License for My Taco Stop

VOTE REQUIRED: Simple Majority

INTRODUCTION

My Taco Stop, Inc. (DBA My Taco Stop) has submitted a 3.2 On-Sale and Sunday Sales license application for the site located at 7997 Lake Drive, Lino Lakes, MN 55014.

BACKGROUND

This new restaurant will be taking over the site of the former Mama Mia Mexican Grill. All conditions of the license will be required to be met prior to issuance of the license.

RECOMMENDATION

Motion to Adopt Resolution No. 26-72, Approving a 3.2 On-Sale and Sunday Sales license for My Taco Stop.

ATTACHMENTS

1. 26-72 - Resolution - Liquor Lic - My Taco Stop

**CITY OF LINO LAKES
RESOLUTION NO. 26-72**

APPROVING A 3.2 ON-SALE AND SUNDAY SALES LICENSE FOR MY TACO STOP

WHEREAS, My Taco Stop, Inc. (DBA My Taco Stop) has submitted a 3.2 On-Sale and Sunday Sales license application for the site located at 7997 Lake Drive, Lino Lakes, MN 55014; and,

WHEREAS, the applicant will be required to pass a background check completed by the Lino Lakes Police Department, make payment of all fees and complete any required city and state application forms as a condition of license approval.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Lino Lakes, Minnesota, that the City hereby approves the issuance of a 3.2 On-Sale and Sunday Sales license to My Taco Stop, Inc. (DBA My Taco Stop), with said approval contingent upon applicants meeting all city and state requirements for said licenses, including but not limited to a successful background check, and payment of all license fees.

Adopted by the City Council of the City of Lino Lakes this 11th day of May 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC
City Clerk

**CITY COUNCIL
STAFF REPORT
AGENDA ITEM 1.I.**

STAFF ORIGINATOR: Roberta Colotti, City Clerk

MEETING DATE May 11, 2026

AGENDA ITEM: Adopt Resolution No. 26-48, Approving 2026-2027 Business License Renewals

VOTE REQUIRED: Simple Majority

INTRODUCTION

Presented for the consideration and approval of the City Council are the 2026-2027 business license renewal applications.

BACKGROUND

The licensing period for liquor, tobacco and massage therapist licenses in the City of Lino Lakes is one (1) year, commencing on July 1 and ending on June 30 of the following year. Enclosed is a resolution presenting the list of businesses for issuance of a 2026-2027 license, contingent upon successful completion of all required conditions for approval.

RECOMMENDATION

Motion to adopt Resolution No. 26-48, Approving 2026-2027 Business License Renewals.

ATTACHMENTS

1. 26-48 - Resolution - 2026-2027 Business License Renewals

**CITY OF LINO LAKES
RESOLUTION NO. 26-48**

APPROVING 2026-2027 BUSINESS LICENSE RENEWALS

WHEREAS, the licensing period for liquor, tobacco and massage therapist licenses in the City of Lino Lakes is one (1) year, commencing on July 1 and ending on June 30 of the following year; and,

WHEREAS, all applications will be verified that local licensing requirements have been met prior to issuance; and,

WHEREAS, a successful background check, completed by the Police Department is required as a condition of approval; and,

WHEREAS, the following applicants are presented for renewal:

Liquor License Business Name	Liquor License DBA	Type of License
American Legion 566	Am Leg Post 566	MCLONSS - Club License
TnT MINN, Inc.	Campanelle Restaurant & Bar	On-Sale
Casey's Retail Company	Casey's General Store #3935	3.2 Off Sale
Myithar LLC	Chili Thai & Cuisine	MWNONSB / 3.2 ONSS
Anoka County	Chomonix Golf Course	On-Sale
BJP LLC	BJP	Off-Sale
Don Julio Lakes, Inc.	Don Julio Mexican Restaurant	On-Sale
El Zocolito LLC	El Zocalo Grill & Cantina	On-Sale
FTA Lino Lakes LLC	Fiesta Mexican Grill & Bar	On-Sale
Cherokee Liquors, Inc.	G-Will Liquors	Off-Sale
JP's Liquor Wine & Beer LLC	JP's Liquor Wine & Beer	Off-Sale
Kwik Trip, Inc.	Kwik Trip #1266	3.2 Off Sale
Lyngblomsten at Lino Lakes LLC	Lyngblomsten at Lino Lakes	On-Sale

Muddy Cow Lino Lakes LLC	MC's Tap House	On-Sale
My Taco Stop, Inc.	My Taco Stop	3.2 On Sale
Target Corporation	Target Store T-1448	Off-Sale
C.A. Wagner, Inc.	The Tavern on Main	On-Sale
Trappers Bar & Grill LLC	Trappers Bar & Grill	On-Sale / Off Sale

**All Include Sunday Sales*

Tobacco License Business Name	Tobacco License DBA
AK Smoke Zone	AK Smoke Zone
Rademacher Companies Inc.	Bill's Superette
Casey's Retail Company	Casey's General Store #3935
Anoka County	Chomonix Golf Course
BJP LLC	BJP
Cherokee Liquors, Inc.	G-Will Liquors
Holiday Stationstores, LLC	Holiday Stationstore #2746376
JP's Liquor Wine & Beer	JP's Liquor Wine & Beer
Kwik Trip, Inc.	Kwik Trip #1266
Lakes 1 Stop	Lakes 1 Stop
Lino Lakes Quick Stop	Lino Lakes Quick Stop
Lino Lakes Tobacco & Vape, Inc.	Lino Lakes Tobacco & Vape, Inc.
Three Stores, LLC	Snak Atak #102

Massage Business License
DBA Blue Heron Hair Salon / Hair & Makeup by Loreen
Everyday Kneads
Heather's Healing Hands
Revitalize Therapeutic Massage

Therapist License	Employer Business Name
Emilie Krienert	Everyday Kneads
Heather Lewis	Heather's Healing Hands
Sara Thornbloom	Heather's Healing Hands
Melody Nelson	DBA Blue Heron Hair Salon / Hair & Makeup by Loreen
Rebeka Olson	Revitalize Therapeutic Massage

NOW, THEREFORE, BE IT RESOLVED by the City Council of Lino Lakes, Minnesota, that the City hereby approves renewal of the above-listed liquor licenses, with said approval contingent upon applicants meeting all city and state requirements for said licenses, including but not limited to a successful background check, payment of all license fees, any required certificate of insurance forms, and securing any state required license.

Adopted by the City Council of the City of Lino Lakes this 11th day of May 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC
City Clerk

**CITY COUNCIL
REGULAR MEETING STAFF REPORT
AGENDA ITEM 1J**

STAFF ORIGINATOR: Diane Hankee, City Engineer

MEETING DATE: May 11, 2026

TOPIC: Resolution No. 26-68, Approving Site Improvement Performance Agreement for Wilkinson Waters Apartments

VOTE REQUIRED: Simple Majority

INTRODUCTION

Staff is requesting that City Council approve the site improvement performance agreement for Wilkinson Waters Apartments.

BACKGROUND

The City reviewed a land use application site and building plan for Wilkinson Waters Apartments, a multi-family apartment development located on North Oaks Company Inc. property south of County Road J/Ash Street/CSAH 32, west of Centerville Road/CSAH 21 and north of Wilkinson Lake Boulevard. The proposed multi-family apartment development plans meet ordinance and performance standards and staff recommends approval of the project.

City Code Section 1007.020(5)(d) requires the execution of a site performance agreement prior to issuance of a building permit.

RECOMMENDATION

Staff is recommending the City Council approve Resolution 26-68 approving the site improvement performance agreement for Wilkinson Waters Apartments.

ATTACHMENTS

1. Resolution No. 26-68
2. Site Improvement Performance Agreement

**CITY OF LINO LAKES
RESOLUTION NO. 26-68**

**APPROVING SITE IMPROVEMENT PERFORMANCE AGREEMENT WITH KNUTE
DEVELOPMENT, LLC AT WILKINSON WATERS ADDITION**

WHEREAS, the City has completed review of the site and building plans for Wilkinson Waters Apartments; and

WHEREAS, the Wilkinson Waters Apartment Site Improvement Performance Agreement is valid only upon recording of the Wilkinson Waters final plat, and the execution of the Development Agreement. The legal description of the property is Lot 1, Block 1, Wilkinson Waters Addition.; and

WHEREAS, City Code Section 1007.020(5)(d) requires the execution of a site performance agreement prior to issuance of a building permit.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Lino Lakes that the Site Improvement Performance Agreement between the City of Lino Lakes and Knute Development, LLC is hereby approved and the Mayor and City Clerk are authorized to execute such agreements on behalf of the City.

Adopted by the Council of the City of Lino Lakes this 11th day of May, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

**CITY OF LINO LAKES, MINNESOTA
SITE IMPROVEMENT PERFORMANCE AGREEMENT**

THIS AGREEMENT made this _____ day of _____, 2026, is by and between the **City of Lino Lakes**, a municipal corporation organized under the laws of the State of Minnesota, and Knute Development, LLC a Minnesota Limited Liability Company (“Developer”).

WHEREAS, the Developer has received approval of Site Development Plans Wilkinson Waters Apartments, hereinafter called the "Plans", by the City of Lino Lakes on the ___ day of _____, 2026, and in accordance with the Plans all of which are made a part hereof by reference. In consideration of such approval, the Developer, its successors and assigns, does covenant and agree to perform the work as set forth in the Plans, in the aforesaid approval, and as hereinafter set forth upon the real estate (hereinafter referred to as "Property") described as follows:

LOT 1, BLOCK 1, WILKINSON WATERS ADDITION

NOW, THEREFORE, in consideration of the mutual promises of the parties made herein,

IT IS AGREED BY AND BETWEEN THE PARTIES HERETO:

I. DESIGNATION OF IMPROVEMENTS.

- A. Improvements on the project site to be installed at the Developer’s expense by the Developer as hereinafter provided are hereinafter referred to as “On-site Work”.
- B. Improvements off the project site to be installed at the Developer’s expense, if any, by the Developer as hereinafter provided are hereinafter referred to as “Off-Site Work”. There is no proposed Off-site Work.
- C. Developer shall enter into a Declaration for Maintenance of Stormwater Facilities.

II. ON-SITE WORK.

- A. On-Site Work. The On-Site Work shall consist of the improvements described in the approved Plans, to include any approved subsequent amendments, and shall be in compliance with all applicable statutes, codes and ordinances of the City. The On-Site Work includes all on-site exterior amenities as shown on the approved Plans and as required by the plan approval, such as, but

not limited to: landscaping, private driveways, parking areas, sanitary sewer extension, water system extension, storm drainage systems, curbing, lighting, fencing, fire lanes, sidewalks, exterior building architectural design and building elements, site grading and erosion control measures.

Such improvements shall be completed in accordance with Section VII herein.

- B. Cost Estimates. The Developer shall provide the City with a written estimate of all applicable costs of the On-Site Work, itemized by type; the estimates shall be based upon the actual estimates provided by the contractors who are to do the Work. Said cost estimates shall be reviewed by the City, and the City shall establish the actual amount of the financial guarantee. The description and estimated cost of Developer's On-Site Work are as follows:

	Description of Improvements	Estimated Costs
1.	Lighting	\$ 180,000.00
2.	Fences / Screen Structures	\$ 300,000.00
3.	Trash Disposal Structures	\$ 20,000.00
4.	Curbing / Islands / Delineators	\$ 130,410.00
5.	Storm Drainage Systems / Sewers / Catch Basins / Culverts / Swales	\$ 370,980.00
6.	Public Trails and / or Sidewalk	\$ 0.00
7.	Private Trails and / or Sidewalk	\$ 218,000.00
8.	Driveway / Curb cut / Parking Lot / Fire Lane	\$ 441,500.00
9.	Water mains / Hydrants / Sanitary Sewers	\$ 389,405.00
10.	Landscaping	\$ 200,000.00
11.	Site Grading	\$ 50,000.00
12.	Erosion Control	\$ 5,000.00
	Total Estimated Cost of Developer Improvements	\$ 2,305,295.00
	Security Requirement (Total * 35%)	\$ 806,853.00

III. OFF-SITE WORK - There is no proposed Off-site Work.

IV. EASEMENTS/RIGHT OF WAY

- A. The easements and Right of Way for the project are being dedicated through the Wilkinson Waters final plat. If there are additional

easements needed for the project the developer shall dedicate them to the City.

V. DEVELOPER FEES.

A. Trunk Sanitary Sewer Connection Fees

The City established trunk utility connection fees to uniformly distribute the costs of public trunk sanitary sewer infrastructure. The Trunk Utility Connection Fee consists of two components; a Trunk Charge and an Availability Charge.

Trunk Charge

The trunk charges were paid at the time of subdivision.

Availability Charge

The availability charges were paid at the time of subdivision.

Trunk sewer unit charges addressed under this paragraph are in addition to any SAC charges imposed by Metropolitan Council Environmental Services.

B. Trunk Water Connection Fees

The City established trunk utility connection fees to uniformly distribute the costs of public trunk water infrastructure. The Trunk Utility Connection Fee consists of two components; a Trunk Charge and an Availability Charge.

Trunk Charge

The trunk charges were paid at the time of subdivision.

Availability Charge

The availability charges were paid at the time of subdivision.

C. Surface Water Management Area Charges were paid at the time of subdivision.

		Unit	Fee
1.	Sanitary Sewer Trunk Unit Fee (\$1,855/unit; 2.92 units/Acre)	213	Paid Previously
2.	City Sewer Availability Fee (\$1,737/SAC Unit)	213	Paid Previously
3.	Water Trunk Unit Fee (\$2,666/unit; 2.92 units/Acre)	213	Paid Previously
4.	City Water Availability Fee (\$1,677/SAC Unit)	213	Paid Previously
5.	City Surface Water Management Fee (\$/Acre)		Paid Previously
	Total Estimated (Budget) Developer Fees		Paid Previously

- D. Metropolitan Council Environmental Services (MCES) Sewer Availability Charges (SAC) are in addition to the fees referenced above and shall be determined by MCES, and shall be paid with the Building Permit. Based on the current SAC determination of 213 units the MCES SAC would be \$529,305.00.

VI. RECORD DRAWINGS.

- A. Upon project completion, Developer shall submit record drawings, in electronic format, of all public and private infrastructure improvements, including grading, sanitary sewer, water main, storm sewer facilities, and roads, constructed by Developer. The as-built survey must include, but is not limited to, proposed and final contours with adequate elevation shots to show conformance, property irons (to be exposed in field), low floor and low opening elevations, and the 100-Year High Water Level (HWL) of all ponds, lakes, and wetland areas. The files shall be drawn in Anoka County NAD 83 Coordinate system and provided in both AutoCAD .dwg and Adobe .pdf file formats. The plans shall include accurate locations, dimensions, elevations, grades, slopes and all other pertinent information concerning the complete work. The Developer shall also submit certified compaction testing results for the site grading operations.
- B. A summary of the record plan attribute data for the storm sewer, water main, and sanitary sewer structures and pipes shall be submitted in the form of an Excel Spreadsheet as provided by the City Engineer.
- C. No securities will be fully released until all record drawings have been submitted and accepted by the City Engineer.
- D.

VII. COMPLETION DATE.

If the activities authorized by site and building plan approval are not initiated within twelve (12) months from the final execution of this agreement, then Developer will need to start the site and building plan approval process from the beginning. If after twenty-four (24) months from the final execution of this agreement the Developer has not completed the project the City reserves the right to use securities to address site issues to ensure compliance with City Codes.

VIII. GUARANTEE.

- A. The Developer will fully and faithfully comply with all terms and conditions of any and all contracts entered into by the Developer. Concurrently with the execution hereof by the Developer, the Developer will furnish to, and at all times thereafter maintain with the City, a cash deposit, certified check, or Irrevocable Letter of Credit, based on thirty-five (35%) percent of the total estimated cost of Developer's On-site Work. An Irrevocable Letter of Credit shall be for the exclusive use and benefit of the City of Lino Lakes and shall state thereon that the same is issued to guarantee and assure performance by the Developer of all the terms and conditions of this Development Contract, construction of all required improvements in accordance with the ordinances and specifications of the City and guarantees the workmanship and materials for the landscape improvements for a period of one year following the City's acceptance of the landscape improvements. The City reserves the right to draw, in whole or in part, on any portion of the Irrevocable Letter of Credit for the purpose of guaranteeing the terms and conditions of this contract, if Developer has been found to be in default of this agreement and only after providing Developer with written notice and opportunity to cure any default. The Irrevocable Letter of Credit shall be automatically extended for additional periods of one year from present or future expiration dates unless sixty (60) days prior to such the City Clerk or Administrator is notified in writing by certified mail or overnight mail that the Letter of Credit will not be renewed.
- B. Upon written request, The City will grant a reduction of the Letter of Credit, or cash deposit based on prepayment or the value of the completed improvements at the time of the requested reduction. The Developer may make such requests three times throughout the life of this agreement, with the third and/or final request being at the completion of the project. The City will respond to such request within 30 days time. Prior to the final acceptance of the Developer's Improvements the City shall require a Letter of Credit

or Cash Escrow to cover the warranty provisions of the agreement. The amount shall be agreed to by the City Engineer and Developer and Developer may use the Letter of Credit discussed in Section VI.A above.

VII. REIMBURSEMENT OF COSTS.

- A. The Developer agrees to establish a non-interest bearing escrow account with the City in an amount established by the City Engineer or his designee for the payment of all City fees and costs incurred by the City related to the On-site Work, including, but not limited to, the following:

1.	Site Plan Review Fee	\$0.00
2.	Administration (Legal, Engineering, Planning and Contract Administration)	\$48,000.00
3.	Negative Short Term Escrow Balance	\$0.00
	Total Estimated (Budget) Costs for Escrow Account	\$48,000.00

- B. If it appears that the actual costs incurred will exceed the estimate or that the actual costs incurred will be less than the estimate, then Developer and City shall review the costs required to complete the project. In such case, if the actual costs exceed the estimate, then Developer shall promptly pay the additional sums to the City to pay for the agreed upon increase. However, in such case where the actual costs are less than the estimate, the City shall promptly reimburse to Developer any amounts overpaid by the Developer. The Developer may request a statement of the account each month for review.
- C. Intentionally Deleted.

VIII. REMEDIES FOR BREACH.

- A. The City shall give prior written notice to the Developer of any default hereunder before proceeding to enforce such financial guarantee or before the City undertakes any work for which the City will be reimbursed through the financial guarantee. If within twenty (20) days after receipt of such written notice to it, the Developer has not notified the City by stating in writing the manner in which the default will be cured and the time within which such default will be cured, the City will proceed with the remedy it deems reasonably appropriate.
- B. At any time after the completion date and any extensions thereof, if any of the work is deemed incomplete, the City may proceed in any

one or more of the following ways to enforce the undertakings herein set forth, and to collect any and all expenses reasonably incurred by the City in connection therewith, including, but not limited to, engineering, legal, planning and litigation costs and expense. The enumeration of the remedies hereunder shall be in addition to any other remedies available to the City.

1. Specific Performance. The City may in writing direct the surety or the Developer to cause the Work to be undertaken and completed within a specified reasonable time. If the Developer fails to cause the Work to be done and completed in a manner and time reasonably acceptable to the City, the City may proceed to bring an action for specific performance to require work to be undertaken.
2. Completion by the City. The City, after written notice, may enter the premises and proceed to have the Work done either by contract, by day labor or by regular City forces. The Developer may not question the manner of doing such work or the letting of any such contracts for the doing of any such work; provided that all such work is performed in a reasonable manner, the costs are reasonable and the work is completed in a good and workman-like manner and in accordance with the approved plans and specifications. Upon completion of such work, the Developer shall promptly pay the City the full cost thereof as aforesaid.
3. Deposit of Financial Guarantee. In the event the financial guarantee has been submitted in the form of a Letter of Credit, the City may draw on the Letter of Credit the sum equal to the reasonably estimated cost of completing the Work, plus the City's reasonably estimated expenses as defined herein, including any other reasonable costs, expenses, and damages for which the surety may be liable hereunder, but not exceeding the amount set forth on the Letter of Credit. The money shall be deemed to be held by the City for the purpose of reimbursing the City for any reasonable costs incurred in completing the Work as hereinafter specified. Any funds remaining after completion of the project shall be promptly returned to the Developer.

IX. OCCUPATION OF PREMISES.

The Developer agrees that it will not cause to be occupied any portion of the building or improvements to be constructed upon the premises until completion of the building and site improvements as more fully described

in the approved plans and following issuance of a Certificate of Occupancy.

X. INSURANCE.

Developer or its general contractor shall take out and maintain until one year after the City accepted the Developer Improvements, public liability and property damage insurance covering personal injury, including death, and claims for property damage which may arise out of the Developer's or general contractor's work, as the case may be, or the work of its subcontractors or by one directly or indirectly employed by any of them. Limits for bodily injury and death shall be not less than Five Hundred Thousand and no/100 (\$500,000.00) Dollars for one person and One Million and no/100 (\$1,000,000.00) Dollars for each occurrence; limits for property damage shall be not less than One Million and no/100 (\$1,000,000.00) Dollars for each occurrence; or a combination single limit policy of Two Million and no/100 (\$2,000,000.00) Dollars or more. The City, its employees, its agents and assigns shall be named as an additional insured on the policy, and the Developer or its general contractor shall file with the City a certificate evidencing coverage prior to the City signing the plat. The certificate shall provide that the City must be given ten days advance written notice of the cancellation of the insurance. The certificate may not contain any disclaimer for failure to give the required notice.

XI. REIMBURSEMENT FOR LITIGATION EXPENSES.

The City and Developer agree that the prevailing party in any litigation pertaining to the enforcement of this Agreement shall be entitled to reimbursement from the non-prevailing party for all reasonable costs incurred by said prevailing party including court costs and reasonable engineering and attorneys' fees.

XII. VALIDITY.

If a portion, section, subsection, sentence, clause, paragraph or phrase in this Agreement is for any reason held to be invalid by a court of competent jurisdiction, such decision shall not affect or void any of the other provisions of the Site Improvement Performance Agreement.

XIII. GENERAL.

A. Binding Effect. The terms and provisions hereof shall be binding upon and inure to the benefit of the heirs, representatives, successors and assigns of the parties hereto and shall be binding

upon all future owners of all or any part of the Property and shall be deemed covenants running with the land.

- B. Notices. Whenever in this Agreement it shall be required or permitted that notice or demand be given or served by either party to this Agreement to or on the other party, such notice or demand shall be delivered personally or (i) mailed by United States mail by certified mail (return receipt requested) or (ii) sent by nationally recognized overnight carrier to the addresses hereinbefore set forth on Page 1. Such notice or demand shall be deemed timely given when delivered personally or when deposited in the mail or the overnight carrier in accordance with the above. The addresses of the parties hereto are as set forth on Page 1 until changed by notices given as above.
- C. Incorporation by Reference. All plans, special provisions, proposals, specifications and contracts for the improvements furnished and let pursuant to this Agreement shall be and hereby are made a part of this Agreement by reference as fully as if set out herein in full.
- D. Hours of Construction Activity. Construction activity shall be limited to the hours set out as follows:

Monday through Friday	7:00 a.m. to 7:00 p.m.
Saturday	9:00 a.m. to 5:00 p.m.
Sunday and Holidays	No working hours allowed

XIV. VIOLATIONS/BUILDING PERMITS.

In the event that Developer violates any of the covenants and agreements contained in this Site Improvement Performance Agreement and to be performed by the Developer, the City, at its option, and after providing written notice and opportunity to cure to Developer in addition to the rights and remedies as set out hereunder may refuse to issue building permits to any property within the development and/or stop building construction within the development until such time as such default has been corrected to the satisfaction of the City.

**CITY COUNCIL
REGULAR MEETING STAFF REPORT
AGENDA ITEM 1K**

STAFF ORIGINATOR: Michael Grochala, Community Development Director

MEETING DATE: May 11, 2026

TOPIC: Resolution No. 26-74, Approving Acquisition of Permanent Easement, 601 Prairie Flower Road, Birch Street Sanitary Sewer Crossing

VOTE REQUIRED: Simple Majority

INTRODUCTION

Staff is requesting City Council approval to acquire a Permanent Easement on property located at 601 Prairie Flower Road for the Birch Street Sanitary Sewer Crossing Project.

BACKGROUND

The City Council authorized the preparation of plans and specifications for the Birch Street Sanitary Sewer Crossing project on June 6, 2025. The project requires the acquisition of a Drainage and Utility easement on one parcel.

The easement is 857 Square Feet in area. Right of Way staff from WSB prepared a Minimum Damage Acquisition report and the property owner has agreed to the purchase amount of \$4,700.00

RECOMMENDATION

Staff is recommending approval of Resolution No. 26-74.

ATTACHMENTS

1. Resolution No. 26-74
2. Exhibit A, Legal Description
3. Exhibit B, PE Depiction

**CITY OF LINO LAKES
RESOLUTION NO. 26-74**

**APPROVING ACQUISITION OF PERMANENT EASEMENT, 601 PRARIE FLOWER
ROAD (PID 29-31-22-43-0034)
BIRCH STREET SANITARY SEWER CROSSING PROJECT**

WHEREAS, the City Council authorized preparation of plans and specifications for the construction of the Birch Street Sanitary Sewer Crossing on June 6, 2025, and

WHEREAS, the construction of the Project requires the acquisition of certain permanent easements on land within the City; and

WHEREAS, it is necessary that the City have title and possession of land interests for the Project before the construction contracts may be let, which is planned to occur in the summer of 2026; and

WHEREAS, WSB, LLC, the City's Engineer prepared a Minimum Damage Acquisition report for acquisition of the easement on property located at 601 Prairie Flower Road (Anoka County Tax Identification No. 29-31-22-43-0034) and legally described as Lot 13, Block 2, Birch Wood Acres, Anoka County, Minnesota; and

WHEREAS, the City and Owner of the Property have reached agreement on just compensation due for the acquisition of the permanent easements shown as legally described on Exhibit A and depicted on Exhibit B, attached hereto;

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Lino Lakes:

That the purchase of the permanent easement in the amount of \$4,700.00 is hereby approved.

BE IT FURTHER RESOLVED, that the City staff are authorized to complete all steps necessary to record the conveyance documents.

Adopted by the Council of the City of Lino Lakes this 11th day of May, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

EXHIBIT A

Description of Permanent Drainage and Utility Easement

A permanent easement for drainage and utility purposes over, under, and across part of the following described tract:

Lot 13, Block 2, Birch Wood Acres, Anoka County, Minnesota.

Said permanent easement described as follows:

Beginning at the northeast corner of said Lot 13; thence North 89 degrees 59 minutes 25 seconds West, assumed bearing along the north line of said Lot 13, a distance of 79.38 feet; thence South 00 degrees 00 minutes 35 seconds West, a distance of 45.00 feet; thence South 89 degrees 59 minutes 25 seconds East, a distance of 40.90 feet to the southeasterly line of said Lot 13; thence North 40 degrees 32 minutes 48 seconds East, along said southeasterly line, a distance of 59.21 feet to the point of beginning.

EXCEPT that part which lies within the drainage and utility easements dedicated by the plat of said Birch Wood Acres.

EXHIBIT B

60

BIRCH STREET

(C.S.A.H. NO. 34)

60

60

ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 101

60

NE CORNER OF LOT 13, BLOCK 2

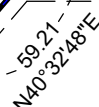
N LINE OF LOT 13, BLOCK 2

N89°59'25"W
79.38

S00°00'35"W
45.00

DRAINAGE & UTILITY
EASEMENT PER THE PLAT OF
BIRCH WOOD ACRES

OWNER: SILBERNAGEL, JAMES ROBERT
ADDRESS: 601 PRAIRIE FLOWER RD
PID: 29-31-22-43-0034



59.21
N40°32'48"E

S89°59'25"E
40.90

SE'LY LINE OF LOT 13, BLOCK 2

BIRCH

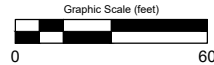
OUTLOT A

WOOD

PRAIRIE FLOWER ROAD

ACRES

60



1 inch = 60 feet



PERMANENT DRAINAGE AND UTILITY EASEMENT AREA = 857 SQ. FT.

PARCEL LINE

Prepared by:



Drainage & Utility Easement Exhibit

PID: 29-31-22-43-0034
Address: 601 Prairie Flower Rd
City of Lino Lakes, Minnesota

WSB Project No. 026692-000

Date: 10/31/2025



**CITY COUNCIL
REGULAR MEETING STAFF REPORT
AGENDA ITEM 1L**

STAFF ORIGINATOR: Michael Grochala, Community Development Director

MEETING DATE: May 11, 2026

TOPIC: Resolution No. 26-75, Approving Acquisition of Certain Real Property, Parcel 7, Right of Way Plat No. 4, Otter Lake Road Improvement Project

VOTE REQUIRED: Simple Majority

INTRODUCTION

Staff is requesting City Council approval to acquire Parcel 7 for the Otter Lake Road Improvement Project.

BACKGROUND

The City Council authorized the preparation of plans and specifications for the Otter Lake Road improvement project in August of 2023. The project requires the acquisition of permanent right-of-way, utility and drainage easements as well as temporary construction easements. Approximately 8 parcels are affected by the project. In August of 2025, the City Council authorized staff and consultants to make offers to property owners for direct purchase of the necessary land and easements. On December 8, 2025, the City Council authorized acquisition by eminent domain, if necessary.

Staff has continued to negotiate with property owners and have reached agreement with owner of Parcel No. 7. The City is acquiring the following interests from the property:

PARCEL	PID	R/W (ACRES)	PERM EASEMENT (ACRES)	TEMP EASEMENT (ACRES)
7	13-31-22-14-0001	2.013	.103	.092

The purchase price is \$65,000 and the City will be responsible for any Green Acres restoration fees attributable to the acquisition. This amount is estimated at \$202.61.

RECOMMENDATION

Staff is recommending approval of Resolution No. 26-75.

ATTACHMENTS

1. Resolution No. 26-75
2. Right of Way Plat No. 4

**CITY OF LINO LAKES
RESOLUTION NO. 26-75**

**APPROVING ACQUISITION OF PARCEL 7, RIGHT OF WAY PLAT NO. 4,
OTTER LAKE ROAD EXTENSION PROJECT**

WHEREAS, the City Council authorized preparation of plans and specifications for the construction of the Otter Lake Road Extension on August 14, 2023, and

WHEREAS, the construction of the Project requires the acquisition of certain land and easements involving properties located within the City, as depicted in City of Lino Lakes Right of way Plat No. 4, filed for record with Anoka County and Document No. 631999.001 and 2462426.001; and

WHEREAS, it is necessary that the City have title and possession of land interests for the Project before the construction contracts may be let, which is planned to occur in the spring of 2026; and

WHEREAS, on August 25, 2025, the City Council authorized the City representatives, City Community Development Director and City Attorney to make offers to property owners consistent with the appraisals obtained for the needed acquisition; and

WHEREAS, on December 8, 2025, the City Council authorized the acquisition of property by eminent domain; and

WHEREAS, the City and Owner of Parcel No. 7 of Right of Way Plat No. 4 have reached agreement on just compensation due for the acquisition of the fee title and permanent and temporary easements shown in Right-of-Way Plat No. 4;

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Lino Lakes:

That the purchase of property, identified as ROW Parcel No. 7, P.E. Parcel 7, and T.E. Parcel 7 on City of Lino Lakes, Right of Way Plat No. 4, in the amount of \$65,000, along with Green Acres restoration fees estimated at \$202.61, is hereby approved.

BE IT FURTHER RESOLVED, that the City Attorney and representatives are authorized to complete all steps necessary to record the conveyance documents and to remove the property from the eminent domain proceedings.

Adopted by the Council of the City of Lino Lakes this 11th day of May, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

CITY OF LINO LAKES RIGHT OF WAY PLAT NO. 4

SURVEYOR'S CERTIFICATE

I hereby certify that this is a true and correct representation of a survey of the boundaries as shown and that said survey was made under my direct supervision; that all distances are correctly shown in feet and decimals of a foot; that the monuments for the guidance of future surveys have been correctly placed in the ground as shown; that the right-of-way boundary lines are designated on the plat and it was prepared pursuant to Chapter 505.1793, Minnesota Statutes.

Dated this 18th day of March, 2020.

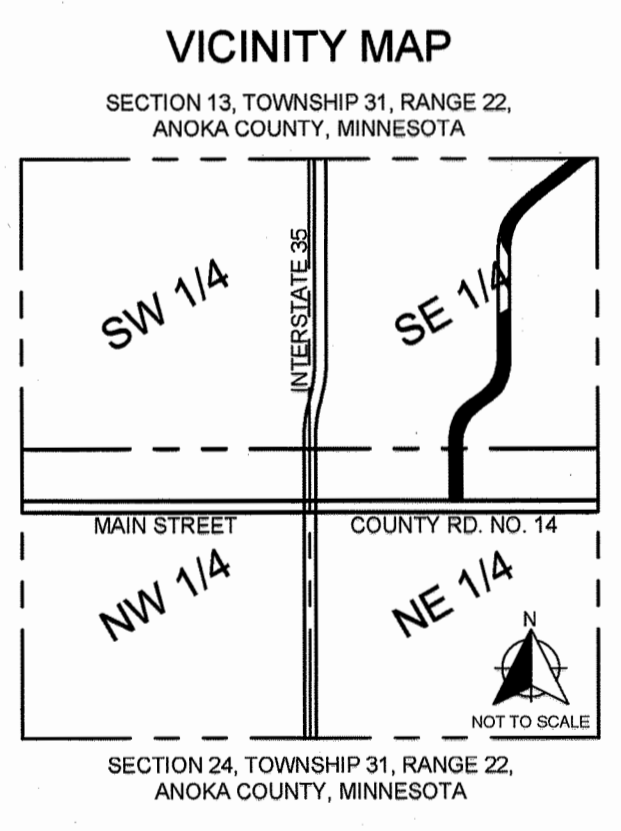
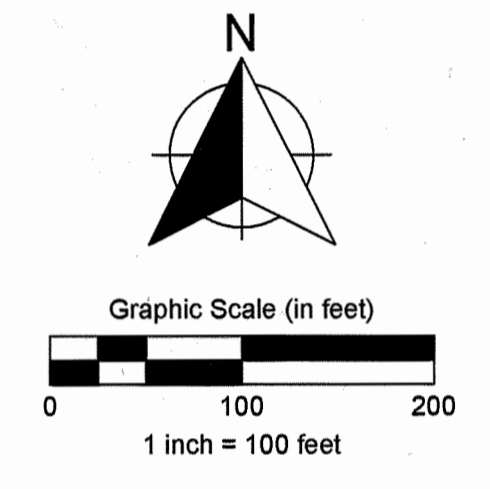
Jeremy R. Honga
 Jeremy R. Honga, Licensed Land Surveyor,
 Minnesota License No. 58013

CITY COUNCIL, Lino Lakes, Minnesota

That part of Otter Lake Road located in Sections 13 and 24, Township 31, Range 22, Anoka County, Minnesota, as shown on this plat effected by the City of Lino Lakes, is certified to be the official plat of that portion of said road within said sections pursuant to Minnesota Statutes Chapter 505.1793. The foregoing plat was accepted and approved by the City Council of Lino Lakes, Minnesota, at a regular meeting thereof held this 17th day of March, 2020.

Al Karvick
 Mayor

Roberta Colthi
 Clerk



LEGEND

- ⊙ DENOTES FOUND ANOKA COUNTY CAST IRON MONUMENT
- DENOTES FOUND MONUMENT, AS SHOWN
- DENOTES FOUND PK NAIL
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED BY LICENSE NO. 58013
- ROW PLAT BOUNDARY
- PERMANENT DRAINAGE AND UTILITY EASEMENT
- TEMPORARY EASEMENT
- EXISTING PARCEL LINE
- EXISTING ROW LINE
- SECTION LINE

NOTES

FOR THE PURPOSES OF THIS PLAT THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 31, RANGE 22 IS ASSUMED TO BEAR S88°57'28"W.

COUNTY SURVEYOR, Anoka County, Minnesota

This plat of CITY OF LINO LAKES RIGHT OF WAY PLAT NO. 4 was reviewed and approved by me this 24th day of March, 2020.

David M. Ziegler
 David M. Ziegler, Anoka County Surveyor

COUNTY RECORDER / REGISTRAR OF TITLES, Anoka County, Minnesota

I hereby certify that this plat of CITY OF LINO LAKES RIGHT OF WAY PLAT NO. 4 was filed in the office of the County Recorder for public record on this 14th day of March, 2020, at 11:30 o'clock A.M. and was duly recorded as Document No. 631999.001.

Pamela J Leblanc
 County Recorder / Registrar of Titles

By *Lana Kranick*, Deputy

COUNTY RECORDER / REGISTRAR OF TITLES, Anoka County, Minnesota

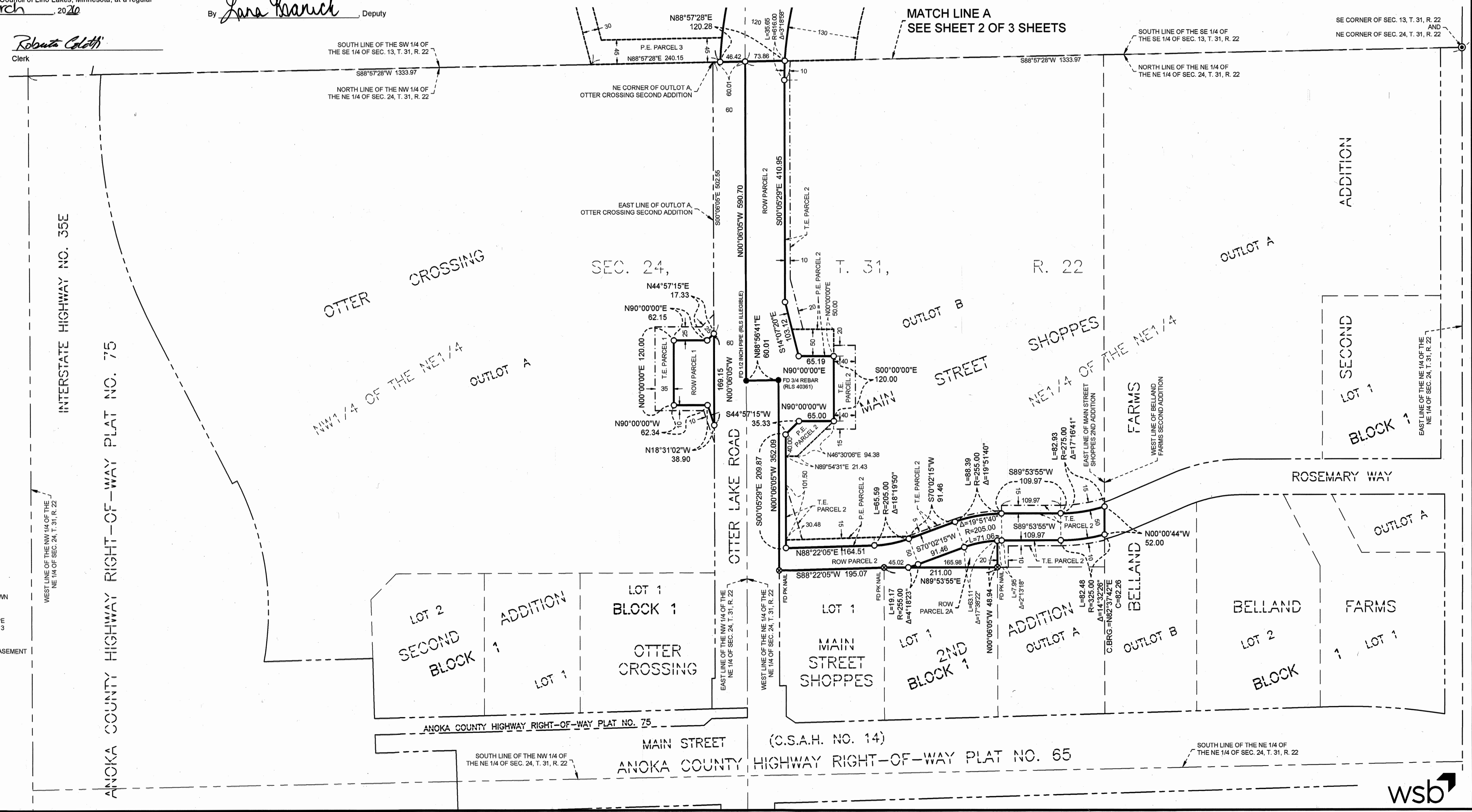
I hereby certify that this plat of CITY OF LINO LAKES RIGHT OF WAY PLAT NO. 4 was filed in the office of the Registrar of Titles for public record on this 14th day of March, 2020, at 11:30 o'clock A.M. and was duly recorded as Document No. 2462426.001.

Pamela J Leblanc
 County Recorder / Registrar of Titles

By *Lana Kranick*, Deputy

OTTER LAKE ROAD

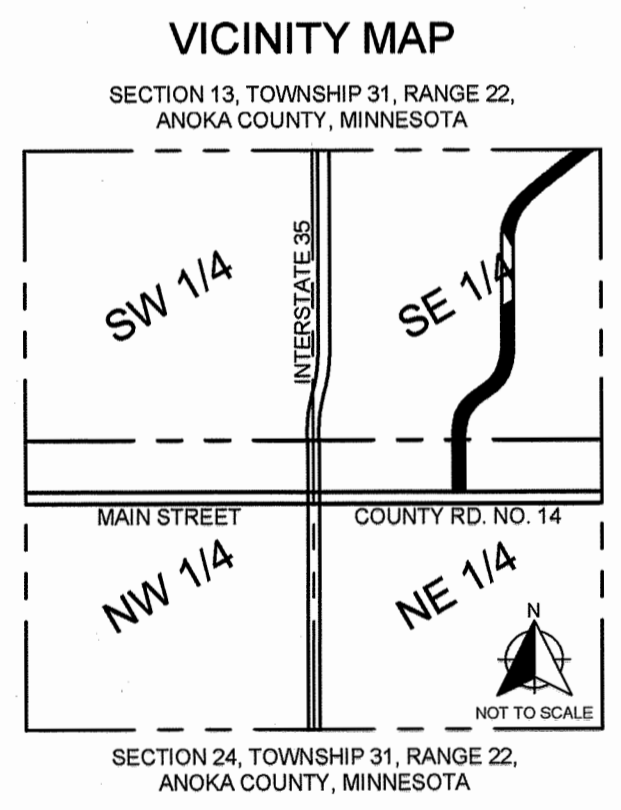
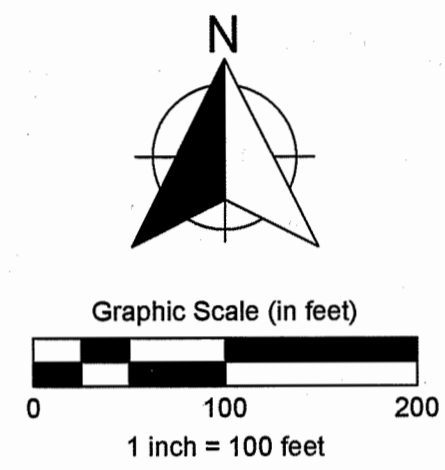
PARCEL	RECORDED OWNER	PROPERTY ID. NO.	LOCATION	EXISTING ROW (ACRES)	NEW ROW (ACRES)	TOTAL ROW (ACRES)	PERMANENT D & U EASEMENT (ACRES)	TEMPORARY EASEMENT (ACRES)	TEMPORARY HIGHWAY EASEMENT EXPIRES	NEW ROW INTEREST
RIGHT OF WAY IN SECTION 24, TOWNSHIP 31, RANGE 22										
1	BLINO LLC	24-31-22-12-0009	NW1/4 NE1/4	0.000	0.212	0.212	0.00	0.196	—	FEE
2	CM PROPERTIES 14 LLC	24-31-22-11-0011	NE1/4 NE1/4	0.000	2.024	2.024	0.232	0.462	—	FEE
2A	CM PROPERTIES 14 LLC	24-31-22-11-0011	NE1/4 NE1/4	0.000	0.106	0.106	0.000	0.000	—	FEE



CITY OF LINO LAKES RIGHT OF WAY PLAT NO. 4

OTTER LAKE ROAD

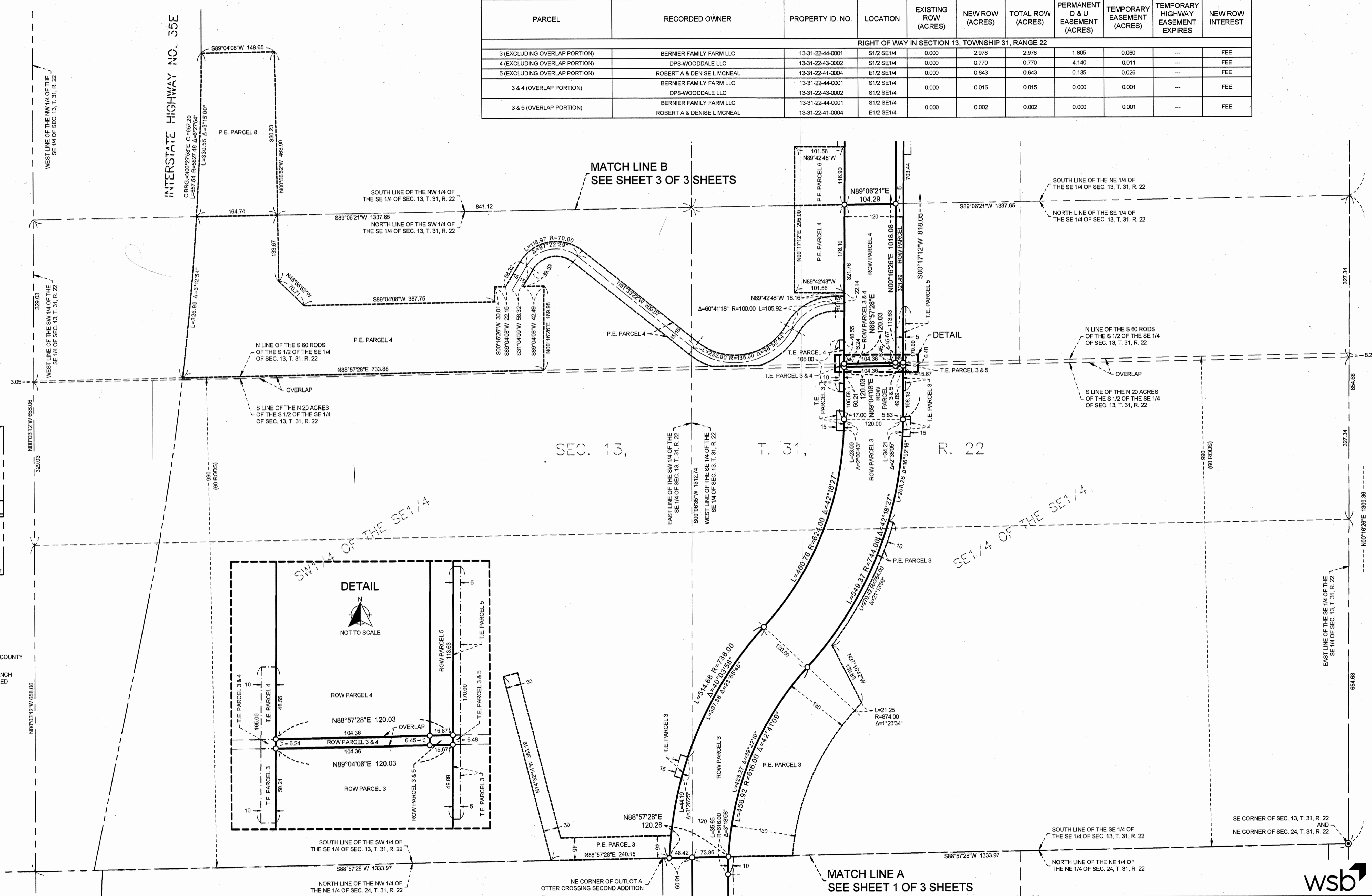
PARCEL	RECORDED OWNER	PROPERTY ID. NO.	LOCATION	EXISTING ROW (ACRES)	NEW ROW (ACRES)	TOTAL ROW (ACRES)	PERMANENT D & U EASEMENT (ACRES)	TEMPORARY EASEMENT (ACRES)	TEMPORARY HIGHWAY EASEMENT EXPIRES	NEW ROW INTEREST
RIGHT OF WAY IN SECTION 13, TOWNSHIP 31, RANGE 22										
3 (EXCLUDING OVERLAP PORTION)	BERNIER FAMILY FARM LLC	13-31-22-44-0001	S1/2 SE1/4	0.000	2.978	2.978	1.805	0.060	---	FEE
4 (EXCLUDING OVERLAP PORTION)	DPS-WOODDALE LLC	13-31-22-43-0002	S1/2 SE1/4	0.000	0.770	0.770	4.140	0.011	---	FEE
5 (EXCLUDING OVERLAP PORTION)	ROBERT A & DENISE L MCNEAL	13-31-22-41-0004	E1/2 SE1/4	0.000	0.643	0.643	0.135	0.026	---	FEE
3 & 4 (OVERLAP PORTION)	BERNIER FAMILY FARM LLC	13-31-22-44-0001	S1/2 SE1/4	0.000	0.015	0.015	0.000	0.001	---	FEE
3 & 5 (OVERLAP PORTION)	BERNIER FAMILY FARM LLC	13-31-22-44-0001	S1/2 SE1/4	0.000	0.002	0.002	0.000	0.001	---	FEE
	ROBERT A & DENISE L MCNEAL	13-31-22-41-0004	E1/2 SE1/4	0.000	0.002	0.002	0.000	0.001	---	FEE



- LEGEND**
- DENOTES FOUND ANOKA COUNTY CAST IRON MONUMENT
 - DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED BY LICENSE NO. 58013
 - ROW PLAT BOUNDARY
 - PERMANENT DRAINAGE AND UTILITY EASEMENT
 - - - TEMPORARY EASEMENT
 - EXISTING PARCEL LINE
 - EXISTING ROW LINE
 - SECTION LINE

NOTES

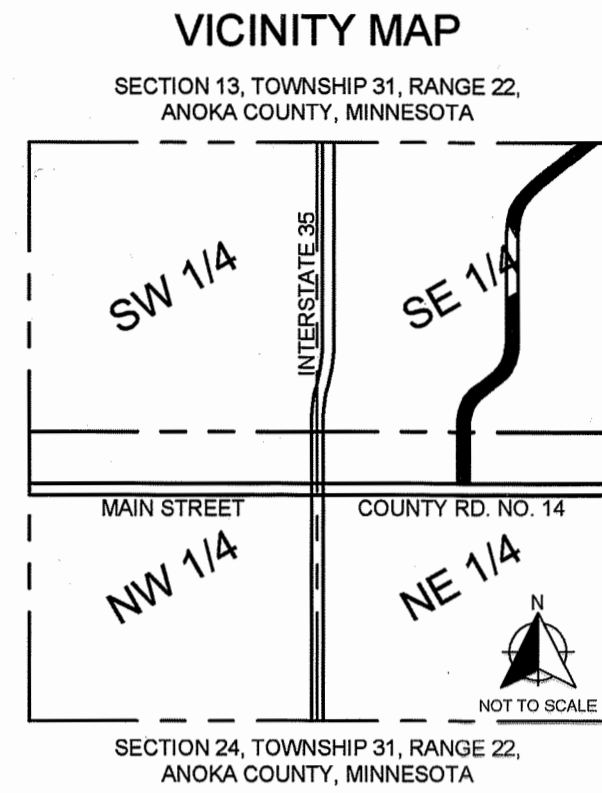
FOR THE PURPOSES OF THIS PLAT THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 31, RANGE 22 IS ASSUMED TO BEAR S88°57'28"W.



CITY OF LINO LAKES RIGHT OF WAY PLAT NO. 4

OTTER LAKE ROAD

SE 1/4 OF THE NE 1/4



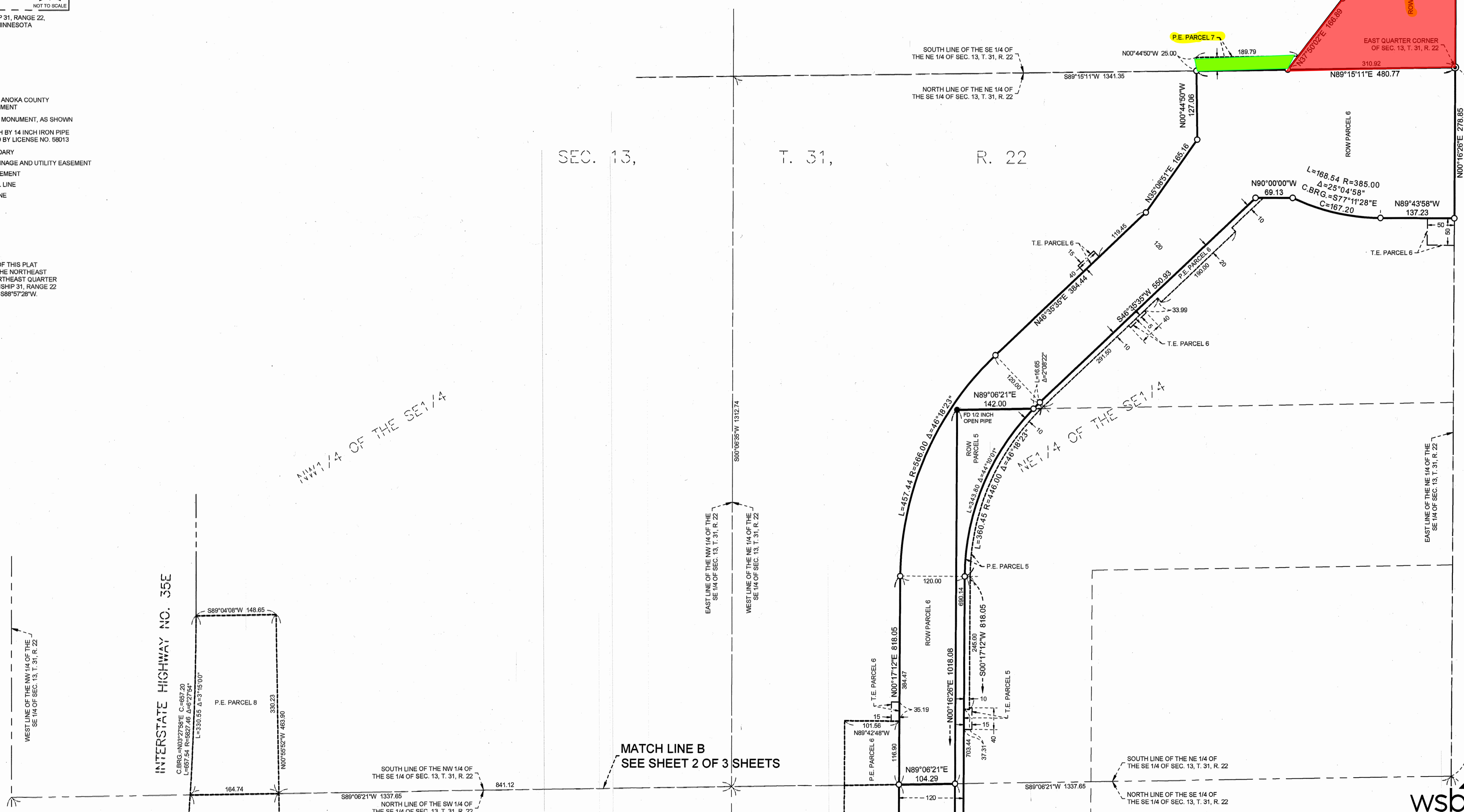
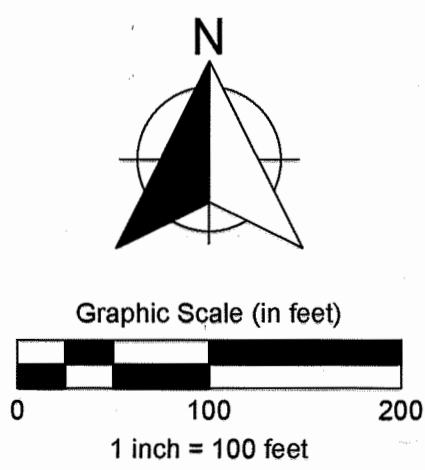
PARCEL	RECORDED OWNER	PROPERTY ID. NO.	LOCATION	EXISTING ROW (ACRES)	NEW ROW (ACRES)	TOTAL ROW (ACRES)	PERMANENT D & U EASEMENT (ACRES)	TEMPORARY EASEMENT (ACRES)	TEMPORARY HIGHWAY EASEMENT EXPIRES	NEW ROW INTEREST
RIGHT OF WAY IN SECTION 13, TOWNSHIP 31, RANGE 22										
3 & 5 (OVERLAP PORTION)	BERNIER FAMILY FARM LLC	13-31-22-44-0001	S1/2 SE1/4	0.000	0.002	0.002	0.000	0.001	---	FEE
5 (EXCLUDING OVERLAP PORTION)	ROBERT A & DENISE L MCNEAL	13-31-22-41-0004	E1/2 SE1/4	0.000	0.643	0.643	0.135	0.026	---	FEE
6	DPS-WOODDALE LLC	13-31-22-41-0005	NE1/4 SE1/4	0.000	5.923	5.923	0.449	0.088	---	FEE
7	L & D. WINTER 2023 CHARITABLE REMAINDER UNITRUST	13-31-22-14-0001	SE1/4 NE1/4	0.000	2.013	2.013	0.103	0.092	---	FEE
8	DPS-WOODDALE LLC	13-31-22-42-0001	NW1/4 SE1/4	0.000	0.000	0.000	1.176	0.000	---	FEE

LEGEND

- ⊙ DENOTES FOUND ANOKA COUNTY CAST IRON MONUMENT
- DENOTES FOUND MONUMENT, AS SHOWN
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED BY LICENSE NO. 58013
- ROW PLAT BOUNDARY
- PERMANENT DRAINAGE AND UTILITY EASEMENT
- TEMPORARY EASEMENT
- EXISTING PARCEL LINE
- EXISTING ROW LINE
- SECTION LINE

NOTES

FOR THE PURPOSES OF THIS PLAT THE NORTH LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 31, RANGE 22 IS ASSUMED TO BEAR S88°57'28"W.



**CITY COUNCIL
STAFF REPORT
AGENDA ITEM 1.M.**

STAFF ORIGINATOR: Roberta Colotti, City Clerk

MEETING DATE May 11, 2026

AGENDA ITEM: Adopt Resolution No. 26-73, Authorizing the Issuance of a Cabaret License, Special Event Permit and Temporary Liquor License to St. Joseph of the Lakes Catholic Church

VOTE REQUIRED: Simple Majority

INTRODUCTION

St. Joseph's Catholic Church has applied for a Cabaret License, Special Event Permit and a Temporary On-Sale Liquor License for their annual summer festival to be held August 8th & 9th of this year.

BACKGROUND

The St. Joseph's summer festival includes two days of music, food, beverages, games, and fundraising activities.

RECOMMENDATION

Motion to Adopt Resolution No. 26-73, Authorizing the Issuance of a Cabaret License, Special Event Permit and Temporary Liquor License to St. Joseph of the Lakes Catholic Church.

ATTACHMENTS

1. 26-73 - Resolution - Special Event Permit - St. Joseph's Catholic Church

**CITY OF LINO LAKES
RESOLUTION NO. 26-73**

**AUTHORIZING THE ISSUANCE OF A CABARET LICENSE, SPECIAL EVENT PERMIT AND
TEMPORARY LIQUOR LICENSE TO ST. JOSEPH OF THE LAKES CATHOLIC CHURCH**

WHEREAS, St. Joseph’s Catholic Church has applied for a Cabaret License, Special Event Permit and a Temporary On-Sale Liquor License for their annual summer festival to be held August 8th & 9th of this year; and

WHEREAS, the event plan includes two days of music, food, beverages, games, and fundraising activities; and

WHEREAS, hired security will be onsite during the event and wristbands will be required for any sale of alcoholic beverages; and

WHEREAS, the event site plan will be required to be in compliance with City ordinances and regulations.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Lino Lakes, Minnesota that the City Council authorizes the issuance of a Cabaret License, Special Event Permit and Temporary On-Sale Liquor License to St. Joseph’s Catholic Church for August 8-9, 2026, conditioned upon meeting all license requirements.

Adopted by the City Council of the City of Lino Lakes this 11th day of May 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC
City Clerk

**CITY COUNCIL
STAFF REPORT
AGENDA ITEM 1.N.**

STAFF ORIGINATOR: Curt Boehme , Chief of Police

MEETING DATE May 11, 2026

AGENDA ITEM: Approve 3M Golf Open Cooperative Agreement

VOTE REQUIRED: Simple Majority

INTRODUCTION

The Blaine Police Department is inviting local law enforcement agencies to assist with security services for the 2026 PGA 3M Golf Open.

BACKGROUND

The City of Blaine will host the PGA 3M Golf Open at the Tournament Players Club from July 20–26, 2026. This event requires significant law enforcement resources to ensure public safety and provide services appropriate for a large-scale gathering. The City of Lino Lakes previously entered into a cooperative agreement for this event in 2019.

The City of Blaine and the Blaine Police Department have again invited local agencies to assist with event security. For Lino Lakes police officers to participate, the City of Lino Lakes must enter into a cooperative agreement with the City of Blaine.

Under the proposed agreement, the City of Lino Lakes would provide licensed officers who are in good standing and properly trained for the event. In return, the City of Blaine would reimburse the City of Lino Lakes for services at a rate not to exceed \$135 per hour. Additionally, a law enforcement liability insurance policy has been secured to provide coverage for claims involving Lino Lakes officers during their participation in this special event.

Staff and the League of Minnesota Cities have reviewed the agreement and did not have any particular concerns with the city signing the agreement.

RECOMMENDATION

Staff recommends that the Mayor and City Administrator authorize the City of Lino Lakes to provide police officers to the Blaine Police Department for the 2026 3M Golf Open and sign the attached Cooperative Agreement.

ATTACHMENTS

1. Cooperative Agreement Regarding Public Safety Related to the 2026 3M Golf Open

**COOPERATIVE AGREEMENT REGARDING PUBLIC SAFETY
RELATED TO THE 2026 3M OPEN**

THIS INTERGOVERNMENTAL COOPERATIVE AGREEMENT REGARDING PUBLIC SAFETY AND SECURITY RELATED TO THE 2026 3M OPEN (hereinafter referred to as the “Agreement”), is made effective, except as otherwise made operationally effective as set forth in Section 5 herein, on this ____ day of _____, 2026, by and between the **CITY OF BLAINE, MINNESOTA**, a municipal corporation, (hereinafter referred to as the “City”), acting through its Police Department (hereinafter referred to as the “BPD”) and _____, a [insert name of city/county/or other governmental entity acting through its _____ [insert name of law enforcement organization] (hereinafter referred to as the “Provider”). City, BPD, and each Provider may be referred to individually as a “Party” or collectively as the “Parties” to this Agreement.

WHEREAS, the City is the host city for the 2026 3M Open to be held on July 20, 2026 – July 26, 2026 and for related events, most of which will take place in the City (hereinafter referred to collectively as the “Event”); and

WHEREAS, the City is in need of procuring additional law enforcement personnel to provide the public safety and security measures required for such a large and unique Event; and

WHEREAS, at the request of the City, the Provider is willing to provide the services of the law enforcement personnel identified in this Agreement to the City to assist the BPD with Event security; and

NOW THEREFORE, pursuant to the authority contained in Minnesota Statutes Section 471.59 (“Joint Exercise of Powers”) and/or Minnesota Statutes Sections 626.76 and 626.77, and in consideration of the mutual covenants herein contained and the benefits that each party hereto shall derive hereby, the Parties agree as follows:

1. PURPOSE OF THE AGREEMENT

- 1.1 The purpose of this Agreement is to set forth the terms and conditions whereby the Provider will provide the City with Licensed Peace Officers to be assigned to the Event to assist the BPD to provide law enforcement and security services (“Services”) during the term of the Event.
- 1.2 Provider will exercise its best efforts to assist with Event security. The Parties acknowledge and agree that resource availability requires Provider to exercise its best judgment in prioritizing and responding to the public safety needs of its jurisdiction including, but not limited to, the Event. That prioritization decision belongs solely to Provider. The Provider may, at any time, recall the Provider’s resources when, it is considered to be in Provider’s best interest to do so.

1.3 Provider's resources shall be full-time, Licensed Peace Officers and each such Licensed Peace Officer must meet the following criteria as defined in Minnesota Statutes Sections 626.84, Subdivision 1(c) and 471.59, Subdivision 12, which reads:

“(1) the peace officer has successfully completed professionally recognized peace officer pre-employment education which the Minnesota Board of Peace Officer Standards and Training has found comparable to Minnesota peace officer pre-employment education; and

(2) the officer is duly licensed or certified by the peace officer licensing or certification authority of the state in which the officer's appointing authority is located.”

2. ADDITIONAL CRITERIA OF LICENSED PEACE OFFICERS; PROVIDER SCOPE OF SERVICE

2.1 In addition to meeting the criteria set forth in Section 1 of this Agreement, the Provider agrees that each of the Licensed Peace Officers shall also meet the following criteria:

2.1.1. That each Licensed Peace Officer shall by reason of experience, training, and physical fitness be deemed by the Provider of being capable of performing public safety and law enforcement duties for the Event; and

2.1.2 That each Licensed Peace Officer is in good standing with the Provider. Throughout the term of this Agreement, the Provider shall promptly notify the BPD in the event that any licensed peace officer is no longer an officer in good standing with the Provider or shall recall any peace officer that is no longer in good standing; and

2.1.3 That unless otherwise provided or requested by the BPD, each Licensed Peace Officer shall be equipped and/or supplied by Provider at Provider's own expense, with a seasonally appropriate patrol uniform of the day and equipment, including but not limited to service belts with Provider radio equipment, service weapon and personal soft ballistic body armor, and traffic vest. Additionally, in Provider's discretion, personnel may be equipped with a cell phone that may be used to download a public safety application to aid in the tracking of law enforcement personnel during operational periods if allowed pursuant to Provider's policy.

2.2 Provider acknowledges and agrees that at any time during the term of this Agreement the City has the sole discretion to decline to accept and/or use any of Provider's Licensed Peace Officers or other law enforcement resources without

cause or explanation.

2.3 The Provider agrees as follows:

2.3.1 As requested by BPD, Provider shall list information on each of Provider's Licensed Peace Officers no later than thirty (30) days before the Event, and shall update as soon as practical upon request of the BPD, that includes, but is not limited to, name, rank, agency, badge number, and cell phone number. Said information shall be used strictly for law enforcement purposes related to the Event and each Party will hold the data in the same classification as the other does under the Minnesota Government Data Practices Act, Minnesota Statutes Chapter 13 ("MGDPA"); and

2.3.2. That each Licensed Peace Officer shall be assigned by the BPD, as determined and required by the BPD, to any Event-related assignment based on the Licensed Peace Officer's skill-set and known duty assignment as well as the needs of the operation; including, but not limited to, foot patrol, motorized patrol, static posts at outdoor perimeters, general security inside or outside venues, and traffic control; and

2.4 Provider acknowledges and agrees that at all times during any required training session or during the Event each of Provider's Licensed Peace Officers or other law enforcement resources and employees, regardless of rank or job title held as an employee of the Provider, shall be subject to a structure of supervision, command and control coordinated by BPD.

2.5 The Provider agrees to exercise reasonable efforts to cooperate and provide the City, with any other information reasonably requested by the City that the City deems necessary to facilitate and enable compliance with the terms and conditions contained in this Agreement.

2.6 Event staffing levels will be determined by the BPD as the lead law enforcement agency, regardless of the location of the Event.

2.7 The Provider will comply with the statutes and rules requiring the preservation of evidence including, but not limited to, Minnesota Statutes, Section 590.10 and Section 626.04. Each Provider must preserve all handwritten notes, photographs, incident reports, video recordings, statements, audio recordings, personal notes, interview audio, text messages, cell phone videos, removable electronic media, squad car videos, any other video recordings, emails, voice mails, computer files and all Work Product, Supporting Documentation and Business Records.

2.8 The BPD, as the lead law enforcement agency, will maintain a list of Licensed Peace Officers (LPOs) assigned to the Event.

3. CITY RESPONSIBILITIES

- 3.1 The City and the 3M OPEN FUND will prepare and enter into an “Event Support and Funding Agreement for the 2026 3M Open” (the “Support Agreement”). The Support Agreement will be the source of funding for the Event including the source of payment for the Services to be provided pursuant to this Joint Exercise of Powers Agreement (“Agreement”) and for the policy of insurance that will pay for the defense and indemnification of claims filed against the City and each Provider during the term of the Event.
- 3.2 City agrees that it will provide or facilitate any necessary training to prepare for providing Event security. The substance of the training, if necessary; including the locations, dates, and times, shall be detailed in a separate writing provided by the BPD to the Provider.
- 3.3 The person responsible on behalf of the BPD for the daily operation, coordination and implementation of this Agreement, which responsibilities shall include, but not limited to, determining the assignments of the Provider’s law enforcement resources, shall be Blaine Police Department Captain Russ Clark (hereinafter referred to as the “Coordinator”). Except as otherwise provided in this Agreement, all contacts or inquiries made by the Provider about this Agreement shall be made directly to the Coordinator or the Coordinator’s designee.
- 3.4 The City will develop and provide to each Provider an adequate supply of the standard incident report form to be used by the City and Providers that provide Services at the Event.

4. COMPENSATION AND PAYMENT PROCESS

- 4.1 The sole source of funds to reimburse each Provider performing under this Agreement shall be funds provided by the 3M Open Fund pursuant to the Support Agreement.
- 4.2 For and in consideration of the Provider performing under this Agreement, the Provider will be reimbursed for said Services at Provider’s current hourly rates, not to exceed \$135 per hour.
- 4.3 The BPD shall furnish the Provider with a statement which describes all applicable hours performed by the Provider during the term of the Agreement. The Provider shall submit the Payment Reimbursement Form to the BPD for all undisputed amounts within thirty-five (35) days after receipt of the statement of

hours.

- 4.4 For any disputed amounts, the Provider shall provide the BPD with written notice of the dispute, including the date, amount, and reasons for dispute within fifteen (15) days after receipt of the statement of hours. The BPD and Provider shall memorialize the resolution of the dispute in writing and follow the dispute resolution procedure in Section 12 of this Agreement.

5. TERM OF AGREEMENT

- 5.1 This Agreement shall be effective as of the date indicated on the first page so that the Parties can undertake planning for all Event-related activity and shall expire on July 30, 2026, or the date to which law enforcement resources or Services are extended, whichever is later, unless terminated earlier in accordance with the provisions in Section 6.

6. TERMINATION

- 6.1 Termination by the City-The City may terminate this Agreement upon providing to the Provider not less than forty-five (45) days advance written notice for any of the reasons stated below:
 - 6.1.1 Cancellation of the 2026 3M Open.
 - 6.1.2 City and 3M Open Fund fail to enter into the Support Agreement.
 - 6.1.3 Failure by the Provider to perform any material term under this Agreement and failure to cure the default within the time requested by the City.
- 6.2 Termination by the Provider- the Provider may terminate this Agreement upon providing to the City not less than thirty (30) days advance written notice for any of the reasons stated below:
 - 6.2.1 Cancellation of the 2026 3M Open.
 - 6.2.2 Without cause thirty (30) days prior to the Event.
 - 6.2.3 City and 3M Open Fund fail to enter into the Support Agreement.
- 6.3 In the event of a termination, each Party shall fully discharge all obligations owed to the other Party accruing prior to the date of such termination, and, except as otherwise provided herein, each Party shall be released from all obligations, which would otherwise accrue subsequent to the date of termination.

7. AGREEMENT MANAGEMENT

- 7.1 The Provider has identified the following person[s] as persons to contact only with regard to the following matters regarding the Agreement:

(List names)

(List responsibilities)

8. INSURANCE; LIABILITY; MUTUAL RESPONSIBILITY; NO WAIVER OF IMMUNITIES

8.1 Insurance Coverage for Event. The 3M Open Fund has purchased a law enforcement liability insurance policy (the “Policy”). Policy will provide primary coverage for claims that each Provider becomes legally obligated to pay as damages due to “bodily injury”, “property damage”, or “personal injury” suffered by third parties. The Policy will require the insurer to have the right and duty to defend and indemnify each Provider against any claim or lawsuit due to Provider acts that occur within the territory of the Event and during the period in which the Policy is in effect. Each Provider’s Law Enforcement Officers will be covered under the Policy by virtue of the Provider being named an “insured” under the Policy.

8.1.1 The limit of liability for all occurrences (claims) during the coverage period shall be the higher of the municipal tort cap liability limits under Minnesota law or the limits under the Policy secured, whichever is greater.

8.1.2. The Policy shall be primary insurance and non-contributory to any other valid and collectible insurance available to a Party with respect to any claim arising out of a Party’s performance under this Agreement.

8.1.3 The cost to hire and pay for legal representation to defend the City and any Provider (“defense costs”) are not subject to the limit of the Policy.

8.1.4 The Policy is not subject to the payment of a deductible by the City or by any other Provider.

8.1.5. Each Provider agrees to be bound by the terms and conditions contained in the Policy.

8.1.6 Each Provider agrees that it will cooperate with the insurer and with the City by reasonably and timely responding to the insurer’s request for information or to appear at meetings or judicially mandated hearings.

8.2 Insurance as Sole Source for Liability and Indemnity. Each Provider hereto agrees that it will only seek recovery for any liability incurred in carrying out the terms of this Agreement from the insurance to be procured by the 3M Open Fund.

8.2.1 If a Party’s liability is not subject to recovery through the Policy,

then each Party agrees that it will otherwise be responsible for its own acts and/or omissions and those of its officials, employees, representatives and agents in carrying out the terms of this Agreement, whether those acts or omissions occur within or outside of the jurisdiction or geographic limits of the City of Blaine, and the results thereof to the extent authorized by law and shall not be responsible for the acts and/or omissions of the other Party and the results thereof.

8.2.2 In the unlikely event that the aggregate amount of any one or all claims exceeds the limits of the policies described in paragraph 8.1.1, then each Party agrees that it will otherwise be responsible for its own acts and/or omissions and those of its officials, employees, representatives and agents in carrying out the terms of this Agreement, whether those acts or omissions occur within or outside the of the jurisdiction or geographic limits of the City of Blaine, and the results thereof to the extent authorized by law and shall not be responsible for the acts and/or omissions of the other Parties and the results thereof.

- 8.3 Further Limitation On Provider Liability. It is understood and agreed that the liability of each Provider that is a municipality, county or similar political subdivision shall be limited by the provisions of Minnesota Statutes Chapter 466 (Tort Liability, Political Subdivisions) and the liability of the State of Minnesota as a Provider shall be limited by the provisions of Minnesota Statutes, Section 3.736 and by other applicable law. Nothing contained in this Agreement shall waive or amend, nor shall be construed to waive or amend any defense or immunity that either Party, its respective officials and employees, may have under said Chapter 466, Section 471.59 subd. 1a, and any common-law immunity or limitation of liability, all of which are hereby reserved by the Parties that have entered into this Agreement.
- 8.4 Provider Workers' Compensation Insurance Required. Except as expressly provided herein, each Party shall be responsible for injuries or death of its own personnel. Each Party will maintain workers' compensation insurance or self-insurance coverage, covering its own personnel while they are providing assistance pursuant to this Agreement. Except as expressly provided herein, each Party waives the right to sue any other Party for any workers' compensation benefits paid to its own employee or volunteer or their dependents.
- 8.5 Provider Responsible for Own Equipment. Except as expressly provided herein, each Party shall be responsible for damages to or loss of its own equipment. Except as expressly provided herein, each Party waives the right to sue any other Party for any damages to, or loss of its equipment.
- 8.6 Provider Rendering First Aid. Except for immediate first aid rendered by a Provider at the scene of an accident or occurrence, no other medical assistance,

expenses or aid is covered under the Policy.

9. INDEPENDENT CONTRACTORS

Each Provider in its relationship with the City under this Agreement is an independent contractor. No Provider, its Licensed Peace Officers or other law enforcement resources shall be considered an employee of the City. The City, its Licensed Peace Officers or other law enforcement resources shall not be considered employees of the Provider.

10. SUBCONTRACTING

The City and Provider agree that no Services will be subcontracted and agree not to enter into any subcontracts to provide any Services under this Agreement.

11. ASSIGNMENT

Neither the City nor the Provider will assign or transfer any interest in this Agreement without the consent of the other Party.

12. DISPUTE RESOLUTION

The City and the Provider each agree to cooperate and negotiate in good faith to resolve any disputes that arise regarding the terms of this Agreement and the performance of the Services. If good faith negotiations fail to resolve a dispute, then the Parties will use mediation services to attempt to resolve the dispute. The City and Provider will equally share the expense of the mediator.

The Parties will select a mediator by each submitting three names in rank order of preference to the other Party. If there is no common name on each Party's list, then a neutral, third party, law enforcement representative that is not a party to this Agreement will select a mediator for the Parties. If mediation fails to resolve a dispute between Parties, then the Parties will resolve the dispute through litigation.

13. AMENDMENT OR CHANGES TO AGREEMENT

13.1 Any alterations, amendments, deletions, or waivers of the provisions of this Agreement shall be valid only when reduced to writing and duly signed by the Parties hereto; after all appropriate and necessary authority has been acquired by each such Party.

13.2 Modifications or additional schedules shall not be construed to adversely affect vested rights or causes of action which have accrued prior to the effective date of such amendment, modification, or supplement. The term "Agreement" as used

herein shall be deemed to include any future amendments, modifications, and additional schedules made in accordance herewith.

14. NOTICES

Except as otherwise stated in this Agreement, all notice or demand to be given under this Agreement shall be delivered in person or deposited in United States Certified Mail, Return Receipt Requested. Any notices or other communications shall be addressed as follows:

To City:

To Provider:

Captain Russ Clark
10801 Town Square Drive
Blaine, MN 55449
rclark@blainemn.gov

15. INTERPRETATION OF AGREEMENT

This Agreement shall be interpreted and construed according to the laws of the State of Minnesota.

16. ENTIRE AGREEMENT

It is understood and agreed that this entire Agreement supersedes all oral agreements and negotiations between the parties hereto relating to the subject matters herein. All items that are referenced or that are attached are incorporated and made a part of this Agreement. If there is any conflict between the terms of this Agreement and referenced or attached items, the terms of this Agreement shall prevail.

The matters set forth in the “WHEREAS” clauses at the beginning of this Agreement are by this reference incorporated into and made a part of this Agreement.

17. MISCELLANEOUS PROVISIONS

17.1 The Parties intend that, with respect to the defense and indemnification provisions in Section 8 hereof, this Agreement may benefit or create rights or causes of action in or on behalf of any other agency providing services for the Event under a similar but separate agreement. Except for the foregoing, the Parties intend that this Agreement will not benefit or create any right or cause of action in or on behalf of any person or entity other than the Parties.

17.2 The Parties shall cooperate in achieving the objectives of this Agreement pursuant to Minnesota Statutes, Sections 15.51 through 15.57.

- 17.3 The Parties shall comply with all applicable federal, state, and local statutes, regulations, rules and ordinances currently in force or later enacted including but not limited to the MGDPA, Minnesota Statutes Section 471.425, subd. 4a, and as applicable, non-discrimination and affirmative action laws and policies.
- 17.4 If any provision of this Agreement is held invalid or unenforceable, such invalidity or unenforceability will not affect any other provision, and this Agreement will be construed and enforced as if such invalid or unenforceable provision had not been included.
- 17.5 Failure of a Party to enforce any provision of this Agreement does not affect the rights of the Parties to enforce such provision in another circumstance. Failure to enforce a provision does not affect the rights of the Parties to enforce any other provision of the Agreement at any time.

IN WITNESS WHEREOF, the parties hereto are authorized signatories and have executed this Agreement, the day and year first above written.

CITY OF BLAINE

CITY/COUNTY OF Lino Lakes

By: _____
 Erik Thorvig
 Its: City Manager

By: _____
 Print name: Karen Anderson

Date: _____

Its: City Administrator

Date: _____

By: _____
 Tim Sanders
 Its: Mayor

By: _____

Print name: Rob Rafferty

Date: _____

Its: Mayor

Date: _____

**CITY COUNCIL
STAFF REPORT
AGENDA ITEM 1.O.**

STAFF ORIGINATOR: Meg Sawyer, Human Resources and Communications Manager

MEETING DATE May 11, 2026

AGENDA ITEM: Rookery Activity Center Part-Time Staff Adjusted Wage Scale

VOTE REQUIRED: Simple Majority

INTRODUCTION

The City Council is being asked to consider approval of an updated wage scale for part-time staff at the Rookery Activity Center. This update adjusts the previous wage scale that was approved on April 25, 2022.

This update will ensure the City remains competitive in the current labor market and continues to attract high-quality staff for our activity center.

BACKGROUND

Since the opening of the Rookery Activity Center in May of 2022, staff has periodically reviewed hourly rates compared to similar positions in the metro area.

Recent market analysis indicates that while some positions remain competitive, several entry-level and service-oriented roles require adjustments to meet current economic conditions and recruitment goals.

These adjustments are vital to maintaining appropriate staffing levels, supporting ongoing recruitment efforts, and ensuring the continued successful operation of the Rookery Activity Center.

Certain positions have been re-evaluated based on operational needs and budgeting requirements. This has led to proposed adjustments in both directions by increasing rates for high-demand roles and lowering the range for others to align more closely with specific job duties.

With Council approval, the new wage scale would go into effect on May 17, 2026.

Position Title	Current Range	Proposed Range	Change Summary
Aquatic Fitness Instructor	\$21.00 – \$25.00	\$21.00 – \$25.00	No adjustment
Aquatics Lead	\$16.00 – \$20.00	\$16.00 – \$20.00	No adjustment
Child Watch Attendant	\$13.00 – \$15.00	\$14.00 – \$18.00	Increase
Custodial Maintenance Worker	\$20.00 – \$25.00	\$15.00 – \$20.00	Lowering Range
Guest Services Representative	\$13.00 – \$15.00	\$14.00 – \$18.00	Increase
Lifeguard	\$13.00 – \$17.00	\$13.00 – \$17.00	No adjustment
Manager on Duty	\$16.00 – \$20.00	\$16.00 – \$21.00	Increase (Max)
Recreation Attendant	\$10.50 – \$15.00	\$12.00 – \$15.00	MN Minimum Wage
Swim Instructor	\$14.00 – \$20.00	\$14.00 – \$20.00	No adjustment

RECOMMENDATION

Staff recommends the approval of the Rookery Activity Center Part-Time Staff Adjusted Wage Scale.

ATTACHMENTS

None

**CITY COUNCIL
STAFF REPORT
AGENDA ITEM 1.P.**

STAFF ORIGINATOR: Tracy Thoma, Finance Director

MEETING DATE May 11, 2026

AGENDA ITEM: Accept the Q1 2026 Financial Report for Filing

VOTE REQUIRED: Simple Majority

INTRODUCTION

Staff has prepared the Q1 2026 Financial Report.

BACKGROUND

Attached is the Q1 2026 Financial Report including:

- Investment Summary
- General Fund
- Rookery
- Water
- Sewer
- Storm Water

RECOMMENDATION

Accept the Q1 2026 Financial Report for Filing.

ATTACHMENTS

1. Q1 2026 Financial Report



1st Quarter 2026 Financial Report

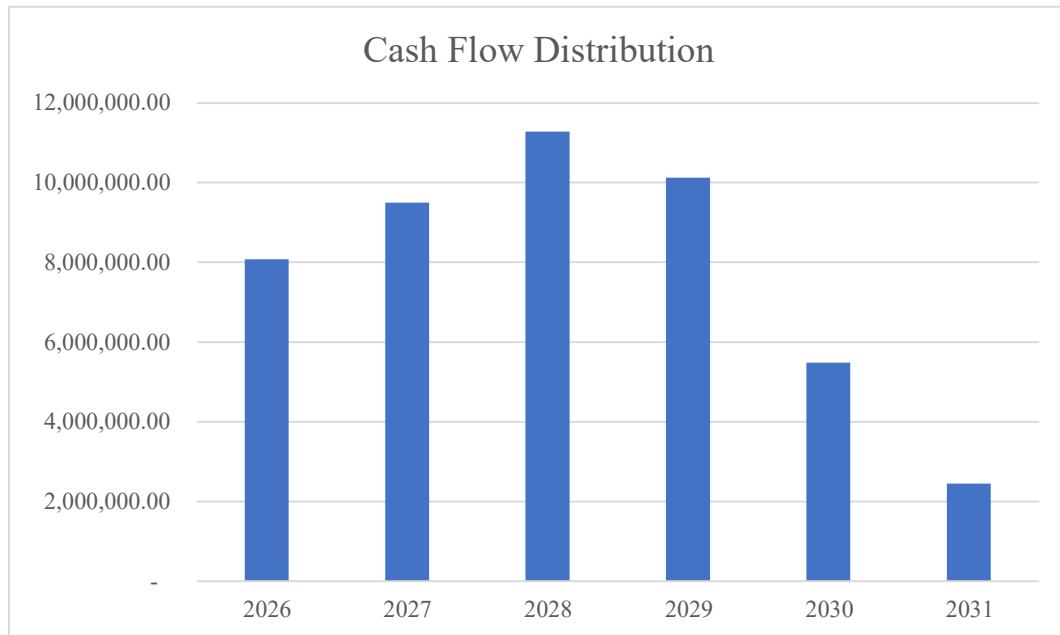
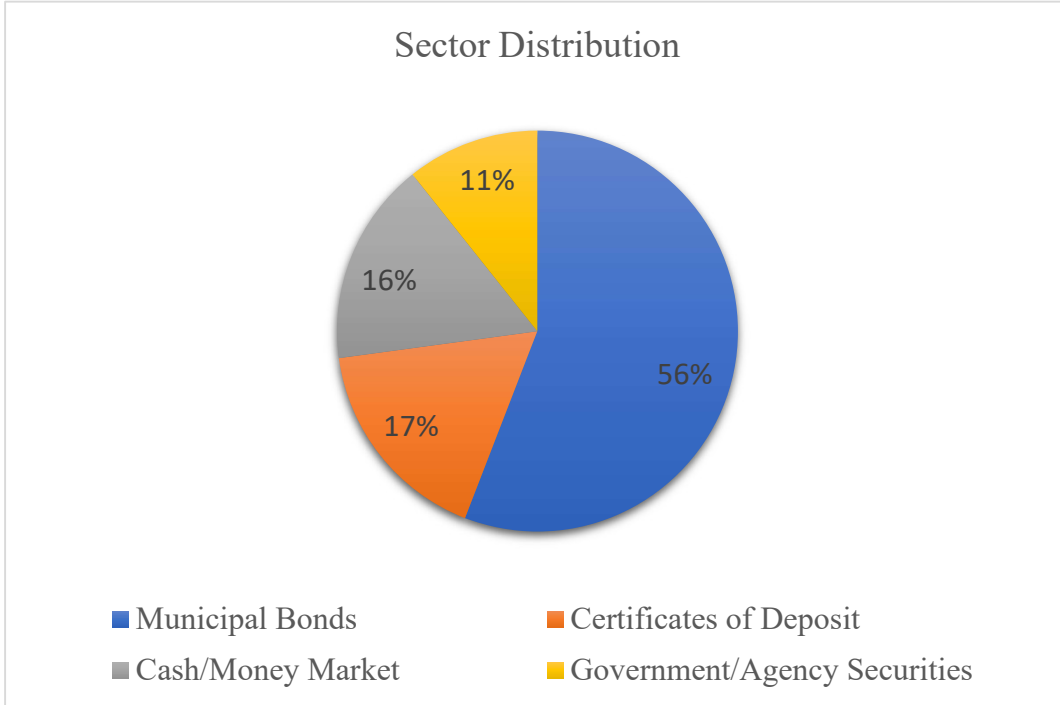
**City of Lino Lakes
Investments Summary
For the Quarter Ended March 31, 2026**

Portfolio Characteristics

Market Value	<u>\$ 54,728,072</u>
Number of Investments	155
Average Maturity (Date)	8/1/2028
Average Maturity (Years)	2.20

YTD Performance

Interest Earnings	<u>2026</u> \$387,564
Unrealized Gain (Loss)	-\$90,199



City of Lino Lakes
Cash Balance by Fund
For the Quarter Ended March 31, 2026

Fund	Cash Balance
101 General Fund	7,025,537
202 Rookery Activity Center	409,498
203 Economic Development Authority	273,740
204 Cable TV & Communications	248,097
205 Blue Heron Days	16,299
207 State Narcotics Forfeiture	26,083
208 DUI Forfeitures	45,570
209 Forfeitures - Other	1,573
210 Federal Forfeiture - Treasury	1,644
211 K9 Unit	1,884
214 Public Safety Aid	319,870
215 Local Affordable Housing Aid	346,348
301 Closed Bond	375,975
337 2014A G.O. Improvement Bonds	-
338 2015A G.O. Bonds	536,653
339 2015 EDA Lease Revenue Bonds	187,119
341 2016A G.O. Utility Revenue Bonds	167,753
344 2018A G.O. Bond	1,007,391
345 2020A G.O. Utility Revenue Bonds	290,561
346 2021A G.O. Street Reconstruction Bonds	49,339
347 2025A G.O. Street Recon & Utility Improvement	335,850
401 Building and Facilities	3,231,459
402 Capital Equipment Replacement	896,621
403 Office Equipment Replacement	39,045
405 Dedicated Parks	1,435,975
406 Area & Unit Trunk	9,274,851
418 T.I.F District 1-11	83
419 T.I.F District 1-12	323,226
420 Municipal State Aid (MSA)	3,798,298
421 Pavement Management	681,630
422 Surface Water Management	2,955,896
423 Street Reconstruction	513,574
425 Park & Trail Improvements	213,669
430 T.I.F. District 1-13	33,633
484 Comp Plan Updates	175,531
488 2024 Street Reconstruction	1,703,963
489 Public Works Facility Construction	(653,896)
601 Water Operating	5,731,026
602 Sewer Operating	7,756,810
603 Storm Water Operating	681,938
801 Contractor Deposits	3,869,024
810 Foxborough Environmental & Stewardship	141,235
811 Preserve Environmental & Stewardship	15,864
	\$ 54,486,241

City of Lino Lakes
General Fund Budget to Actual (Unaudited)
For the Quarter Ended March 31, 2026

	Annual Budget	Budget Thru 03/31/2026	Actuals Thru 03/31/2026	Variance - Favorable (Unfavorable)	Percent Received or Expended Based on Budget Thru 03/31/2026
Revenues					
Property Taxes	\$ 13,094,229	\$ 3,273,557	\$ -	\$ (3,273,557) *	- %
Other Taxes	145,000	36,250	15,721	(20,529) (A)	43.4
Licenses and Permits	1,044,589	261,147	214,293	(46,854)	82.1
Intergovernmental Revenue	1,008,168	252,042	170,508	(81,535) (B)	67.7
Charges For Services	463,013	115,753	115,356	(397)	99.7
Fines & Forfeits	81,000	20,250	23,381	3,131	115.5
Investment Income	85,000	21,250	51,531	30,281 (C)	242.5
Miscellaneous Revenue	48,000	12,000	27,947	15,947 (D)	232.9
Transfers In	-	-	-	-	-
Total Revenues	15,968,999	3,992,250	618,737	(3,373,513)	15.5
Expenditures					
Mayor & Council	166,864	41,716	39,367	2,349	94.4
Administration	761,435	190,359	183,195	7,163	96.2
Elections	66,360	16,590	315	16,275 (E)	1.9
Charter Administration	6,980	1,745	-	1,745	-
Finance	902,172	225,543	247,614	(22,071)	109.8
Legal Consultants	188,000	47,000	28,788	18,212 (F)	61.3
Economic Development	97,260	24,315	14,943	9,372	61.5
Planning & Zoning	218,793	54,698	50,255	4,443	91.9
Engineering	101,794	25,449	15,955	9,493	62.7
Community Development	351,830	87,958	79,924	8,034	90.9
Police	6,101,946	1,525,487	1,336,726	188,761	87.6
Fire	2,297,078	574,270	414,897	159,372 (G)	72.2
Building Inspections	595,731	148,933	118,577	30,356 (H)	79.6
Streets	1,265,485	316,371	263,944	52,427	83.4
Fleet Management	822,405	205,601	281,155	(75,553) (I)	136.7
Government Buildings	694,726	173,682	224,352	(50,671) (J)	129.2
Parks	968,444	242,111	167,187	74,924 (K)	69.1
Environmental	73,562	18,391	8,002	10,389	43.5
Solid Waste	97,763	24,441	18,244	6,197	74.6
Forestry	115,371	28,843	6,203	22,639 (L)	21.5
Other	75,000	18,750	40,000	(21,250) (M)	213.3
Total Expenditures	15,968,999	3,992,250	3,539,645	452,605	88.7
Revenues Over (Under) Expenditures	\$ -	\$ -	\$ (2,920,908)	\$ (2,920,908)	

* Property tax settlements are received from Anoka County in July (with 70% advance in June) and December.

Item Explanation of items with both a variance greater than \$15,000 and percentage less than 80% or greater than 120%

- (A) Q1 2026 Circle Pines gas franchise fees not received yet.
- (B) Timing difference with receipt of TZD Grant, Police State Aid, Municipal State Aid, SCORE grant and other aid payments.
- (C) Interest rates are favorable and surpassing budget expectations.

City of Lino Lakes
General Fund Budget to Actual (Unaudited)
For the Quarter Ended March 31, 2026

- (D) Annual Public Safety Officer Benefit received in February.
- (E) Most election expenses will be booked near the election.
- (F) Squires, Waldspurger & Mace legal billing lag.
- (G) Annual fire budget includes part-time health insurance benefits and part-time lieutenant positions starting mid-year.
- (H) Building Personal Services under budget due to timing difference of MN Paid Leave.
- (I) Property & Casualty auto insurance expensed in January for January to August premiums.
- (J) Property & Casualty building insurance expensed in January for January to August premiums.
- (K) Favorable variances to Temporary/Seasonal Wages, Utilities, and Contracted Services which are seasonal in nature (i.e. seasonal workers, irrigation, portable restrooms, weed control, trail maintenance, etc.) and will be utilized throughout the Summer/Fall.
- (L) Favorable variance to Contracted Services which are seasonal in nature.
- (M) The annual transfer for the Comp Plan was expensed in January.

City of Lino Lakes
Rookery Activity Center Fund Budget to Actual (Unaudited)
For the Quarter Ended March 31, 2026

	Annual Budget	Budget Thru 03/31/2026	Actuals Thru 03/31/2026	Variance - Favorable (Unfavorable)	Percent Received or Expended Based on Budget Thru 03/31/2026
Revenues					
Property Taxes	\$ 600,000	\$ 150,000	\$ -	\$ (150,000) *	- %
Intergovernmental	8,000	2,000		(2,000)	-
Charges For Services	1,460,788	365,197	282,047	(83,150) (A)	77.2
Investment Income	1,650	413	2,028	1,616	491.7
Miscellaneous Revenue	93,100	23,275	19,407	(3,868)	83.4
Total Revenues	2,163,538	540,885	303,483	(237,402)	56.1
Expenditures					
Personal Services	1,219,724	304,931	236,557	68,374 (B)	77.6
Supplies	84,150	21,038	13,024	8,013	61.9
Services & Charges	347,610	86,903	108,806	(21,904) (C)	125.2
Contractual Services	256,955	64,239	47,885	16,354 (D)	74.5
Total Expenditures	1,908,439	477,110	406,273	70,837	85.2
Revenues Over (Under) Expenditures	\$ 255,099	\$ 63,775	\$ (102,790)	\$ (166,565)	

* Property tax settlements are received from Anoka County in July (with 70% advance in June) and December.

Item Explanation of items with variance greater than \$15,000 and percentage less than 80% or greater than 120%

- (A) Annual and Monthly Membership Revenues are under budget due to software conversion. Member billing information did not transfer to the new system. Program Revenue is under budget due to the seasonal nature of the programs. (i.e. summer camp)
- (B) Wages are under budget due to the seasonal nature of programs (i.e. summer camp)
- (C) Technology Services is over budget due to software conversion and the overlap of CivicRec and RecTrac software. Property & Casualty building insurance was expensed in January for January to August premiums.
- (D) Contracted Services - Fitness Provider is under budget. Anticipated revenue share projections were not reached due to the issues with the software conversion. Contracted Services - Programs is under budget due to the seasonal nature (i.e. summer camp)

City of Lino Lakes
Water Fund Budget to Actual (Unaudited)
For the Quarter Ended March 31, 2026

	Annual Budget	Budget Thru 03/31/2026	Actuals Thru 03/31/2026	Prior Year Thru 03/31/2025	Variance - Favorable (Unfavorable)
Revenues					
Water Hook Up Charge	\$ 41,250	\$ 10,313	\$ 8,500	\$ 12,500	\$ (4,000)
Water Meter Sales	90,000	22,500	20,937	30,547	(9,610)
Irrigation Controller Sales	5,000	1,250	90	-	90
Interest On Investments	98,267	24,567	40,042	42,467	(2,425)
Change in FV of Investments	-	-	(11,871)	51,863	(63,734) (A)
Miscellaneous Revenue	2,000	500	756	860	(104)
Water Sales	1,671,765	417,941	224,613	222,267	2,346
Water Base Fee	785,200	196,300	201,261	178,448	22,814 (B)
Penalty	40,000	10,000	11,822	-	11,822
Bond Proceeds	6,000,000	1,500,000	-	-	-
Total Revenues	8,733,482	2,183,371	496,150	538,951	(42,801)
Expenditures					
Personal Services	471,217	117,804	107,659	100,325	(7,334)
Supplies	443,000	110,750	83,863	40,952	(42,911) (C)
Services & Charges	491,793	122,948	113,598	173,423	59,825 (D)
Contractual Services	44,995	11,249	2,757	3,551	795
Capital Outlay	6,400,000	1,600,000	-	-	-
Debt Service & Interest Expense	867,836	216,959	19,488	-	(19,488) (E)
Transfers Out	50,000	12,500	50,000	-	(50,000) (F)
Total Expenditures	8,768,841	2,192,210	377,365	318,252	(59,114)
Revenues Over (Under) Expenditures	\$ (35,359)	\$ (8,840)	\$ 118,785	\$ 220,700	\$ (101,915)

Item Explanation of items with variance greater than \$20,000

- (A) Fair market value of investments reflects what the investments could be sold for today, not what was originally paid or what the investments are worth long-term. Market conditions, interest rates and global and political events can drive a change in the fair market value of investments. The City does not plan to sell any investments prior to maturity. The value is expected to recover over time.
- (B) There were 6,059 water accounts in Q1 2026 compared to 5,891 accounts in Q1 2025.
- (C) Supplies variance to Q1 2025 is due to additional water meters and radios purchased for phase 1 of the Sensus software implementation. Chemicals variance is due to timing of chemical purchases.
- (D) Approximately \$75K in 2025 expenses for well and pump rehabs, and watermain repairs, no similar Q1 2026 activity.
- (E) 2026 PFA loan interest. No similar activity in 2025.
- (F) Debt Service transfer for 2025A Bonds. No similar activity in 2025.

City of Lino Lakes
Sewer Fund Budget to Actual (Unaudited)
For the Quarter Ended March 31, 2026

	Annual Budget	Budget Thru 03/31/2026	Actuals Thru 03/31/2026	Prior Year Thru 03/31/2025	Variance - Favorable (Unfavorable)
Revenues					
Sewer Hook Up Charge	\$ 33,000	\$ 8,250	\$ 7,220	\$ 10,200	\$ (2,980)
Sewer Sales	2,208,739	552,185	581,934	542,503	39,431 (A)
Penalty	35,000	8,750	11,439	-	11,439
Interest On Investments	124,387	31,097	54,797	58,436	(3,640)
Change in FV of Investments	-	-	(15,544)	71,262	(86,805) (B)
Bond Proceeds	6,000,000	1,500,000	-	-	-
Total Revenues	8,401,126	2,100,282	639,846	682,400	(42,555)
Expenditures					
Personal Services	474,486	118,622	109,706	106,739	(2,967)
Supplies	106,200	26,550	1,721	1,692	(28)
Services & Charges	396,709	99,177	63,357	55,275	(8,082)
Contractual Services	2,171,310	542,828	348,389	449,690	101,302 (C)
Capital Outlay	6,425,000	1,606,250	-	-	-
Operating Transfers	50,000	12,500	50,000	-	(50,000) (D)
Total Expenditures	9,623,705	2,405,926	573,172	613,395	40,224
Revenues Over (Under) Expenditures	\$ (1,222,579)	\$ (305,645)	\$ 66,674	\$ 69,005	\$ (2,331)

Item Explanation of items with variance greater than \$20,000

- (A) Increase in sewer rates combined with an increase in accounts. There were 6,268 sewer accounts in Q1 2026 compared to 6,094 accounts in Q1 2025.
- (B) Fair market value of investments reflects what the investments could be sold for today, not what was originally paid or what the investments are worth long-term. Market conditions, interest rates and global and political events can drive a change in the fair market value of investments. The City does not plan to sell any investments prior to maturity. The value is expected to recover over time.
- (C) Timing difference of MCES Sewer Charge payments to Met Council 2025 vs. 2026.
- (D) Debt Service transfer for 2025A Bonds. No similar activity in 2025.

City of Lino Lakes
Storm Water Fund Budget to Actual (Unaudited)
For the Quarter Ended March 31, 2026

	Annual Budget	Budget Thru 03/31/2026	Actuals Thru 03/31/2026	Prior Year Thru 03/31/2025	Variance - Favorable (Unfavorable)
Revenues					
Interest On Investments	\$ 8,966	\$ 2,242	\$ 4,653	\$ 3,360	\$ 1,293
Change in FV of Investments	-	-	(1,484)	4,100	(5,584)
Storm Water Utility	549,220	137,305	122,641	117,153	5,488
Penalty	10,000	2,500	2,474	-	2,474
Total Revenues	<u>568,186</u>	<u>142,047</u>	<u>128,283</u>	<u>124,614</u>	<u>3,670</u>
Expenditures					
Personal Services	219,561	54,890	49,264	51,906	2,642
Supplies	10,500	2,625	175	2,928	2,754
Services & Charges	49,280	12,320	6,745	1,926	(4,820)
Contractual Services	247,500	61,875	474	3,204	2,730
Capital Outlay	208,500	52,125	-	-	-
Total Expenditures	<u>735,341</u>	<u>183,835</u>	<u>56,658</u>	<u>59,963</u>	<u>3,306</u>
Revenues Over (Under) Expenditures	<u>\$ (167,155)</u>	<u>\$ (41,789)</u>	<u>\$ 71,626</u>	<u>\$ 64,651</u>	<u>\$ 6,975</u>

Item Explanation of items with variance greater than \$20,000

**CITY COUNCIL
STAFF REPORT
AGENDA ITEM 3.A.**

STAFF ORIGINATOR: Meg Sawyer, Human Resources and Communications Manager

MEETING DATE May 11, 2026

AGENDA ITEM: Appointment of Police Officer

VOTE REQUIRED: Simple Majority

INTRODUCTION

The City Council is being asked to approve the appointment of Ryan Calhoun to the Police Officer position within the Police Department.

BACKGROUND

Staff has completed the recruitment process, provided a conditional offer, and is recommending the approval of Calhoun for the full-time position.

Calhoun has 7 years of experience with the Minneapolis Police Department. The starting wage for Calhoun will be \$50.49 per hour, which is Step 4 in a 7 step wage scale for the Police Officer position.

With the Council's approval, Calhoun will start in the Police Officer position on June 2, 2026.

The 2026 Approved Budget is funded for 29 sworn positions. The hiring of Calhoun as an officer will bring the police department to 24 sworn staff.

RECOMMENDATION

Please approve the appointment of Ryan Calhoun to the Police Officer position.

ATTACHMENTS

None

**CITY COUNCIL
REGULAR MEETING STAFF REPORT
AGENDA ITEM 7A**

STAFF ORIGINATOR: Katie Larsen, City Planner

MEETING DATE: May 11, 2026

TOPIC: Lyngblomsten PUD Amendment #4-Mixed Use Building

- i. Approval of Resolution No. 26-64 for PUD Preliminary Plan/Preliminary Plat Amendment #4
- ii. Approval of Resolution No. 26-65 for Conditional Use Permit for Commercial Day Care Facility
- iii. Approval of Resolution No. 26-66 for Conditional Use Permit for Residential Apartments

VOTE REQUIRED: Simple Majority

INTRODUCTION

The applicant, Lyngblomsten at Lino Lakes, LLC, submitted a Land Use Application for PUD Amendment #4. They are requesting an amendment to the PUD Preliminary Plan/Preliminary Plat (“PUD Amendment”) to construct a 4-story mixed use building at the southeast corner of the site. The first floor would be commercial uses, and the other three floors would be 59 market-rate independent living units for residents age 55 and older.

Tentative Review Schedule:

Complete Application Date:	March 19, 2026
60-Day Deadline:	May 18, 2026
Environmental Board Meeting:	March 25, 2026
Park Board Meeting:	N/A
Planning & Zoning Board Meeting:	April 8, 2026
City Council Work Session:	May 4, 2026
City Council Meeting:	May 11, 2026 May 26, 2026

BACKGROUND

The Land Use Application is for the following:

- PUD Preliminary Plan Amendment #4-Mixed Use Building
 - PUD Preliminary Plan
 - Preliminary Plat
 - Conditional Use Permit for Commercial Day Care Facility
 - Conditional Use Permit for Residential Apartments

This staff report is based on the following information:

- Lyngblomsten Lino Lake Campus Plan Set prepared by Wold Architects and Engineers dated March 9, 2026
- Applicant Narrative
- Design Guidelines Revised March 2026
- Stormwater Management Report prepared by Bolton & Menk revision date March 6, 2026
- Geotechnical Evaluation Report prepared by Braun Intertec dated March 6, 2026
- Traffic Study prepared by Transportation Collaborative & Consultants, LLC dated March 6, 2026
- Use Area Tabulation submitted by Wold Architects and Engineers dated March 9, 2026

Previous Council Action

- April 8, 2019: Ordinance No. 07-19 rezoning property from GB, General Business to PUD, Planned Unit Development
 - Details permitted, accessory, conditional and administrative uses specific to the 21 acre site
- April 8, 2019: Resolution No. 19-42 approving PUD Development Stage Plan/Preliminary Plat
 - Establishes development’s framework regarding lot and yard requirements, height regulations, impervious surface and design guidelines
- May 11, 2020: Resolution No. 20-44 approving PUD Development Stage Plan Amendment #1-Site Plan and Grading & Drainage Plan
 - This amendment omitted the clubhouse and revised the site plan and grading & drainage plans
- July 26, 2021: Resolution No. 20-94 approving PUD Final Plan/Final Plat
- December 11, 2023: Resolution No. 23-126 approving PUD Amendment #2-North Lot Line Fence and Pickleball Court
 - This amendment omitted the north lot line fence in lieu of additional landscaping and allowed for the construction of a pickleball court in the southwest corner of the site.
- January 12, 2026: Resolution No. 26-04 approving PUD Amendment #3-Skilled Nursing Care Center

- This amendment changed the 2-story skilled nursing care center to a 3-story skilled nursing care center with 61 units to be located at 6070 Blanchard Boulevard.

ANALYSIS

History

The original 21 acre Lyngblomsten site PUD Development Stage Plan (now called PUD Preliminary Plan) was approved in April 2019 with Resolution No. 19-42. It included townhomes on the north end, senior campus centrally located, and commercial development on the south end. The commercial development generally consisted of a restaurant, retail building, and possible fast-food restaurant.

In January 2026, City Council approved PUD Amendment #3 changing the 2-story skilled nursing care center to a 3-story skilled nursing care center with 61 units. This project is temporarily on hold.

In February 2026, EDAC and the Planning & Zoning Board had a very high-level discussions regarding the proposed PUD Amendment #4 mixed use building. There was general support for the project.

Proposed PUD Preliminary Plan Amendment #4

PUD Amendment #4 proposes to change the 3-story restaurant and commercial development component to a 4-story mixed use building. The first floor would be commercial uses, and the other three floors would be 59 market-rate independent living units for residents age 55 and older. See attached Applicant's Narrative for project details.

The mixed use building and site will include:

- Surface parking lot
 - 138 surface parking spaces
- Underground parking
 - 70 parking spaces
- 1st floor commercial
 - 5 retail bays
 - Restaurant
 - Daycare
 - Resident amenity center
 - fitness center, pickleball court, community room, and additional gathering or wellness-oriented spaces that contribute to campus life and resident engagement
- 2-4th floor residential
 - 59 market-rate independent living units for residents age 55 and older
 - 15 one-bedroom

- 21 one-bedroom + den
- 18 two-bedroom
- 5 two-bedroom + den

Comprehensive Plan and Density

The entire Lyngblomsten campus site is guided Signature Gateway. This land use allows residential at a density of 8.0 to 10.0 units per acre with 15 units per acre allowed if the project meets the City's housing goals. Goal #2 of the Comprehensive Plan-Housing Chapter is to enhance opportunities for senior housing. The proposed 55+ independent living units and life cycle housing meet this goal.

	2021 PUD Final Plan	2026 PUD Amend #4
Gross Area (acres)	21.02	21.02
Wetlands & Water Bodies	(0.28)	(0.28)
Public Parks & Open Space	0.00	0.00
Arterial ROW	(1.83)	(1.83)
Other (Utility Transmission Easement)	0.00	0.00
Other (Wetland Buffer Area)	(0.24)	(0.24)
Net Area (acres)	18.67	18.67
# of Units	151*	210*
Gross Density (units/acre)	7.18	9.99
Net Density (units/acre)	8.09	11.25

**Per Met Council, nursing home and memory care units are not considered housing units and do not count toward a community's net residential density.*

The original PUD contained 151 housing units. The additional 59 independent living units brings the total housing unit count to 210. The overall net density is now 11.25 units per net acre which is consistent with the Comprehensive Plan.

Zoning

Ordinance No. 07-19 rezoned the entire Lyngblomsten campus site to PUD, Planned Unit Development to implement the Master Planning Study-Hodgson Road & CR J. Resolution No. 19-42 approving the PUD Preliminary Development Stage/Preliminary Plat establishes setback, building height, architectural standards etc. requirements. The Design Guidelines for Lyngblomsten at Lino Lakes further detail these requirements.

Per Ordinance No. 07-19, conditional use permits are required for the commercial day care facility and residential apartments accessory to permitted or conditional uses in the PUD. The findings of fact are detailed in the resolutions.

Master Planning Study-Hodgson Road & CR J

The development of this property is guided by the Master Planning Study-Hodgson Road & CR J (“Master Plan”), which was approved by the City Council in 2007 with Resolution No. 07-21. The Master Plan anticipated a mix of residential and commercial uses on the site, specifically noting that the mixed use district *“would allow for, though not mandate, the inclusion of residential units, possibly in multi-story buildings. This would provide customers for the commercial development, and the commercial services would be convenient to the residents.”*

The Master Plan notes the Hodgson/Co Rd J intersection is a gateway and appropriate elements are to be included in the development of the corners of this intersection.

In June 2024, the City created the Lino Lakes Gateway Planning study. The study identified the Hodgson Road and County Road J intersection as a Primary Gateway. Per the study, “This primary gateway is an entrance into the city of Lino Lakes from the south, adjacent to the city of Shoreview. The roundabout island follows the design shown in “Roundabout Design - Typical”. One (1) “Monument Sign Type A” will be located in the NE quadrant of the intersection creating a gateway as users enter Lino Lakes on Hodgson Road.” See attached monument sign and location. See attached excerpt from Gateway Planning Study.

The PUD Amendment #4 landscape plan shows a 1,000sf landscaped, outdoor area in the southeast corner of the site that could accommodate outdoor seating and amenities. The two (2) existing electrical transformer boxes and proposed grades limit the usable space; however, additional gateway elements shall be incorporated into the area.

The original PUD Preliminary Plan/Preliminary Plat was found to be consistent with the Master Plan. The proposed PUD Amendment #4 is also consistent with the Master Plan.

Design Guidelines

The Master Plan also notes that design guidelines must be prepared for any new development project in the area. Design Guidelines for Lyngblomsten at Lino Lakes were prepared as part of the original PUD Preliminary Plan and have been revised accordingly with the PUD Amendment #4. The guidelines in conjunction with Resolution No. 19-42 detail site plan, building and parking setbacks, gateway elements. Architectural standards, building heights, landscaping and signage requirements.

The proposed PUD Amendment #4 is consistent with the design guidelines.

Site & Building Plan Review

Like the existing 4 story senior living campus building, the R-4, High Density Residential and Multiple-family dwelling general building and use provisions will be applied to the proposed mixed use building.

Resolution No. 19-42 approving the original PUD Preliminary Plan/Preliminary Plat established building and parking lot setbacks. These setback requirements have remained the same through PUD Amendments #1-3.

This PUD Amendment #4 proposes to change the mixed-use building setback requirements. Currently, the commercial site is allowed a 10ft setback along Hodgson Road and Ash Street, but staff recommends changing this to 25ft to be consistent with the existing 4 story senior living campus building.

Red text indicates a proposed change.

Setbacks

Road or Boundary	Building	Current Setback Requirement (ft)	Proposed Setback Requirement (ft)	Actual Setback (ft)
CSAH 49 (Hodgson Road)				
	Cottage Homes	40	40	
	Senior Living Campus	25	25	
	Restaurant	10	10	
	Commercial Development Mixed Use Building	10	25	30
CR J (Ash Street)				
	Commercial Development Mixed Use Building	10	25	25
Public Road (Blanchard Blvd)				
	Cottage Homes	25	25	
	Clubhouse	25	NA	
	Senior Living Campus	10	10	
	Restaurant	15		
	Commercial Development	15	15	120

Road or Boundary	Building	Current Setback Requirement (ft)	Proposed Setback Requirement (ft)	Actual Setback (ft)
	Mixed Use Building			
Private Road				
-Hammerly Ct	Cottage Homes	23 from curb or sidewalk	23	
-Lyngblomsten Dr	Restaurant & Commercial Mixed Use Building	15 from curb or sidewalk	15	60
North Lot Line		30	30	
West Lot Line		50	50	
Parking Lot		15	15	15

Building Height

Resolution No. 19-42 approving the PUD Development Stage Plan/Preliminary Plat established the following building heights:

- Senior Living Campus

No building shall be erected or structurally altered to exceed forty-five (45) feet in height—or, for a multiple dwelling building, the greater of four (4) stories or forty-five (45) feet—except as allowed by §1007.043 (3).

- Restaurant and Commercial Development

No building shall exceed a height of three (3) stories or thirty-six (36) feet, whichever is higher.

PUD Amendment #4 proposes to change the 3-story restaurant and commercial development component to a 4-story mixed use building. The proposed mixed use building is similar in height to the existing 4-story independent living building.

Building	Top of Wall + Parapet = Total
Existing 4 story-Independent Living	46' 6" + 4' 0" = 50' 6"
Proposed 4 story Mixed Use	47' 8" + 2' 10" = 50' 6"

The attached Site and Building Plan Review Worksheet details compliance regarding setbacks, architecture, lighting, off-street parking, etc. Comments highlighted in red shall be addressed.

The Master Plan states commercial buildings must incorporate trash and service areas within the buildings rather than utilizing outdoor enclosures. The site plan shall be revised.

Impervious Coverage

The maximum allowed impervious surface coverage over the 21 acre site is 75%. Proposed impervious surface coverage is 48%. Impervious surface coverage requirements are met.

Architecture

The Lyngblomsten Design Guidelines detail the architectural standard requirements for the entire development. Exterior materials for the existing senior living campus building include hardie plank siding (evening blue, arctic white, and woodlook) and stone. The stone for the entire building is 35.3% which is greater than the minimum City Code 33% requirement.

The proposed mixed use building uses similar four-sided architecture and building articulation. The same exterior materials are proposed except instead of evening blue, midnight black hardie plank siding is proposed to provide some variation between the buildings. The total stone is 33.1% which meets the minimum City Code 33% requirement.

Architectural requirements are met.

Parking Space Requirements

The parking space requirements per net usable square footage where analyzed for each proposed use. 197 spaces are required and 205 are provided. Parking space requirements are met.

Use	Code Requirement	Net SF or # Units	Code Factor	# Required Parking Spaces	Notes
Senior Housing	1.5 spaces per independent living apartment unit other than studio apartments. Studio apartments require 1 space per unit. Half of the parking spaces for independent living shall be underground.	59	1.5	89	There are no studio apartments. 70 underground spaces + 135 surface spaces provided.
Day Care	1 space for each 300 square feet of floor area.	6,719	300	22	
Retail Store	1 space for each 200 square feet of floor area.	4,465	200	22	
Restaurant	1 space for each 100 square feet of dining room, plus 1 space for each employee of the maximum work shift.	2,683	100	42	15 employees
Fast Food Restaurant	1 space for each 67 square feet of gross floor area.	1,456	67	22	

Total Required = 197

135 surface parking spaces
 70 underground spaces
Total Provided = 205

Preliminary Plat

The Lyngblomsten at Lino Lakes preliminary plat for the entire 21 acre site was approved in 2019. Lot 2, Block 2 was the proposed stand alone restaurant lot. Outlot C was the future commercial retail lot. No formal site and building plans were reviewed or approved for these parcels. The final plat was approved in July 2021.

Lyngblomsten at Lino Lakes Second Addition will combine these two (2) parcels into one (1) lot. The total lot area is 3.36 acres. The existing drainage and utility easement that runs between these two (2) parcels will also be vacated by City Council action and new easements will be dedicated on the final plat.

A 10' x 10' triangle of road right-of-way shall be dedicated on the plat in the southeast corner of the lot to provide separation from the existing trail.

A separate land use application for final plat shall be submitted after preliminary plat approval.

Traffic Study

Traffic impacts were analyzed with the original PUD Preliminary Plan for the entire 21 acre development. Ash Street / CR J / CR 1 and Hodgson Road / CR 49 intersection was reconstructed as a roundabout in 2024 that included turn lanes and access changes as noted earlier. The roadway reconstruction project was designed to accommodate long-term growth within the study area.

A revised Traffic Study was prepared by Transportation Collaborative & Consultants, LLC dated March 6, 2026 that incorporated both the mixed use building (PUD Amendment #4) and 61 unit skilled nursing care center (PUD Amendment #3).

- The peak hours within the study area represent 7:15 to 8:15 a.m. and 4:15 to 5:15 p.m.
- The adjacent skilled nursing / assisted living development is estimated to generate 12 a.m. peak hour (7 in / 5 out), 15 p.m. peak hour (6 in / 9 out), and 254 daily (127 in / 127 out) trips.
- The proposed mixed-use development is estimated to generate 173 a.m. peak hour (91 in / 82 out), 192 p.m. peak hour (97 in / 95 out), and 1,426 daily (713 in / 713 out) trips.
- Total daily trip generation is 1,680.

Level of Service

Level of Service (LOS) is used to describe the operating conditions of an intersection. Facilities are given letter designations from "A" (best operating conditions) to "F" (worst conditions).

City Code Section 1001.013(2)(c), Premature Subdivision of the City's Subdivision Ordinance establishes minimum Level Of Service (LOS) requirements. The ordinance states that if the LOS

is A or B, the proposed subdivision shall not the degrade the LOS more than one grade. If the LOS is C or D, it shall not degrade the LOS. Intersections with a LOS of E or F must be improved to ensure a LOS of D or better.

Per the traffic study:

Table 1 Existing Intersection Capacity

Study Intersection	Traffic Control	Level of Service (Delay)	
		AM Peak Hour	PM Peak Hour
Hodgson Rd / CR 49 and Blanchard Blvd	SSS	A / B (13)	A / B (14)
Hodgson Rd / CR 49 and Lyngblomstem Dr	SSS	A / B (11)	A / B (10)
Hodgson Rd / CR 49 and Ash St / CR J / CR 1	RAB	B (10)	B (12)
Ash St / CR J / CR 1 and Blanchard Blvd	SSS	A / B (12)	A / B (13)

SSS – Side-Street-Stop RAB – Roundabout

Table 3 Future Intersection Capacity

Study Intersection	Traffic Control	Level of Service (Delay)			
		AM Peak Hour		PM Peak Hour	
		2029	2040	2029	2040
Hodgson Rd / CR 49 and Blanchard Blvd	SSS	A / C (15)	A / C (17)	A / C (18)	A / C (20)
Hodgson Rd / CR 49 and Lyngblomstem Dr	SSS	A / B (12)	A / B (12)	A / B (11)	A / B (11)
Hodgson Rd / CR 49 and Ash St / CR J / CR 1	RAB	B (12)	C (16)	B (13)	C (18)
Ash St / CR J / CR 1 and Blanchard Blvd	SSS	A / B (12)	A / B (13)	A / B (13)	A / B (14)

SSS – Side-Street-Stop RAB – Roundabout

The proposed Level of Service requirements do not fall more than one grade. The proposed subdivision meets the Level of Service requirements; therefore, it is not deemed premature.

Landscaping

Per the March 25, 2026 Environmental Board staff report:

Open Areas Landscape Standards

The purpose of these standards is to provide general site beautification and high aesthetic quality with a mix of plant materials in open areas. Open area landscape standards call for 1 large tree and 2 large shrubs per 2500 SF.

The site has 33,995 SF of proposed open space. This equates to 14 trees and 28 shrubs being planted in addition to required boulevard trees. The developer is proposing an additional 6 large shrubs.

Buffer and Screen Standards

Screening is required between a parking lot and public right of way, 30" screening is to be provided. Currently screening is proposed along Blanchard Boulevard and additional screening will be required adjacent to Lyngblomsten Drive.

Canopy Cover

Canopy cover is required to meet 40% of the vehicular hardscape. The site is proposing 54,375 SF of hardscape, requiring 23,450 SF of canopy coverage. Provided canopy coverage for the site is 24,650 SF, exceeding requirements.

Foundation Landscaping

Foundation landscaping standards require 2 large trees and 6 large shrubs per 100 LF of building front. The proposed building has 494 LF of frontage requiring 10 large trees and 30 large shrubs. The proposed landscape plan shows 10 large trees and 142 large shrubs, meeting requirements.

Additional City and Government Agency Review Comments

- Anoka County Highway Department reviewed the plans and had no comments.
- Lino Lakes Police Department reviewed the plans and had no comments.
- Lino Lakes Fire Department received the plans and had no comments.
- City Engineer comments are provided in the attached memo.
- Environmental Coordinator comments are provided in the attached memo.
- The developer held a neighborhood meeting on March 24, 2026 and meeting minutes are attached.
- Planning & Zoning Board held a public hearing on April 8, 2026. Public comments included concerns regarding pedestrian crossing at the roundabout. The Board had similar concerns regarding overall pedestrian access to the mixed use building and at the roundabout. The Board recommended approval of the PUD Amendment #4. The Board also made a separate motion to study all roundabout and pedestrian traffic safety.

Findings of Fact

The findings of fact are detailed in the attached resolutions.

RECOMMENDATION

Staff and the Planning & Zoning Board recommend approval of the Lyngblomsten PUD Amendment #4-Mixed Use Building.



ATTACHMENTS

1. Site Location and Aerial Map
2. Applicant Narrative
3. Current PUD Site Plan #3
4. Proposed PUD Site Plan #4
5. Preliminary Plat and Civil Site Plan
6. Grading Plan
7. Landscape Plan
8. Existing Exterior Elevations-Independent Living Building
9. Proposed Exterior Elevations-Mixed Use Building
10. Architectural Rendering
11. Floor Plans
12. Master Planning Study-Hodgson Rd & CR J
13. Gateway Planning Study-Hodgson Rd & CR J
14. Site Plan Review Worksheet
15. Engineering Memo dated April 1, 2026
16. Environmental Memo dated April 1, 2026
17. Resolution No. 26-64 PUD Preliminary Plan/Preliminary Plat Amendment #4
18. Resolution No. 26-65 Conditional Use Permit for Commercial Day Care Facility
19. Resolution No. 26-66 Conditional Use Permit for Residential Apartments

Site Location & Aerial Map-Lyngblomsten



1 in = 300 Ft

-  Parcels
-  City Mask





Lyngblomsten Mixed Use Project

Written Project Narrative

Address: 6030 Blanchard Blvd Lino Lakes, MN 55014

Property ID: 31-31-22-43-0070 and 31-31-22-43-0066

Project Team

- **Owner/Operator:** Lyngblomsten at Lino Lakes LLC
- **Development Consultant:** Grand Real Estate Advisors (GREA)
- **Architect/Engineer:** Wold Architects and Engineers
- **Civil Engineer:** Bolton and Menk
- **Construction Manager:** Weis Construction

Project Overview

Lyngblomsten at Lino Lakes is proposing a new mixed-use building as the next phase of development within its senior living campus in Lino Lakes, Minnesota. This application is being submitted in support of a Preliminary Plat and PUD Amendment for the subject parcels. The proposed project will occupy a prominent corner- north of County Road J and west of Hodgson Road. The new mixed-use building is intended to strengthen both the internal function of the Lyngblomsten community and the public-facing presence of the site along this important corridor.

The project consists of a mixed-use building with commercial and resident-oriented space on the first floor and market-rate senior independent living units above. The development is designed to serve as a major next step in the long-term evolution of the campus by adding housing, amenities, and neighborhood-serving retailers in a way that is compatible with the existing Lyngblomsten community and supportive of future phases.

Purpose and Need

Lyngblomsten previously evaluated a care center addition as the next phase of campus expansion. As the project team and ownership continued to study the broader needs of the campus and surrounding market, it became clear that advancing the mixed-use component first is the right step at this time. This approach allows Lyngblomsten to meet current demand for additional 55+ independent living, activate a highly visible corner of the property, expand campus amenities, and create a broader base of residents and activity that will support a future care center addition.

The project responds to several important needs. First, it expands market-rate housing options for older adults seeking independent living within a high-quality campus environment. Second, it introduces first-floor commercial uses that will bring activity, services, and tax-generating value to the site and the City. Third, it enhances the overall Lyngblomsten campus by providing new shared amenity space for residents across the existing townhomes, independent living, assisted living, memory care, and the

proposed new building. In this way, the mixed-use building is both a standalone project and a strategic campus-building investment.

Site Context and Design Integration

The subject property is located within the Lyngblomsten at Lino Lakes campus and occupies a visible position near the corner corridor, north of County Road J and west of Hodgson Road. Today, this portion of the site remains open and underutilized. The proposed development will help define the street edge, strengthen the visual presence of the campus, and create a more complete and active development pattern at this key location.

The project has been planned to integrate with the existing Lyngblomsten campus and not operate as an isolated building. It is intended to connect functionally with the larger campus environment, reinforce internal circulation, and support the long-term vision for phased expansion. From an urban design standpoint, the building will bring a stronger sense of enclosure and activity to the street while also serving as a gateway element for the broader Lyngblomsten property.

Building Program and Design

The proposed building is a mixed-use structure with one lower-level parking level (approx. 29,800 SF), an active first floor (approx. 29,800 SF), and three upper residential floors (approx. 26,500 SF). Based on the current plans, the development will include 59 market-rate independent living units for residents age 55 and older. The current unit mix includes fifteen (15) one-bedroom (802-814 SF), twenty-one (21) one-bedroom plus den (937-1,083 SF), eighteen (18) two-bedroom (1,178-1,258 SF), and five (5) two-bedroom plus den units (1,356-1,509 SF), providing a range of housing choices for seniors seeking independent living within the Lyngblomsten campus.

The first floor is intended to include a mix of resident-serving and community-oriented uses. Current planning assumptions include approximately five retail bays, a restaurant use, daycare space, and resident amenity areas. The amenity program is intended to serve not only the residents of the new building, but residents across the broader Lyngblomsten campus, including the townhomes, independent living, assisted living, and memory care components. These amenities are expected to include spaces such as a fitness center, pickleball court, community room, and additional gathering or wellness-oriented spaces that contribute to campus life and resident engagement.

This mixed-use arrangement is intentional. It creates an active ground floor, supports a stronger sense of place, and provides services and amenities that add value to the campus as a whole. It also aligns with the long-term vision of making the Lyngblomsten campus more complete, vibrant, and sustainable as additional phases are brought forward over time.

Access, Parking, and Circulation

The project will be served through the existing street network and internal campus circulation system. Because the site sits at a prominent corner within the Lyngblomsten development, access and traffic flow are important parts of the planning effort. The design is intended to provide clear vehicular access, functional parking distribution, pedestrian connectivity, and efficient movement between the proposed building and the existing campus.

A preliminary parking analysis has been completed using City of Lino Lakes parking standards for the proposed mix of uses. Per City Code, the required parking for the proposed development is based on the residential unit count and the anticipated mix of commercial uses within the building. The 59 residential units require 89 parking stalls under the City's parking standards. The proposed commercial uses require an additional 110 parking stalls, resulting in a total required parking supply of 199 stalls for the project.

The proposed site plan provides parking both within the building and in surface parking areas. The development includes 70 structured parking stalls located beneath the building and 138 surface parking stalls, for a total of 208 parking stalls provided on site.

Therefore, the proposed parking supply exceeds the City's minimum parking requirement for the development.

Pedestrian circulation is also an important part of the plan. The building is intended to connect safely and conveniently to the rest of the Lyngblomsten campus so that residents from multiple buildings can access shared amenities and activity spaces. The final site design will continue to reinforce these connections.

Utilities, Drainage, and Stormwater

Utility service, grading, drainage, and stormwater management for the project will be coordinated as part of the full civil engineering and final development review process. The project team has already undertaken due diligence work related to site conditions, including geotechnical and groundwater investigation, to support design and construction planning. These efforts will inform final recommendations regarding building foundation systems, stormwater design, utility connections, and site grading.

The project will be designed to work within the broader campus infrastructure framework while also meeting applicable City and watershed requirements. Final stormwater management, drainage patterns, and utility plans will be reviewed with City staff and the applicable agencies as part of the entitlement and engineering review process.

Construction Schedule and Phasing

- **Schematic Design/Preliminary PUD:** March 9, 2026; Council action May 11, 2026
- **Final PUD:** June 8, 2026; Council action July 13, 2026
- **Construction Documents:** April 2026 – June 2026
- **Construction Start:** Fall 2026; substantial completion Fall 2027

Community Benefit and Compliance

The proposed project offers meaningful benefit to both Lyngblomsten and the City of Lino Lakes. It adds new market-rate 55+ housing in a campus setting that already provides a continuum of senior-oriented living options. It introduces commercial space and active uses that can contribute to the tax base and bring a stronger public presence to an important corridor and intersection. It strengthens the overall success of the Lyngblomsten campus by adding shared amenities, reinforcing the viability of future phases, and making better use of a currently open and underutilized site.

From a land use standpoint, the project is a logical and compatible extension of the existing campus. It is consistent with the broader planned-unit development framework, advances the long-term buildout of the property, and supports a phased approach to campus growth. The Preliminary Plat and PUD Amendment are therefore requested to allow Lyngblomsten to proceed with this next phase in a manner that is thoughtful, market-supported, and beneficial to the community.



CAMPUS SUMMARY:

96 INDEPENDENT LIVING (IL) UNITS
35 ASSISTED LIVING (AL) UNITS
16 MEMORY CARE (MC) UNITS
61 SKILLED CARE (SNF) UNITS
20 TOWNHOMES

MAIN BUILDING GSF: 293,402 SF
(INCLUDING BASEMENT)

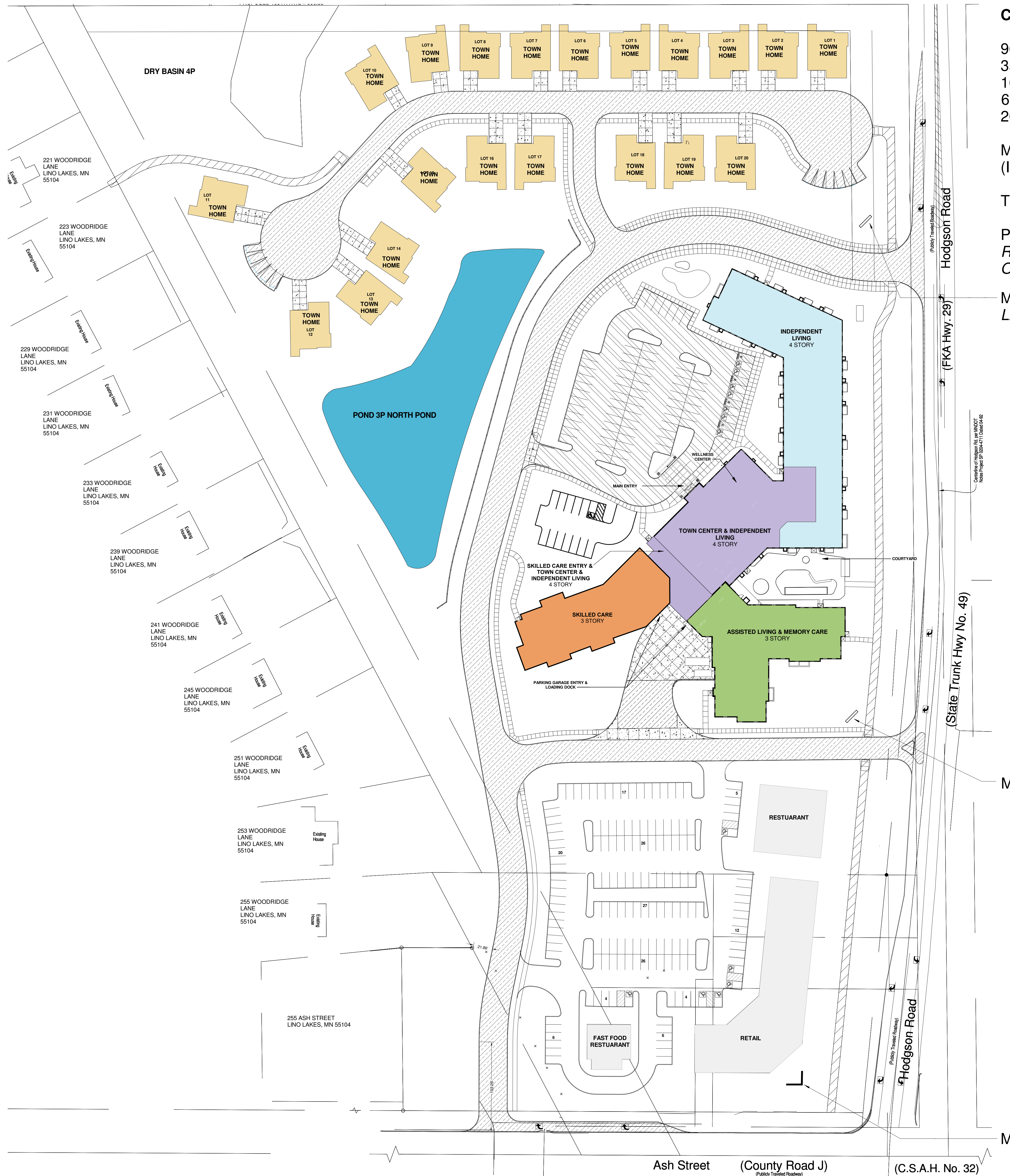
TOWNHOME SF: 1,480 SF

PARKING STALL COUNTS:
REFER TO CIVIL SHEET: SITE PLAN
OVERALL - C1.20

MONUMENT SIGN, SEE SITE
LAYOUT PLAN - L1.0 FOR LOCATION

MONUMENT SIGN, SEE SHEET SIGNAGE EXTERIOR, A17

MONUMENT SIGN, SEE SHEET SIGNAGE EXTERIOR, A17



F3 SITE PLAN
1" = 50'-0"
0 37'-6" 75'

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of MINNESOTA

Sara Malin
Sara Malin
License Number: 40063 Date: _____

Description	Revisions	Date	Num
PUD Submittal		10/08/2018	1
PUD Resubmittal		01/14/2019	2
PUD Resubmittal		03/11/2019	3
DD SET		06/28/2019	4
CD CHECK SET		08/30/2019	5
CD QADOC CHECK SET		09/22/2019	6
CD SET		10/04/2019	7
PUD DEV STAGE RESUB		06/11/2020	8
PUD AMENDMENT 3		11/16/2023	9

Comm: 196015
Date: 10/4/19
Drawn: Author
Check: Checker

North

SITE PLAN

Scale: 1" = 50'-0"



MONUMENT SIGN, SEE SITE
LAYOUT PLAN - L1.0 FOR LOCATION

CAMPUS SUMMARY:

155 INDEPENDENT LIVING (IL) UNITS
35 ASSISTED LIVING (AL) UNITS
16 MEMORY CARE (MC) UNITS
61 SKILLED CARE (SNF) UNITS
20 TOWNHOMES

MAIN BUILDING GSF: 293,402 SF
(INCLUDING BASEMENT)

MULTI-USE COMMERCIAL/ IL
BUILDING GSF: 137,427 SF
(INCLUDING BASEMENT)

TOWNHOME SF: 1,480 SF

PARKING STALL COUNTS:
REFER TO CIVIL SHEET: SITE PLAN
OVERALL - C1.20

MONUMENT SIGN, SEE SHEET SIGNAGE EXTERIOR, A17

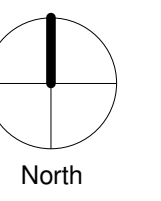
POTENTIAL DIRECTIONAL SIGNAGE
LOCATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of MINNESOTA

Sara Malin
Sara Malin
Date: _____
License Number: 40063

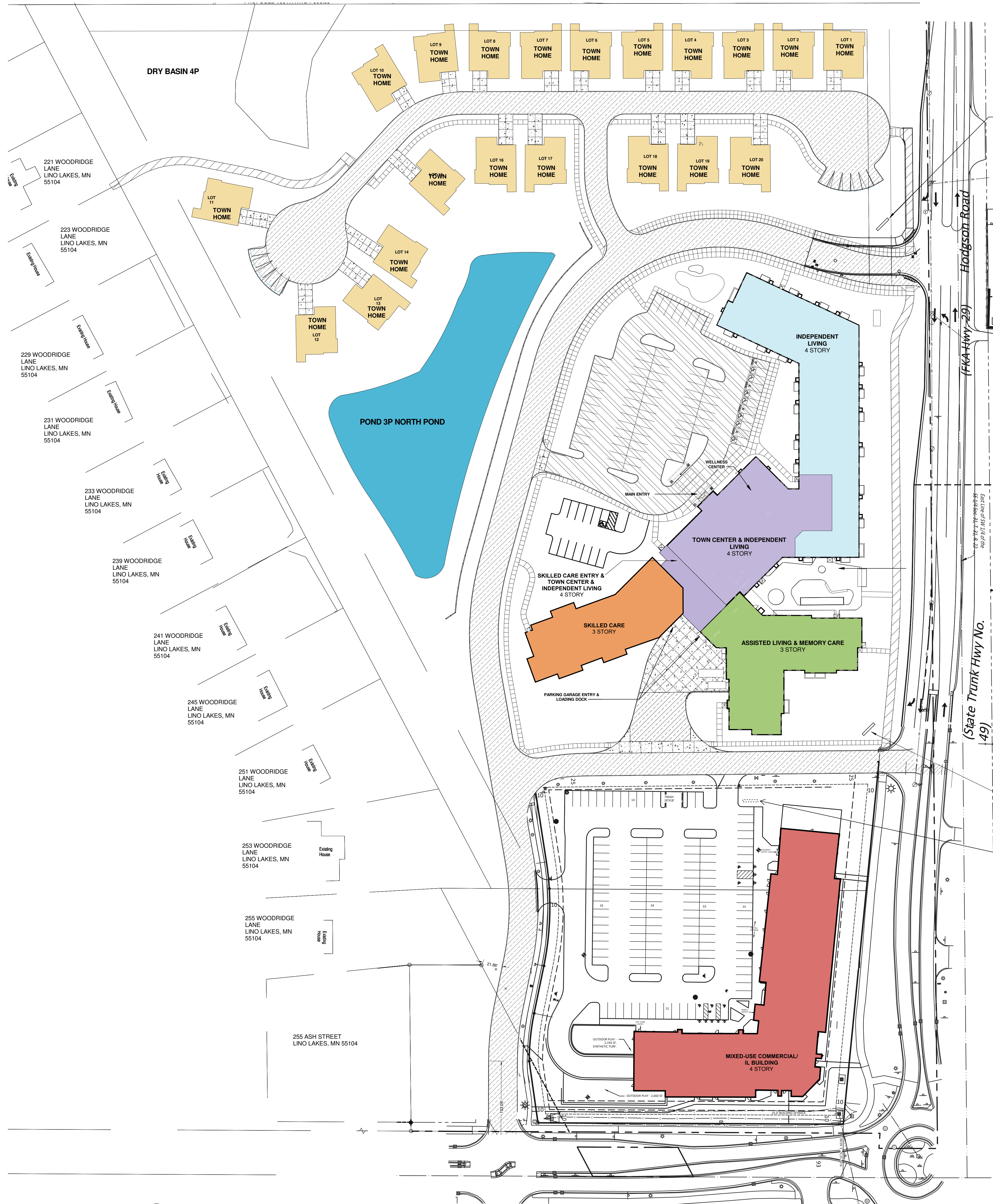
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CD QA/QC CHECK SET		09/22/2019	6
CD SET		10/04/2019	7
PUD DEV STAGE RESUB		06/11/2020	8
PUD AMENDMENT 3		11/10/2025	9
PUD AMENDMENT 4		03/09/2025	10

Comm: 196015
Date: 10/4/19
Drawn: Author
Check: Checker



SITE PLAN

Scale: 1" = 50'-0"

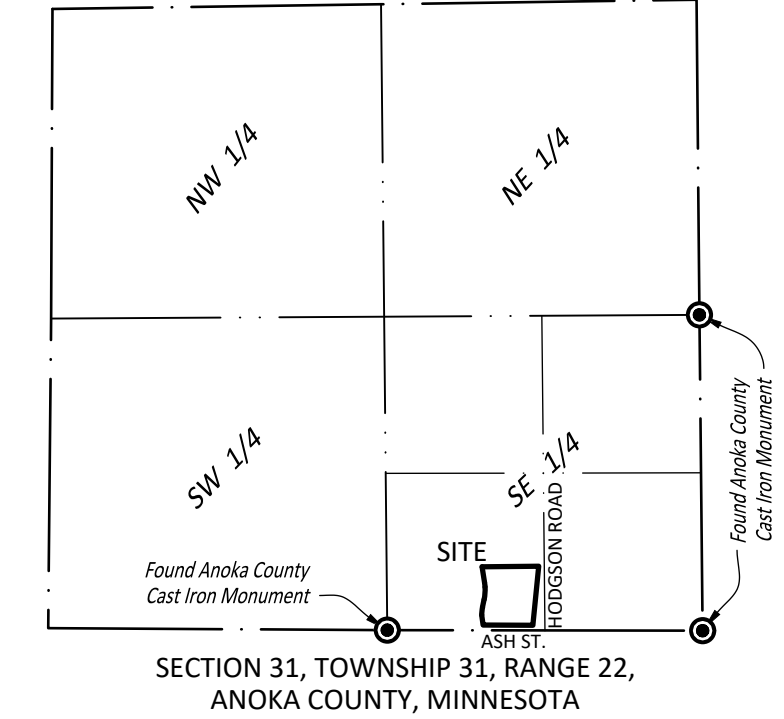
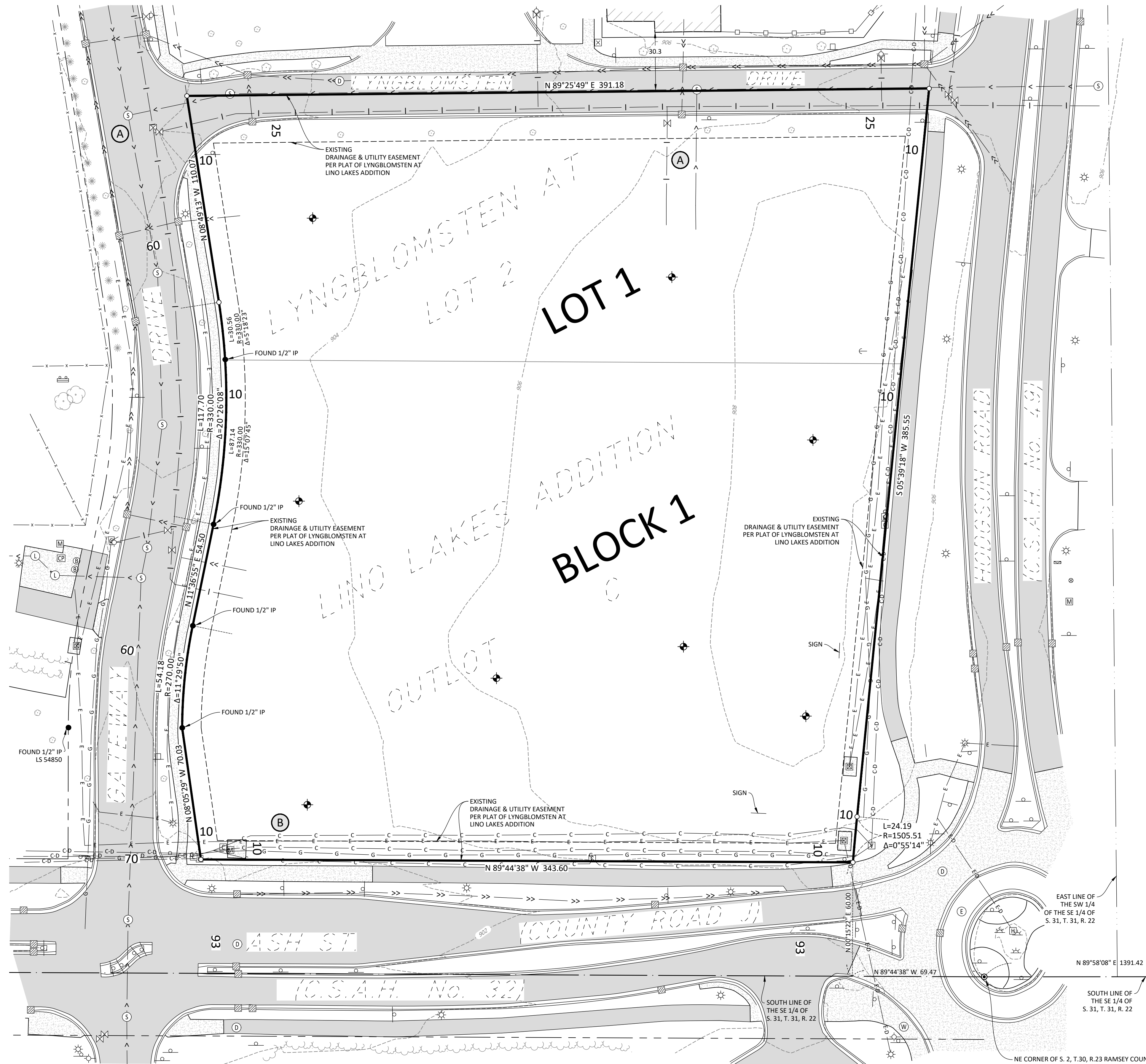


F3 SITE PLAN
1" = 50'-0"
0 37'-6" 75'

MN

A

LYNGBLOMSTEN AT LINO LAKES SECOND ADDITION



Horizontal Datum: Anoka County Coordinate System (1996 Adj.)
 Vertical Datum: NAVD 1988 In Feet
 Benchmark: MNDOT monument "LINO MNDT", located in the northeast quadrant of Sunset Road and 35W
 Elevation = 929.349

LEGEND

○	MONUMENT SET	⊠	BENCH
●	MONUMENT FOUND	⊞	BOLLARD
⊙	CAST IRON MONUMENT FOUND	⊞	MAILBOX
⊞	HANDHOLE	⊞	SOIL BORING
⊞	METER	⊞	SIGNON TRAFFIC
⊞	UTILITY PEDESTAL COMMUNICATION	⊞	CATCH BASIN RECTANGULAR
⊞	VAULT COMMUNICATIONS	⊞	MANHOLE STORM
⊞	TRANSFORMER ELECTRIC	⊞	TRAFFIC SIGN (DESCRIBE)
⊞	LIGHT-GROUND	⊞	POLE - GUY WIRE/ANCHOR
⊞	MANHOLE ELECTRIC	⊞	TREE - CONIFEROUS
⊞	POLE - LIGHT POLE	⊞	TREE - DECIDUOUS
⊞	IRRIGATION CONTROL VALVE	⊞	CURB STOP WATER SERVICE
⊞	UTILITY MARKER GAS	⊞	FIRE HYDRANT
⊞	CONTROL PANEL SANITARY	⊞	MANHOLE WATER
⊞	LIFT STATION SANITARY	⊞	VALVE WATERMAIN
⊞	MANHOLE SANITARY	⊞	
---	UNDERGROUND COMMUNICATION	---	ADJACENT EASEMENT
---	UNDERGROUND ELECTRIC	---	RIGHT OF WAY
---	UNDERGROUND GAS	---	SIXTEENTH LINE
---	UNDERGROUND SANITARY	---	QUARTER LINE
---	UNDERGROUND STORM	---	SECTION LINE
---	UNDERGROUND WATERMAIN	---	INDEX CONTOUR
---	FENCE	---	INTERMEDIATE CONTOUR
---	FENCE IRON	---	CONCRETE SURFACE
---	TREE DRIP LINE MULTIPLE	---	BITUMINOUS SURFACE
---	CURB & GUTTER	---	

LEGAL DESCRIPTION

Lot 2, Block 2, and Outlot C, LYNGBLOMSTEN AT LINO LAKES ADDITION, according to said plat on file and of record in the office of the County Recorder, in and for, Anoka County, Minnesota.

SURVEYOR'S NOTES

- A) PROPERTY ZONED: PUD, Planned Unit Development
- B) CONTOUR INTERVAL = 2 FT. & 10 FT.
- C) UTILITIES SHOWN PER GOPHER STATE ONE CALL TICKET NO. 260480504
- D.) (A) = Public utilities shown drawn from existing record plan data.
- E.) (B) = Private utilities shown drawn from maps provided by Gopher State State One Call Ticket No. 240571302
- F.) This property is contained in Zone X (areas determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map No. 27003C0344E. Community Panel No. 2700150344E effective date of December 16, 2015.
- G.) Field work completed 2/26/2026

SITE DATA

TOTAL AREA = 146,507 SQ. FT. OR 3.36 ACRES

SURVEYOR'S CERTIFICATION

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

DRAF
 Mark R. Salo
 License Number 43933
 Date _____
 THIS PLAT PREPARED BY **BOLTON & MENK, INC.**

S0.1

Lyngholmsten Lino Lakes Mixed Use Building

6070 Blanchard Blvd, Lino Lakes, MN 55014

Lyngholmsten
1415 Almond Ave, St Paul, MN 55108

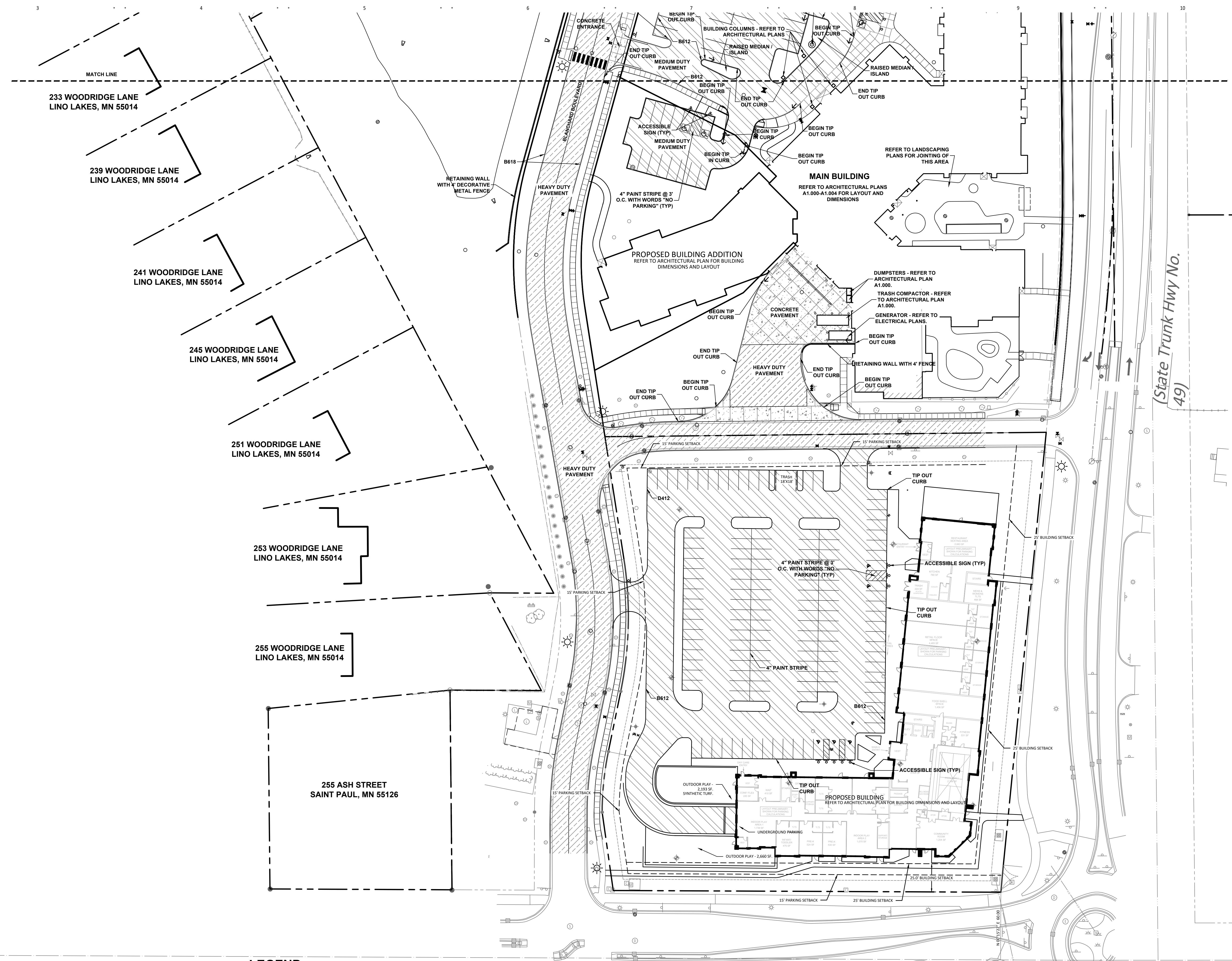


WOLD ARCHITECTS AND ENGINEERS
50 South 6th Street, Suite 2250
Minneapolis, Minnesota 55402
woldae.com | 612.772.9025



BOLTON & MENK
3300 FERNBROOK LANE NORTH, SUITE 300
PLYMOUTH, MN 55447
Phone: (763) 544-7229
Email: plymouth@bolton-menk.com
www.bolton-menk.com

MN



LEGEND

- 1 22.1 REFERENCE KEY TO SITE DETAILS
DETAIL ID NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- PROPOSED CONCRETE WALK
- PROPOSED CONCRETE SLAB
- PROPOSED BITUMINOUS TRAIL PAVEMENT
- PROPOSED MEDIUM DUTY BITUMINOUS PAVEMENT
- PROPOSED URBAN STREET PAVEMENT
- PROPOSED RETAINING WALL
- PROPOSED DECORATIVE METAL FENCE
- PROPOSED TRAFFIC CONTROL SIGN
- PROPOSED BOLLARD
- PAINTED ACCESSIBLE SYMBOL
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- PROPOSED HYDRANT (HYD)
- PROPOSED GATE VALVE (GV)
- PROPOSED POST INDICATOR VALVE (PIV)
- PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS
- PROPOSED FLAGPOLE - REFER TO ARCHITECTURAL PLANS
- PROPOSED STREET LIGHT POLE
- PROPERTY LINE
- TRAIL WITHIN RIGHT OF WAY

NOTES:

1. REFER TO SHEET C1.21, SITE PLAN NORTH, FOR NOTES.
2. REFER TO SHEET C1.31, GRADING AND DRAINAGE PLAN NORTH, FOR GENERAL NOTES.

SITE STATISTICS:

- NORTHEAST PARKING**
TOTAL STALLS = 6
ACCESSIBLE STALLS REQUIRED = 1
ACCESSIBLE STALLS PROVIDED = 0
- NORTHWEST PARKING**
TOTAL STALLS = 5
ACCESSIBLE STALLS REQUIRED = 1
ACCESSIBLE STALLS PROVIDED = 0
- MAIN PARKING**
TOTAL STALLS = 77
ACCESSIBLE STALLS REQUIRED = 4
ACCESSIBLE STALLS PROVIDED = 4
- SOUTH DEVELOPMENT PARKING**
TOTAL STALLS = 135
ACCESSIBLE STALLS REQUIRED = 5
ACCESSIBLE STALLS PROVIDED = 5
- CARE CENTER PARKING (SOUTH OF MAIN LOT)**
TOTAL STALLS = 11
ACCESSIBLE STALLS REQUIRED = 1
ACCESSIBLE STALLS PROVIDED = 2

Lino Lakes Parking Stall Requirements - FINAL 3/4/2026

Use	Number of Parking Spaces Required	NET Sq. Ft.	From Code	Parking Stalls
Senior Housing	1.5 spaces per independent living apartment unit other than studio apartments. Studio apartments require 1 space per unit. Half of the parking spaces for independent living shall be underground.	59 Units	1.5	39
Day Care Facilities	1 space for each 300 square feet of floor area.	4753	300	21
Retail Store and Service Establishment	1 space for each 200 square feet of floor area.	4465	200	23
Restaurants, Cafes, Private Clubs Serving Food and/or Drinks, Bars, On-Sale Nightclubs	1 space for each 300 square feet of dining room, plus 1 space for each employee of the maximum work shift.	2483	300	42
Fast Food Restaurant	1 space for each 67 square feet of gross floor area.	1456	67	22
Total Surface Lot				129



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DAVID A. REY
LIC. NO. 40180 DATE 03/09/2026

Revisions		
Description	Date	Num
PUD SUBMITTAL	10/08/2018	1
PUD RESUBMITTAL	01/14/2019	2
PUD RESUBMITTAL	03/11/2019	3
PUD DEV STAGE RESUB	08/11/2020	4
PUD DEV STAGE RESUB	07/13/2020	5
PUD DEV STAGE RESUB	08/21/2020	6
PUD DEV STAGE RESUB	04/06/2021	7
PUD AMENDMENT 3	11/10/2025	8
PUD AMEND 3-CITY REVIEW	12/22/2025	9
PUD AMENDMENT 4	03/09/2026	10

Comm: 266010
Date: 03/09/2026
Drawn: BJD
Check: DAR

SITE PLAN SOUTH

PUD Development Stage Plan / Preliminary Plat Sheet rev 3-11-19
C1.22
Scale: 1"=40'

C1.22

Lyngblomsten Lino Lakes Mixed Use Building

6070 Blanchard Blvd, Lino Lakes, MN 55014

Lyngblomsten
1415 Almond Ave, St Paul, MN 55108

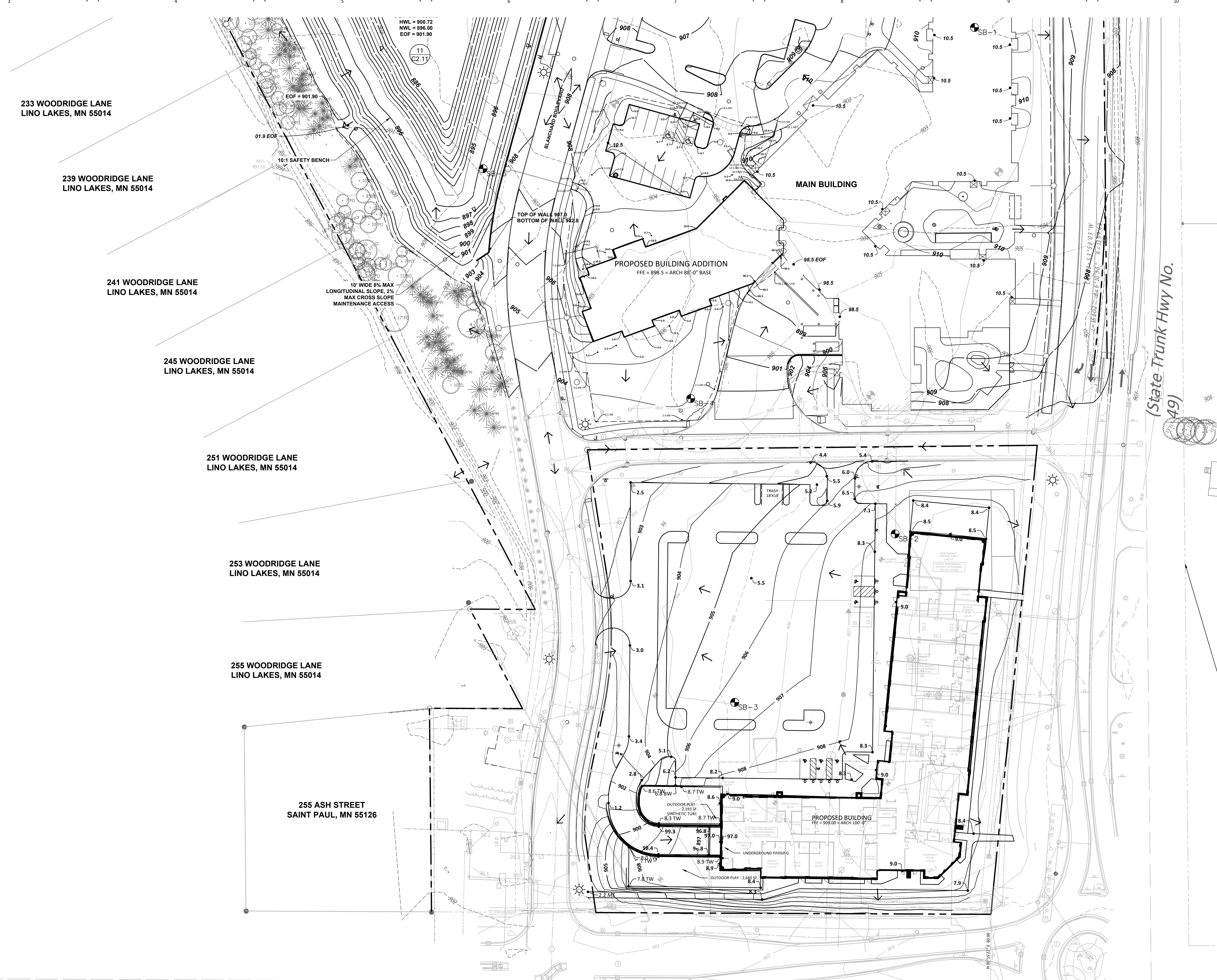


WOLD ARCHITECTS AND ENGINEERS
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www.bolton-menk.com

MN



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NOTES

1. REFER TO SHEET C1.31, GRADING AND DRAINAGE PLAN NORTH, FOR GENERAL NOTES.

BENCHMARKS (FIELD VERIFY BEFORE USING)

- BENCHMARK: MNDOT MONUMENT LOCATED AT THE SOUTHEAST QUADRANT OF SUNSET AVENUE OVER 35W
Elevation = 929.283 (NGVD29)
- SITE BENCHMARK: TOP NUT OF HYDRANT LOCATED AT THE SOUTHWEST QUADRANT OF ASH STREET AND HODGSON ROAD.
Elevation = 906.81 (NGVD29)
- SITE BENCHMARK: TOP NUT OF HYDRANT LOCATED AT THE SOUTHWEST QUADRANT OF ASH STREET AND HODGSON ROAD.
Elevation = 903.48 (NGVD29)
- SITE BENCHMARK: THRESHOLD ELEVATION ON EAST SIDE OF BUILDING LOCATED AT 6011 HODGSON ROAD.
Elevation = 905.36 (NGVD29)

LEGEND

- REFERENCE KEY TO SITE DETAILS
DETAIL I.D NUMBER (TOP)
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
ME = MATCH EXISTING
- PROPOSED GRADING LIMITS
- PROPOSED SAND SUBBASE AT FROST FOOTED STOOPS
- APPROXIMATE SOIL BORING LOCATION
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED FLARED END SECTION (FES)
- PROPOSED HYDRANT (HYD)
- PROPOSED GATE VALVE (GV)
- PROPOSED POST INDICATOR VALVE (PIV)
- FLOW ARROW
- PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS
- PROPERTY LINE

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Revisions		
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PUD SUBMITTAL	10/08/2016	1
PUD RESUBMITTAL	01/14/2019	2
PUD RESUBMITTAL	03/11/2019	3
PUD DEV STAGE RESUB	05/11/2020	4
PUD DEV STAGE RESUB	07/13/2020	5
PUD DEV STAGE RESUB	08/21/2020	6
PUD AMENDMENT 3	11/10/2025	7
PUD AMEND 3-CITY REVIEW	12/22/2025	8
PUD AMENDMENT 4	02/09/2026	9

Comm: 266010
Date: 03/09/2026
Drawn: BJD
Check: DAR

GRADING AND DRAINAGE PLAN SOUTH
PUD Development Stage
Plan / Preliminary Plat Sheet
rev 3-11-19
C1.32
Scale: 1"=40'

C1.32

Lyngblomsten Lino Lakes Mixed Use Building

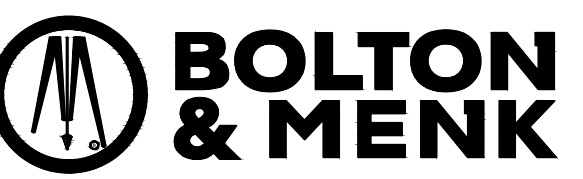
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Email: plymouth@bolton-menk.com
www.bolton-menk.com

GENERAL NOTES:

- CONTRACTOR SHALL FOLLOW MNDOT SECTION 2571 & CITY OF LINO LAKES CONSTRUCTION SPECIFICATIONS UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS AND DETAILS.
- CONTRACTOR TO COORDINATE WORK WITH ANY OTHER PROJECTS IN THE AREA.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES OR FEATURES ON SITE (SIGNS, LIGHTS, CURBS, SIDEWALK, PLANT MATERIAL, ETC...) WHICH MAY OCCUR DURING CONSTRUCTION. NO CLAIMS OR PAYMENT FOR DAMAGE AND/OR REPLACEMENT WILL BE ALLOWED.
- CONTRACTOR SHALL LEGALLY DISPOSE OF EXCESS MATERIALS OFF-SITE. NO PAYMENT FOR DISPOSAL FEES OR OVERHAUL WILL BE ALLOWED FOR MATERIAL HAULED TO DISPOSAL SITES. DISPOSE ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. NO WASTE MATERIAL SHALL BE PLACED WITHIN THE RIGHT-OF-WAY OR ON PUBLIC ROADWAYS. PROVIDE ANY ADDITIONAL EXCAVATION REQUIRED FOR LIMITED RE-SHAPING OF ADJACENT AREAS TO ALLOW FOR DRAINAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND EQUIPMENT DURING NON-WORKING HOURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING SOIL AND DEBRIS DEPOSITED BY CONSTRUCTION ACTIVITY OFF STREETS, DRIVEWAYS, SIDEWALKS, AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL REMOVE ANY AND ALL SUCH DEBRIS SPILLED IMMEDIATELY. ALL PAVED STREETS AND WALKS SHALL BE MAINTAINED BY POWER BRUSH OR STREET SWEEPER THROUGHOUT CONSTRUCTION PERIOD.
- PROTECT EXISTING WALKS, DRIVEWAYS AND STREET SURFACING UNLESS SPECIFICALLY NOTED OTHERWISE. REMOVE AND REPLACE DAMAGED SURFACING WITHOUT ADDITIONAL COMPENSATION.
- THE CONTRACTOR SHALL CONFINE CONSTRUCTION ACTIVITIES TO WITHIN CONSTRUCTION LIMITS UNLESS OTHERWISE AUTHORIZED BY THE OWNER IN WRITING PRIOR TO ACTIVITY.
- SOD ALL DISTURBED AREAS NOT COVERED BY PAVEMENT, BUILDING, OR PLANTING BEDS UNLESS OTHERWISE NOTED.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRAWING WILL PREVAIL IF CONFLICT OCCURS.
- CONTRACTOR SHALL PLACE HARDWOOD MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS TO A DEPTH OF 3".
- THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE ENGINEER.
- THE REQUIRED LANDSCAPE SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF ZONING COMPLIANCE.

IRRIGATION NOTES:

- MODIFY THE EXISTING IRRIGATION SYSTEM TO ACCOMMODATE THE BUILDING EXPANSION. SYSTEMS SHALL MATCH AND BE SEAMLESSLY CONNECTED AND FUNCTIONAL.
- IRRIGATION ASSUMES SUITABLE WATER QUALITY FREE OF SALTS AND OTHER CONTAMINANTS. WATER SOURCE FOR OTHERS. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO CONTAMINATED WATER SOURCE.
- PERENNIAL AND SHRUB BEDS SHALL BE IRRIGATED WITH DRIP IRRIGATION.
- ALL TURF AREAS SHALL BE IRRIGATED WITH SPRAY HEADS OR ROTORS.

FOUNDATION PLANTINGS

REQUIREMENT: 2 LG TREES + 6 LG SHRUBS PER 100 LF OF BLDG FRONT & STREET FACING DISTANCE = 494 LF
TREES REQUIRED (LARGE) = 10
SHRUBS REQUIRED (LARGE) = 30
TREES PROVIDED: 5 LG + 0 MED + 10 SM = 10 LG
SHRUBS PROVIDED: 0 LG + 71 MED + 283 SM = 142 LG

OPEN AREA PLANTINGS

REQUIREMENT: 1 LG TREE + 2 LG SHRUBS PER 2,500 SF OPEN SPACE
OPEN AREA = 33,995 SF
TREES REQUIRED (LARGE) = 14
SHRUBS REQUIRED (LARGE) = 28
TREES PROVIDED: 12 LG + 4 SM = 14 LG
SHRUBS PROVIDED: 0 LG + 4 MED + 98 SM = 34 LG

BUFFER & SCREEN PLANTINGS

SEE PLAN. NO CALCULATIONS REQUIRED.

PARKING LOT CANOPY COVERAGE PLANTINGS

REQUIREMENT: 40% MIN. COVERAGE
VEHICULAR HARDSCAPE = 54,375 SF
CANOPY AREA REQUIRED (54,375 x 0.4) = 21,750 SF
CANOPY COVERAGE PROVIDED = 23,450 SF
19 LARGE TREES 100% COV. (X950) = 18,050 SF
9 LARGE TREES 50% COV. (x 600) = 5,400 SF

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	CONTAINER	SPACING
CANOPY TREES							
AF	14	ACER X FREEMANII 'AUTUMN GLEN'	SIENNA GLEN FREEMAN MAPLE	2" CAL.	N.A.	B&B	PER PLAN
GI	9	GLEDITSIA TRICANTHOS INERMIS 'SKYCOLE'	SKYLINE® HONEY LOCUST	2" CAL.	N.A.	B&B	PER PLAN
GD	8	GYMNOCALDIUS DIOICUS 'ESPRESSO'	KENTUCKY COFFEETREE	2" CAL.	N.A.	B&B	PER PLAN
OE	8	QUERCUS ELLIPSOIDALIS	NORTHERN PIN OAK	2" CAL.	N.A.	B&B	PER PLAN
EVERGREEN TREES							
PG	6	PICEA GLAUCA DENSATA	BLACK HILLS SPRUCE	N.A.	6' - 8' HT.	B&B	PER PLAN
ORNAMENTAL TREES							
AG	1	ACER GRISEUM	PAPERBARK MAPLE	1.5" CAL.	N.A.	B&B	PER PLAN
BP	2	BETULA PLATYPHYLLA 'WHITESPIRE'	WHITESPIRE BIRCH	2" CAL.	6' - 8' HT.	B&B	PER PLAN
CI	2	CRATAEGUS CRUS-GALLI INERMIS	THORNLESS COCKSPUR HAWTHORN	1.5" CAL.	N.A.	B&B	PER PLAN
MS	9	MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE	1.5" CAL.	N.A.	B&B	PER PLAN
DECIDUOUS SHRUBS							
DL	31	DIERVILLA LONICERA 'MICHIGAN SUNSET'	DWARF BUSH HONEYSUCKLE	N.A.	#5 CONT.	48" O.C.	
HA	21	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	N.A.	#5 CONT.	48" O.C.	
SB	53	SPIRAEA JAPONICA 'GOLDFLAME'	GOLDFLAME JAPANESE SPIREA	N.A.	#5 CONT.	48" O.C.	
EVERGREEN SHRUBS							
TM	64	TAXUS X MEDIA 'TAUNTONI'	TAUNTON'S ANGLO-JAPANESE YEW	N.A.	#5 CONT.	48" O.C.	
PERENNIALS							
CA	149	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	N.A.	#1 CONT.	24" O.C.	
EP	43	ECHINACEA X 'PAS702917'	POWOW® WILD BERRY CONEFLOWER	N.A.	#1 CONT.	24" O.C.	
HE	10	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	N.A.	#1 CONT.	24" O.C.	
NC	40	NEPETA X 'CATS PAJAMAS'	CATS PAJAMAS CATMINT	N.A.	#1 CONT.	24" O.C.	
PV	81	PANICUM VIRGATUM 'PRAIRIE FIRE'	PRAIRIE FIRE SWITCH GRASS	N.A.	#1 CONT.	24" O.C.	
SH	570	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPS EED	N.A.	#1 CONT.	24" O.C.	

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DAVID A. REY
LIC. NO. 40180 DATE 03/09/2026

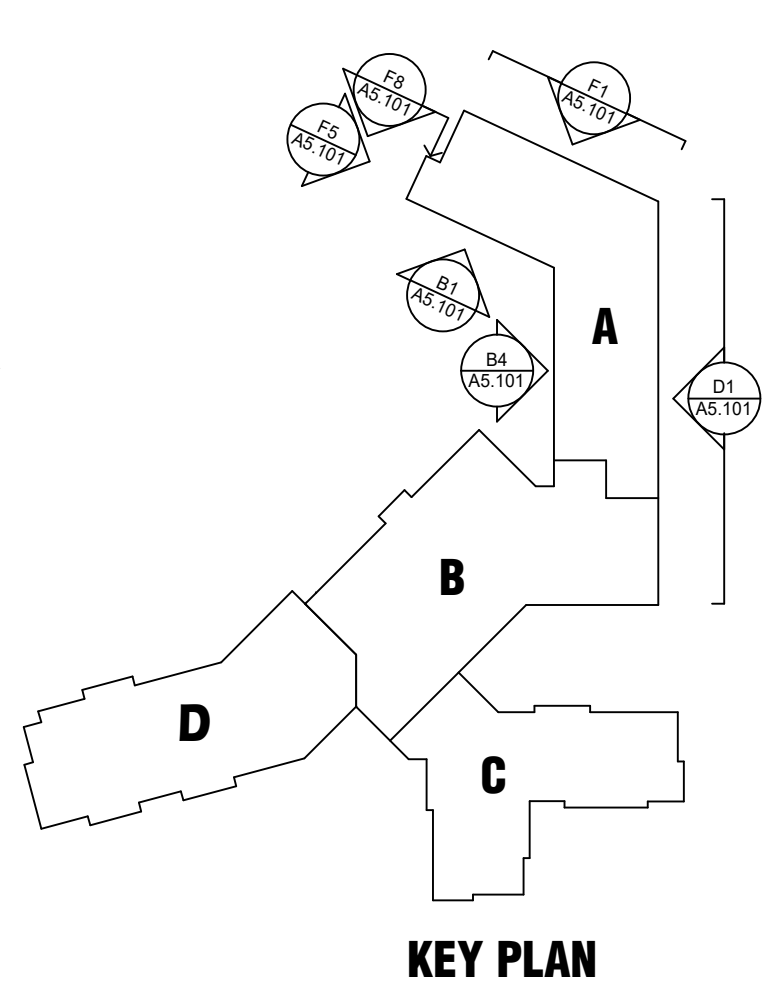
Revisions	Date	Num
DESCRIPTION		
PUD AMEND 3 - CITY REVIEW	12/22/2025	1
PUD AMENDMENT 4	03/09/2026	2

Comm: 266010
Date: 03/09/2026
Drawn: BJD
Check: DAR

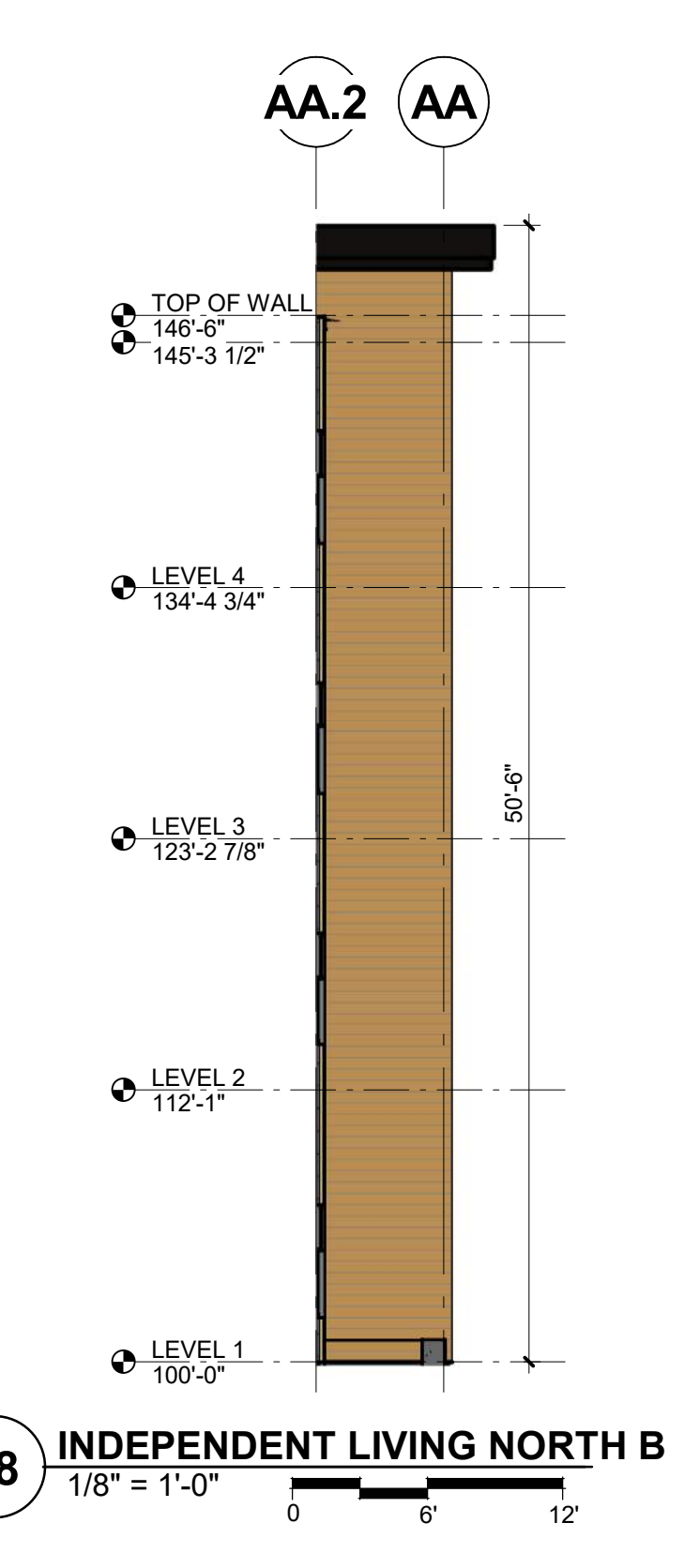
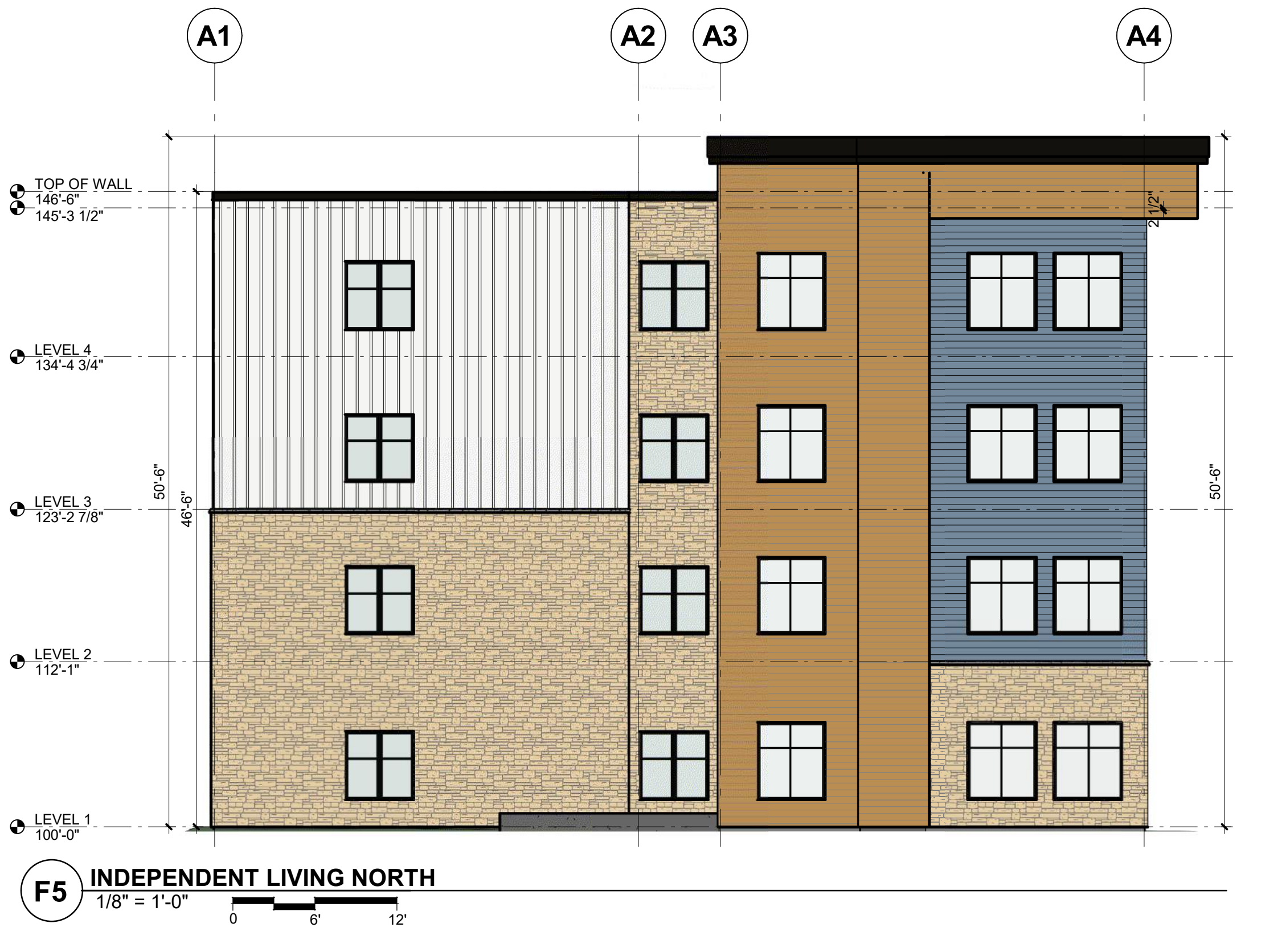
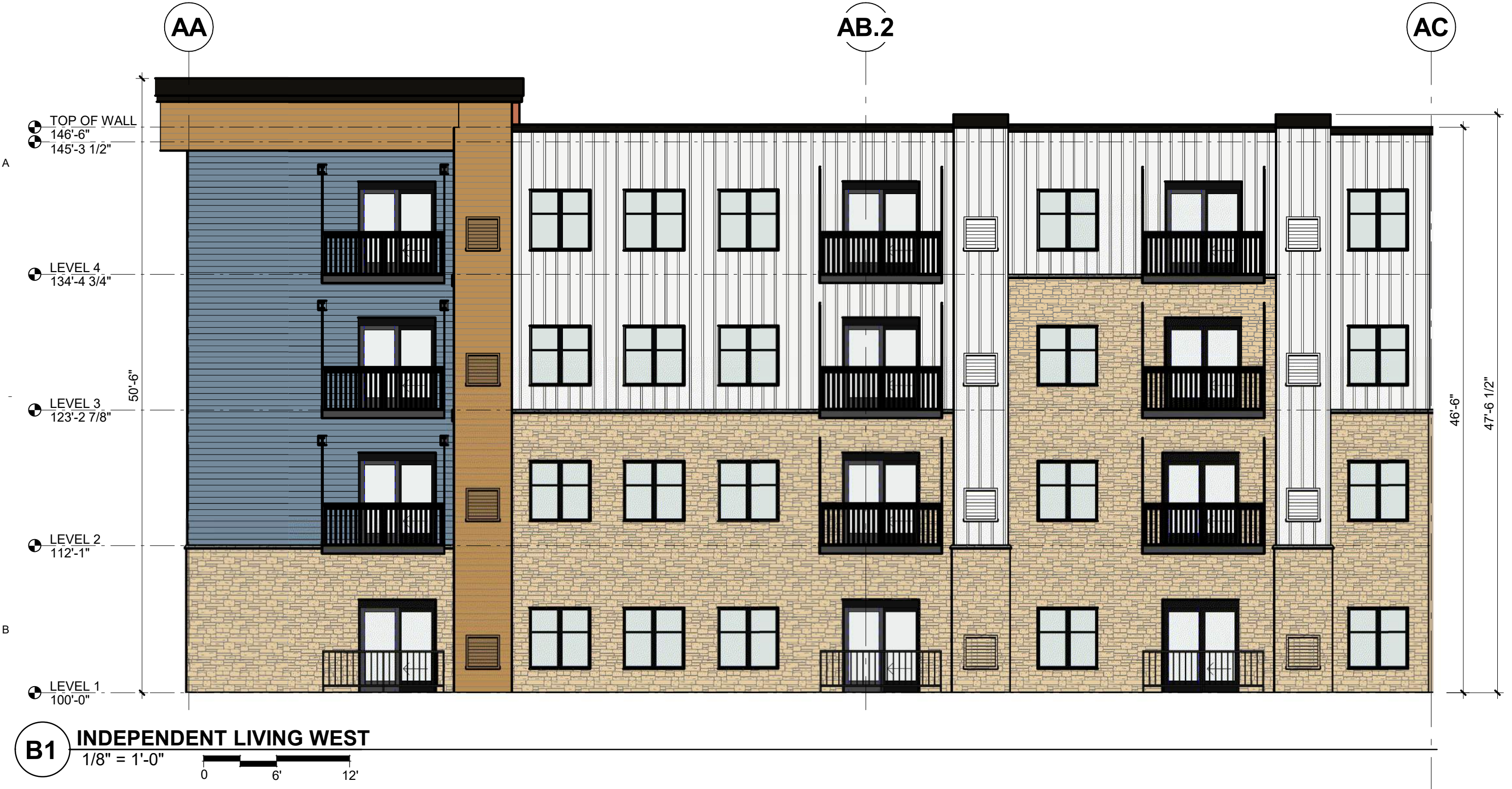
LANDSCAPE PLAN SOUTH

Scale: 1:20

L1.02



MN



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Sara Malin
Sara Malin
Date: _____

License Number: 40063

Description	Date	Num
PUD Submittal	10/08/2018	1
PUD Resubmittal	01/14/2019	2
PUD Resubmittal	03/11/2019	3
DD SET	06/28/2019	4
CD CHECK SET	08/30/2019	5
CD QA/QC CHECK SET	09/22/2019	6
CD SET	10/04/2019	7
PUD DEV STAGE RESUB	09/11/2020	8
P+2 RESUBMITTAL	08/12/2020	9
PUD AMENDMENT 3	11/10/2025	9
PUD AMENDMENT 4	03/09/2026	10

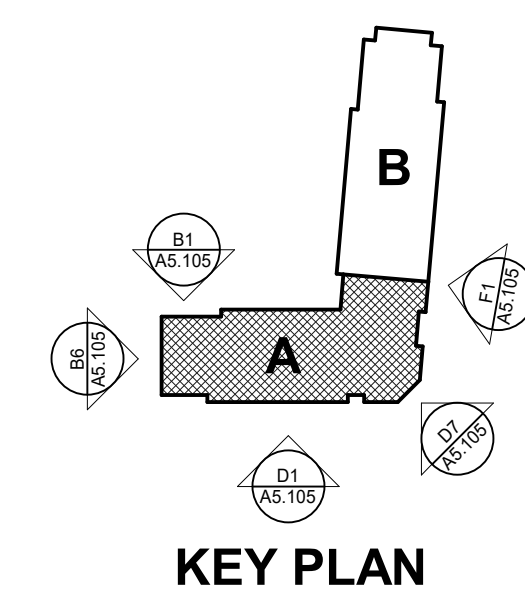
Comm: 196015
Date: 8/21/2020
Drawn: Author
Check: BP

EXTERIOR ELEVATIONS

Scale: As Indicated

CS-1	FIBER CEMENT SIDING	EVENING BLUE
CS-2	FIBER CEMENT SIDING	ARCTIC WHITE
CS-4	WOOD LOOK FIBER CEMENT SIDING	WARM SIENNA
MSV-1	MANUFACTURED STONE VENEER	OHIO BLUE VENEER CUT STONE

REFER TO A5.103 FOR EXTERIOR MATERIAL SF COUNTS AND PERCENTAGES



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Sara Malin
Sara Malin
License Number: 40063 Date: _____

Description	Revisions	Date	Num
PUD AMENDMENT 4		03/09/2026	

Comm: 266010
Date: _____
Drawn: CN
Check: BP

**MIXED-USE
EXTERIOR
ELEVATIONS**

MN



B1 MIXED-USE ELEVATION 1
1/8" = 1'-0"



B6 MIXED-USE ELEVATION 2
1/8" = 1'-0"



D1 MIXED-USE ELEVATION 3
1/8" = 1'-0"



D7 MIXED-USE ELEVATION 4
1/8" = 1'-0"



F1 MIXED-USE ELEVATION 5
1/8" = 1'-0"

REFER TO A5.106 FOR EXTERIOR MATERIAL SF COUNTS AND PERCENTAGES

CS-2	FIBER CEMENT SIDING	ARCTIC WHITE
CS-3	FIBER CEMENT SIDING	MIDNIGHT BLACK
CS-4	WOOD LOOK FIBER CEMENT SIDING	WARM SIENNA
MSV-1	MANUFACTURED STONE VENEER	OHIO BLUE VEIN CUT STONE

Lyngblomsten
1415 Almond Ave.
Saint Paul, MN 55108



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MN

MULTI-USE BUILDING EXTERIOR ELEVATION MATERIALS

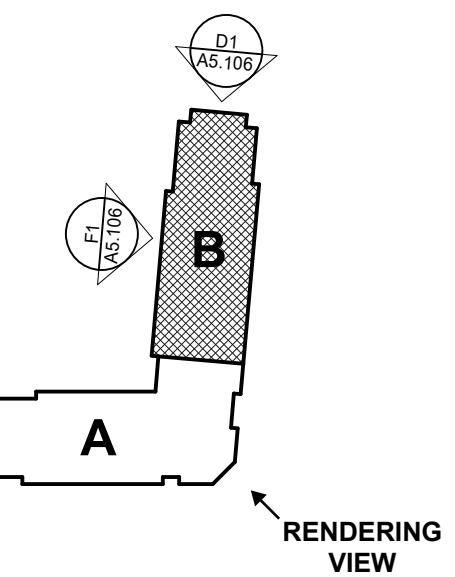
CLADDING MATERIAL	AREA		CLADDING MATERIAL	AREA	
A5.105/B1 SIDING TOTAL	3,585		A5.105/D7 SIDING TOTAL	1,232	
BLACK	1,318	20%	BLACK	356	11%
WOOD	732	11%	WOOD	138	4%
WHITE	1,535	23%	WHITE	738	23%
STONE	1,445	22%	STONE	1,107	35%
WINDOWS/ DOORS/ LOUVERS	1,560	24%	WINDOWS/ DOORS/ LOUVERS	853	27%
A5.105/B6 SIDING TOTAL	1,096		A5.105/F1 SIDING TOTAL	5,500	
BLACK	221	6%	BLACK	1,644	15%
WOOD	137	4%	WOOD	778	7%
WHITE	738	21%	WHITE	3,078	27%
STONE	1,423	40%	STONE	2,835	25%
WINDOWS/ DOORS/ LOUVERS	1,008	29%	WINDOWS/ DOORS/ LOUVERS	2,934	26%
A5.105/D1 SIDING TOTAL	4,592		TOTALS		
BLACK	1,667	18%	SIDING	23,325 SF	
WOOD	1,194	13%	BLACK	7,539 SF	
WHITE	1,731	19%	WOOD	4,645 SF	
STONE	1,941	22%	WHITE	11,141 SF	
WINDOWS/ DOORS/ LOUVERS	2,533	28%	STONE	11,555 SF	
A5.105/D7 SIDING TOTAL	490		WINDOWS/ DOORS/ LOUVERS	13,277 SF	
BLACK	180	15%	TOTAL INCLUDING W/ D/ L	48,157 SF	
WOOD	310	25%	TOTAL NOT INCLUDING W/ D/ L	34,880 SF	
STONE	213	18%	STONE % NOT INCLUDING W/ D/ L	33.1 %	
WINDOWS/ DOORS/ LOUVERS	505	42%			
A5.105/F1 SIDING TOTAL	6,830				
BLACK	2,153	16%			
WOOD	1,356	10%			
WHITE	3,321	25%			
STONE	2,591	20%			
WINDOWS/ DOORS/ LOUVERS	3,884	29%			



MIXED-USE BUILDING RENDERING AT THE STREET CORNER OF HODGSON AND ASH - FOR REFERENCE ONLY



D1 MIXED-USE ELEVATION 6
1/8" = 1'-0"



KEY PLAN

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Sara Malin
Sara Malin
License Number: 40063 Date: _____

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Comm: 266010
Date: _____
Drawn: CN
Check: BP

MIXED-USE EXTERIOR ELEVATIONS

Scale: As Indicated

A5.106



F1 MIXED-USE ELEVATION 7
1/8" = 1'-0"

CS-2	FIBER CEMENT SIDING	ARCTIC WHITE
CS-3	FIBER CEMENT SIDING	MIDNIGHT BLACK
CS-4	WOOD LOOK FIBER CEMENT SIDING	WARM SIENNA
MSV-1	MANUFACTURED STONE VENEER	OHIO BLUE VEIN CUT STONE



MN

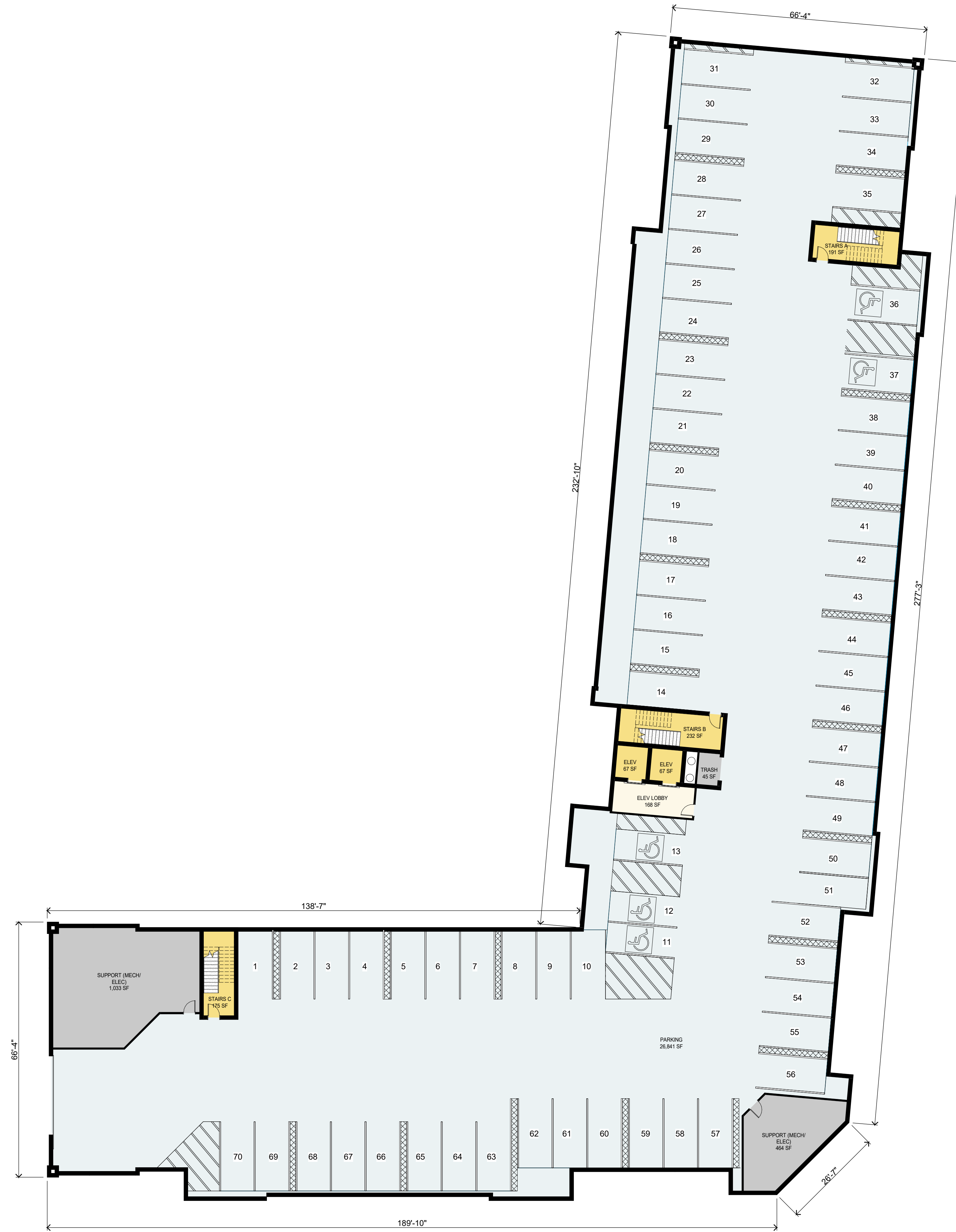
Function of Space Legend

- CIRCULATION
- PARKING GARAGE
- ELEVATOR/ STAIRS
- COMMERCIAL SPACE
- IL AMENITIES
- SUPPORT
- TOILETS
- IL 1 BEDROOM UNIT
- IL 1 BEDROOM + DEN UNIT
- IL 2 BEDROOM UNIT
- IL 2 BEDROOM + DEN UNIT

BASEMENT:

FLOOR GSF: 29,606 SF
TOTAL GSF: 137,427 SF
(INCLUDING BASEMENT)

TOTAL PARKING SPACES: 70



F3 MIXED-USE BASEMENT LEVEL OVERALL FLOOR PLAN
1/16" = 1'-0"

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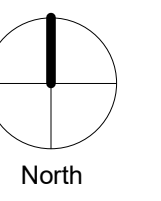
under the laws of the State of MINNESOTA

Sara Malin
Sara Malin

License Number: 40063 Date:

Description	Revisions	Date	Num
PUD AMENDMENT 4		03/09/2026	

Comm: 266010
Date:
Drawn: CN
Check: BP



**MIXED-USE
BASEMENT LEVEL
OVERALL FLOOR
PLAN**

Scale: 1/16" = 1'-0"

A2.000



MN

Function of Space Legend

- CIRCULATION
- PARKING GARAGE
- ELEVATOR/ STAIRS
- COMMERCIAL SPACE
- IL AMENITIES
- SUPPORT
- TOILETS
- IL 1 BEDROOM UNIT
- IL 1 BEDROOM + DEN UNIT
- IL 2 BEDROOM UNIT
- IL 2 BEDROOM + DEN UNIT

LEVEL 1:

FLOOR GSF: 29,606 SF
TOTAL GSF: 137,427 SF
(INCLUDING BASEMENT)



F3 MIXED-USE LEVEL 1 OVERALL FLOOR PLAN
1/16" = 1'-0"

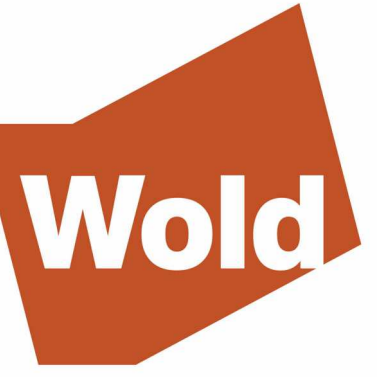
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License Number: 40063 Date: _____

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MIXED-USE LEVEL 1 OVERALL FLOOR PLAN



MN

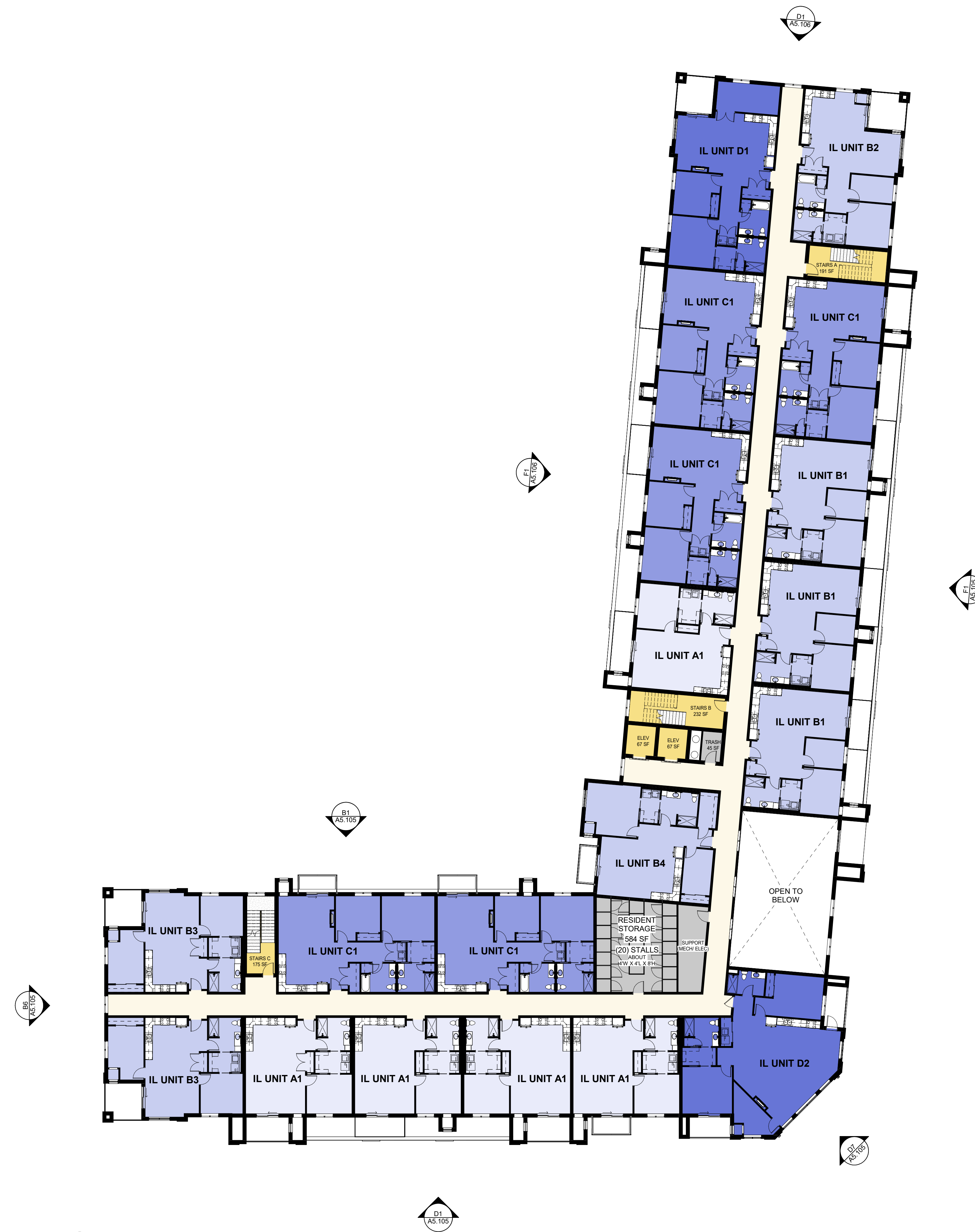
Function of Space Legend

- CIRCULATION
- PARKING GARAGE
- ELEVATOR/ STAIRS
- COMMERCIAL SPACE
- IL AMENITIES
- SUPPORT
- TOILETS
- IL 1 BEDROOM UNIT
- IL 1 BEDROOM + DEN UNIT
- IL 2 BEDROOM UNIT
- IL 2 BEDROOM + DEN UNIT

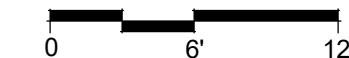
LEVEL 2:

FLOOR GSF: 25,358 SF
TOTAL GSF: 137,427 SF
(INCLUDING BASEMENT)

19 IL UNITS



F3 MIXED-USE LEVEL 2 OVERALL FLOOR PLAN
1/16" = 1'-0"



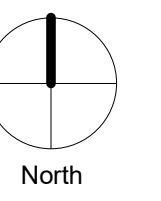
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of MINNESOTA

Sara Malin
Sara Malin

License Number: 40063 Date:

Description	Revisions	Date	Num
PUD AMENDMENT 4		03/09/2026	

Comm: 266010
Date:
Drawn: CN
Check: BP



MIXED-USE LEVEL 2 OVERALL FLOOR PLAN

Scale: 1/16" = 1'-0"

A2.002



MN

Function of Space Legend

- CIRCULATION
- PARKING GARAGE
- ELEVATOR/ STAIRS
- COMMERCIAL SPACE
- IL AMENITIES
- SUPPORT
- TOILETS
- IL 1 BEDROOM UNIT
- IL 1 BEDROOM + DEN UNIT
- IL 2 BEDROOM UNIT
- IL 2 BEDROOM + DEN UNIT

LEVEL 3:

FLOOR GSF: 26,554 SF
TOTAL GSF: 137,427 SF
(INCLUDING BASEMENT)

20 IL UNITS



F3 MIXED-USE LEVEL 3 OVERALL FLOOR PLAN
1/16" = 1'-0"

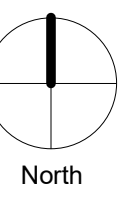
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of MINNESOTA

Sara Malin
Sara Malin

License Number: 40063 Date:

Description	Revisions	Date	Num
PUD AMENDMENT 4		03/09/2026	

Comm: 266010
Date:
Drawn: CN
Check: BP



MIXED-USE LEVEL 3 OVERALL FLOOR PLAN

Scale: 1/16" = 1'-0"

A2.003



MN

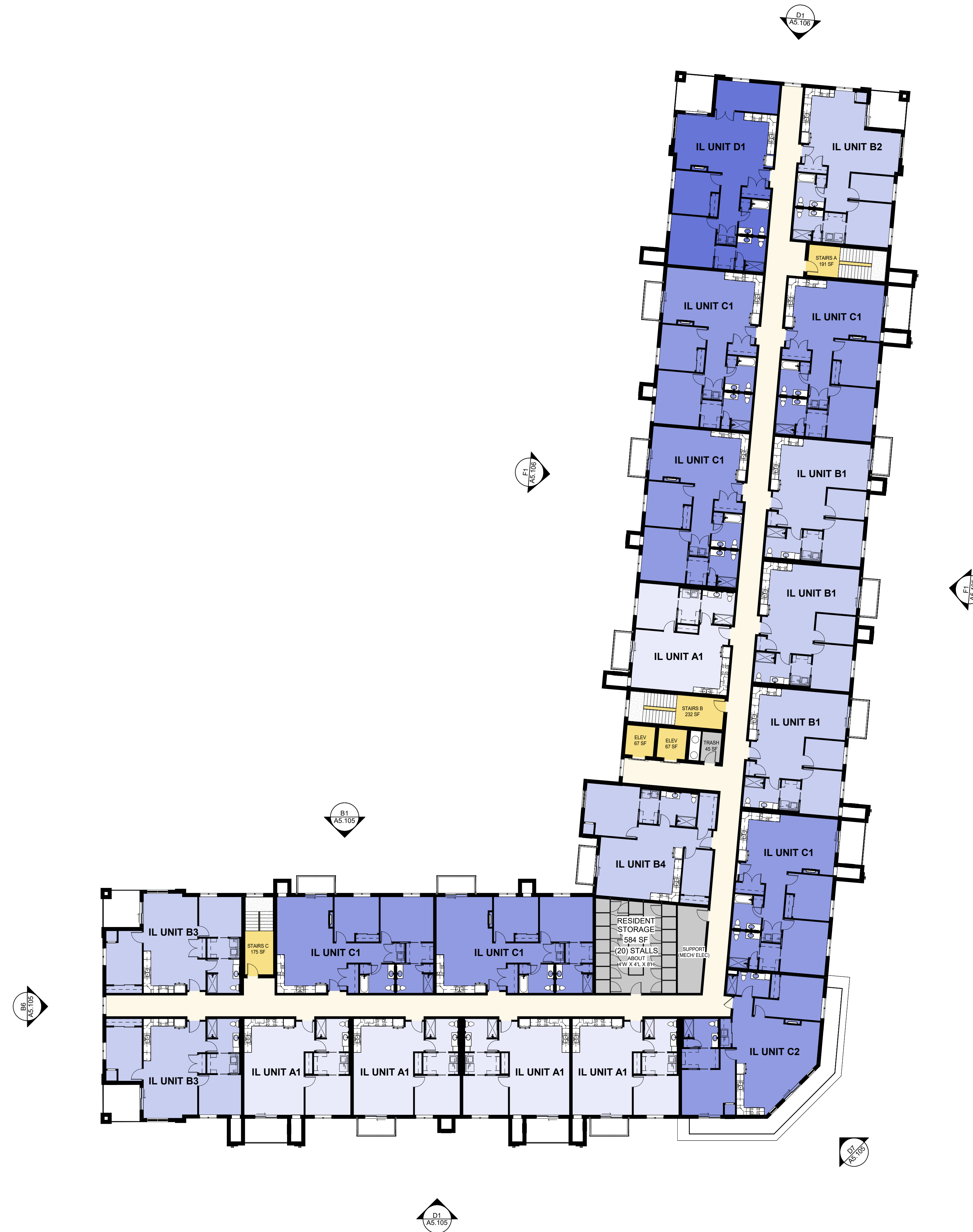
Function of Space Legend

- CIRCULATION
- PARKING GARAGE
- ELEVATOR/ STAIRS
- COMMERCIAL SPACE
- IL AMENITIES
- SUPPORT
- TOILETS
- IL 1 BEDROOM UNIT
- IL 1 BEDROOM + DEN UNIT
- IL 2 BEDROOM UNIT
- IL 2 BEDROOM + DEN UNIT

LEVEL 4:

FLOOR GSF: 26,303 SF
TOTAL GSF: 137,427 SF
(INCLUDING BASEMENT)

20 IL UNITS



F3 MIXED-USE LEVEL 4 OVERALL FLOOR PLAN
1/16" = 1'-0"

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of MINNESOTA

Sara Malin
Sara Malin

License Number: 40063 Date:

Description	Revisions	Date	Num
PUD AMENDMENT 4		03/09/2026	

Comm: 266010
Date:
Drawn: CN
Check: BP

MIXED-USE LEVEL 4 OVERALL FLOOR PLAN

Scale: 1/16" = 1'-0"

A2.004



**Master Planning Study
Hodgson Road & CR J**

City of Lino Lakes

MASTER PLAN



**Master Planning Study
Hodgson Road & CR J**

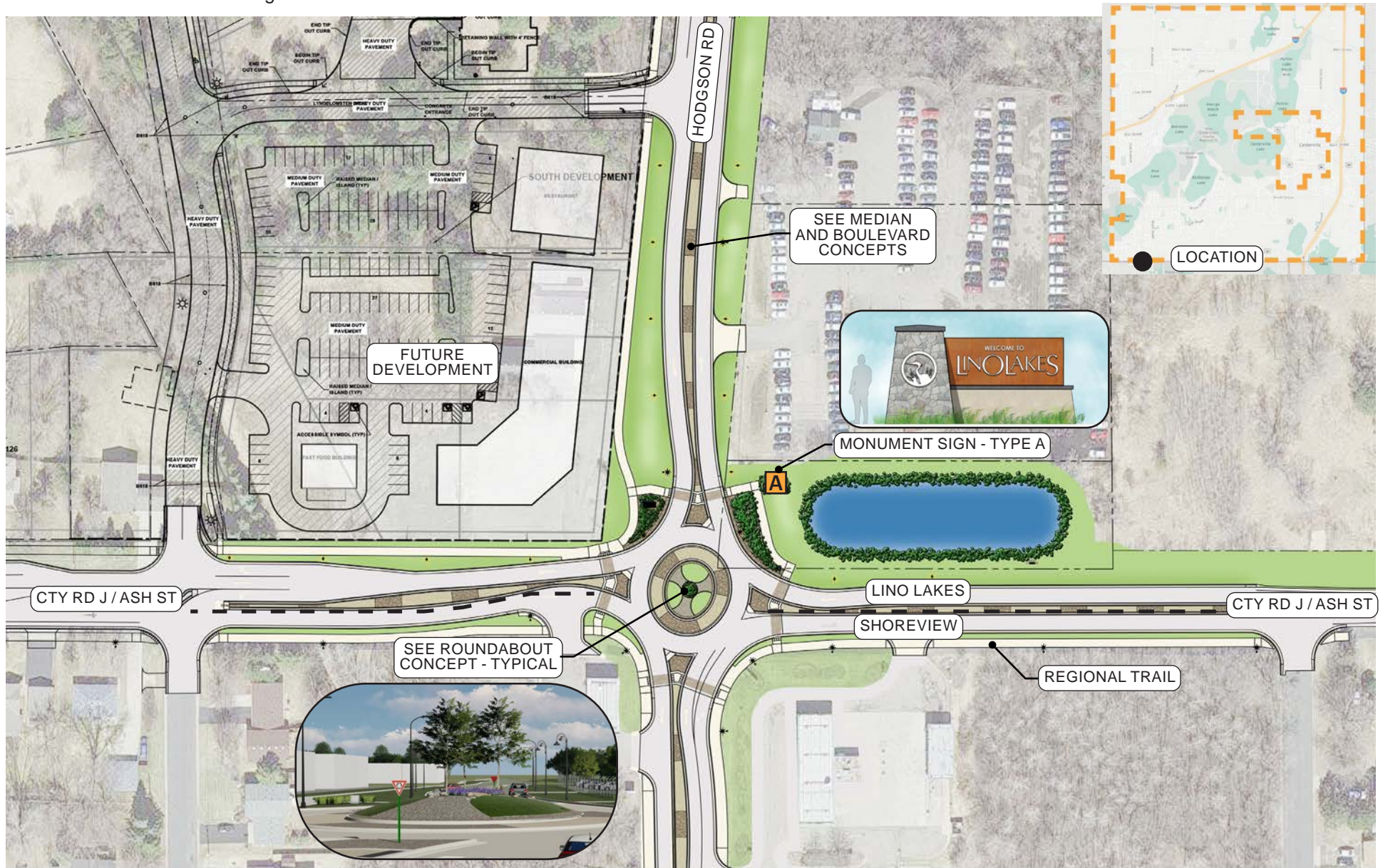
City of Lino Lakes

**HODGSON/CR J
NORTHEAST
CORNER
PERSPECTIVE**

CONCEPT DESIGN | HODGSON ROAD AND COUNTY ROAD J

PRIMARY GATEWAY

This primary gateway is an entrance into the city of Lino Lakes from the south, adjacent to the city of Shoreview. The roundabout island follows the design shown in "Roundabout Design - Typical". (1) One "Monument Sign Type A" will be located in the NE quadrant of the intersection (as shown below) creating a gateway as users enter Lino Lakes on Hodgson Road.



PRIMARY GATEWAY - RENDERING



BIRD'S EYE VIEW FROM SOUTH SIDE OF ROUNDABOUT



**SITE PLAN REVIEW
WORKSHEET**

PROJECT: Lyngblomsten-Mixed Use Buiding Only

DATE: March 26, 2026

Planning & Zoning Board Date: April 8, 2026

REVISED:

City Council Date: TBD May 11, 2026

To be addressed by applicant

ZONING/LAND USE

Zoning District PUD
 Future Land Use Plan Signature Gateway
 Sewered or Unsewered Lot Sewerd
 CUP required? Yes
 Comprehensive Plan Amendment? No
 Rezoning required? No
 Variance required? No

	Required	Proposed
Lot size (sq. ft)	20,000	3.36 acres
Lot width (ft.)	100	343

NOTES:

Commercial Daycare and Residential apartments

Setbacks (ft)-Hodgson Road

Principal Building-Collector/Arterial Street
 Parking Lot

Required	Proposed
25*	30
15	15

Established per Res. No. 19-42

*Current PUD allows for 10ft setback for commercial. Proposing change to 25ft.

Setbacks (ft)-Ash St

Principal Building-Collector/Arterial Street
 Parking Lot

Required	Proposed
25*	25
15	15

*Current PUD allows for 10ft setback for commercial. Proposing change to 25ft.

Setbacks (ft)-Blanchard Blvd

Principal Building-Local Street
 Parking Lot

Required	Proposed
15	120
15	15

Setbacks-Lyngblomsten Dr

Principal Building-Private Drive
 Parking Lot/Driveway

Required	Proposed
15	60
15	15

Required	Proposed
50' 6" max	50' 6"

Established per Res. No. 19-42

top of wall 47' 8" + 2' 10" = 50' 6"

Shoreland district?

No

OHWL?

NA

Impervious surface restrictions

Required	Proposed
75%	48%

Established per Res. No. 19-42

10.1 acres impervious/ 21 acre site = 48%

GENERAL PROVISIONS

Building Type and Construction

Yes

Multi-family requirements met. Consistent with PUD.

Accessory buildings or structures

Number of structures

Required	Proposed
NA	None
NA	NA

Size

Refuse and recyclable materials enclosure

Yes

Detached trash enclosure not allowed. Plans shall be revised.

Outdoor lighting

1.0 ft candle allowance onto right of way

0.1

OK

0.4 ft candle allowance onto adjacent prop.

NA

Hooded lights

Yes

Height

Required	Proposed
30 ft max.	21

Location

Street ROW

Side or rear

Required	Proposed
10 ft	50+ ft
5 ft	NA

Smoke, Dust, Odors, Noise	<u> No </u>	<u>_____</u>
Sewage Disposal (on-site)	<u> No </u>	<u>_____</u>
Waste material	<u> No </u>	<u>_____</u>
Bulk storage (liquid)	<u> No </u>	<u>_____</u>
Radiation emission	<u> No </u>	<u>_____</u>
Electrical emission	<u> No </u>	<u>_____</u>
Exterior storage	<u> NA </u>	<u>_____</u>

LANDSCAPING See Environmental Board Staff Report

<i>Parking</i>	Required	Proposed	
Angle of parking	90	90	<u>_____</u>
Stall Width & Length	9 x 18	9 x 18	<u>_____</u>
Curb length per car	9' 0"	9' 0"	<u>_____</u>
Stall Depth Wall to Aisle	18' 0"	NA	<u>_____</u>
Stall Depth Interlock to Aisle	18' 0"	18' 0"	<u>_____</u>
Aisle Width One Way	24' 0"	NA	<u>_____</u>
Aisle Width Two Way	24' 0"	24' 0"	<u>_____</u>

Curb cut access 30 feet from intersection	<u> 100+ ft </u>	<u>_____</u>
Curb cut access 40 feet from one another	<u> NA </u>	<u>Only 1 curb cut access proposed along each street</u>
Curb cut and driveway 5 feet from side yard	<u> Yes </u>	<u>_____</u>

	Required	Proposed
Curb cut width	36 feet max.	26 ft
Grade elevation	5%	TBD
Striping 4" wide	4"	4"

Driveway grade elevations shall be shown on grading plans

Continuous concrete perimeter curb barrier
Six (6)+ stalls adjacent to street or residential
requires berm, wall or fence

Yes
No

Required along Lyngblomsten Drive.

Parking lot landscaping

Yes

Six (6)+ stalls requires landscaping

Yes

Commercial uses with 50+ stalls
require islands

100 s.f. per 25 stalls

135 # of stalls / 25 =

5.4

x 100

540 s.f. of island landscaping required

1400 sf provided (4 islands x 350sf each)

Mixed Use Building

stall requirements

	Required	Proposed
# stall requirements	197	205
# handicap stall requirements	7	10

135 surface spaces + 70 underground spaces = 205

5 surface ADA spaces + 5 underground ADA spaces = 10

Off-street loading	OK
Accessory outdoor dining or seating facilities	TBD
Seating area shall be segregated from through pedestrian circulation	TBD
Minimum clear passage perimeter of 5 ft	TBD
Overstory trees, umbrellas etc. min. 7 ft clearance	TBD
Surfaced with concrete, bituminous, etc.	TBD
Minimum width 36" aisles	TBD
Additional parking required	TBD

<u>Underground loading driveway to basement level or surface parking lot</u>
<u>Restaurarant will require separate plan review</u>
<u>Restaurarant will require separate plan review</u>
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SPECIAL REVIEW REGULATIONS

Shoreland District	None
Floodplain District	None
Signage	Yes
Master Plan-Hodgson Road & CR J	Yes

<u>Separate Sign Permit Application required</u>

EAW/AUAR COMPLIANCE

Does an EAW/AUAR exist?	No
Is an EAW/AUAR required?	No
Is project in compliance?	NA
Does EAU/AUAR need to be revised?	NA

Memorandum

To: Katie Larsen, Lino Lakes City Planner

From: Kris Keller PE, WSB
Diane Hankee PE, Lino Lakes City Engineer

Date: April 1, 2026

Re: Lyngblomsten Nursing Home – Mixed (Residential/Commercial) Use Addition
Revised Preliminary PUD Plan Review
027097-000

WSB's review of the revised Preliminary PUD Plan submittal for the Lyngblomsten Nursing Home Addition in Lino Lakes, MN, prepared by Bolton and Menk and Wold and received March 16, 2026. Our comments were made on the following documents:

- Lyngblomsten – Preliminary PUD prepared by Bolton and Menk, dated March 9, 2026, 2025

The following review comments should be responded to in writing by the applicant. There are additional redline comments on the plan set that should be responded to as well. Not all redline comments are in the review memo.

Engineering

- **General**

The Lyngblomsten Nursing Home is proposing a mixed-use (residential/commercial) building to their campus located north of between Hodgson Road (CSAH 49) and Blanchard Boulevard. The proposed building is a mixed-use structure with one lower-level parking level (approx. 29,800 SF), a commercial first floor (approx. 29,800 SF), and three upper residential floors (approx. 26,500 SF/ea). It proposes 59 independent living units as well as retail, restaurant, and daycare facilities on the first floor together with both an underground and outdoor parking areas as well as additional living amenities.

Comments:

1. With the Final PUD plan, provide new building specific plan sheets (similar to the 'preliminary plat sheet S0.1' provided) that accurately depict the current topological information of the site as existing and clearly identify what grading/construction is proposed with the new building.
2. With the Final PUD plan, provide existing conditions plan sheet with removals/demolition required
 - a. Identify adjacent existing utilities that will be utilized

- **Grading**

The Lyngblomsten Mixed Use addition includes limited site grading for the building outdoor parking area and blending into the streets and driveways. The lot was rough-graded with the grading of the overall campus. A grading plan meeting City requirements will need to be submitted as part of the preliminary and final plats.

Comments:

1. With the Final PUD plan, provide new building addition specific grading plan sheet that accurately depicts the current topological information of the site as existing and clearly identify what grading/construction is proposed with the new building addition.
2. All grading will need to meet maximum 3:1 slope requirements

- **Stormwater Management**

Additional onsite treatment will not be required as the existing ponding areas were designed for drainage from this area. It is presumed that conveyance to these basins will be through an internal storm sewer system and overland swales. The system shall meet the City's and RCWD Stormwater Management requirements.

Comments:

1. With the Final PUD plan, provide s sub-surface drainage system design, similar to the other buildings on site

- **Water Supply/Sanitary Sewer**

A detailed utility plan for the Lyngblomsten Nursing Home Campus addition has not yet been proposed and will need to be submitted for preliminary plat by the applicant. There are 2 sets of existing 8" sanitary sewer and water stubs to the lot. The number of units and demand is within the anticipated capacity of the original campus design for the area and is supported with the existing infrastructure.

Comments:

1. With the Final PUD plan, provide better clarify the current topological information of the site as existing and clearly identify what grading/construction is proposed with the new building addition.
 - a. Show where extension of service stubs will connect to the building (mechanical room, etc.)
 - b. Identify and detail all connections to existing utilities
 - c. Label all water/utility fittings
 - d. Label all pipe characteristics (length, size, material, material grade, slope, etc.)
2. Identify all utility crossings and provide the top and bottom of pipe elevations
 - a. Vertical pipe separation should be a minimum 18"
 - b. Insulate when separation between storm sewer and water is less than 36"
3. We recommend that the City Deputy Director of Public Safety-Fire Division review the proposed plan for water supply and hydrant coverage.

- **Transportation**

Traffic from the addition is consistent to what was approved with the preliminary plat for the overall campus traffic study. Access to the parking area will be created with connections to Blanchard Boulevard on the west side and Lyngblomsted Drive on the north side. Underground parking with an entrance from the parking area at the southwest corner of the proposed building will be utilized as well.

Trails and sidewalks

Additional trails/ sidewalks are not proposed on the submitted Concept Plan as all required ones have already been installed with previous phases of the overall campus construction.

Comments:

1. With the Final PUD plan, show impacts to existing sidewalks with construction.
2. Provide a sidewalk/trail connection from the parking area to the eastern trail/northeastern intersection (Hodgson Road)

- **Wetlands and Mitigation Plan**

No wetlands are proposed to be impacted with the proposed addition.

- **Landscaping**

A Landscape Plan for the Lyngblomsten Nursing Home Campus addition has not yet been submitted. One will need to be submitted and reviewed by staff and the City's Environmental Coordinator. The Environmental Coordinator will provide separate comments.

- **Floodplain**

The submitted concept plan does not impact floodplain.

- **Drainage and Utility Easements**

All needed drainage and utility easements have been provided with the approved preliminary plat.

- **Development Agreement**

A development agreement will be required with the final plat.

- **Grading Agreement**

Grading agreement not required at this time.

- **Stormwater Maintenance Agreement**

The stormwater maintenance for public facilities are already in place with the main building.

- **Permits Required**

Required permits will be determined at the time of preliminary plat submittal. Potential permits may include some of the following and others:

1. NPDES General Construction Permit
2. City of Lino Lakes Zoning Permit for Construction

If you or the applicant have any questions regarding these comments, please contact Kris Keller at (612) 419-3083 or kkeller@wsbeng.com. You may also contact Diane Hankee at (651) 982-2430 or dhankee@linolakes.us.



Environmental Memo

To: Katie Larsen, City Planner
From: Tom Hoffman, Environmental Coordinator
Date: April 1, 2026
Re: Environmental Comments – Lyngblomsten PUD Amendment 4

Environmental Board recommended the following at their March 25, 2026 meeting:

1. 30" screening is required adjacent to parking lots to public right of way. Screening should be provided on the north side of the parking lot adjacent to Lyngblomsten Drive.
2. Provide tree protection fencing and detail in the plan set for existing boulevard trees to be protected during construction.
3. Update canopy coverage calculations. My calculations show 11 trees receiving 50% credit for an additional 1,200 SF. Potentially 1 tree is within 7-12 and would receive 25 percent credit.
4. Recommend adding one additional tree along the Hodgson Road boulevard. Currently the proposal shows trees throughout the building breaking up the frontage. There is one gap of trees between the stairs and the restaurant that doesn't seem to blend into the overall design.
5. Confirm irrigation reuse area and provide final calculations for reuse.
6. Recommend matching curb to the rest of the development.
7. The project will disturb more than an acre of soil and will be required to obtain an NPDES permit. Proof of permit shall be required before construction.
 - a. A SWPPP shall be required in additional submittals as required by the MPCA meeting sections 5.2-5.26.
 - b. Final erosion and sediment control will be reviewed with future submittals.
 - c. Inlet protection required on all existing catch basins.

**CITY OF LINO LAKES
RESOLUTION NO. 26-64**

**APPROVING LYNGBLOMSTEN AT LINO LAKES PUD PRELIMINARY PLAN/PRELIMINARY PLAT
AMENDMENT #4-MIXED USE BUILDING**

WHEREAS, the City received a land use application for Lyngblomsten PUD Preliminary Plan Amendment #4-Mixed Use Building hereafter referred to as PUD Amendment #4; and

WHEREAS, on April 8, 2019 the City Council passed Resolution No. 19-42 approving the PUD Development Stage Plan; and

WHEREAS, the PUD Development Stage Plan is now referred to as the PUD Preliminary Plan; and

WHEREAS, PUD Amendment #4 proposes to amend the PUD Preliminary Plan and Preliminary Plat to allow for 4-story mixed use building at the southeast corner of the site; and

WHEREAS, the PUD Amendment #4 is based on the following plans::

- Lyngblomsten Lino Lake Campus Plan Set prepared by Wold Architects and Engineers dated March 9, 2026
- Applicant Narrative
- Design Guidelines Revised March 2026
- Stormwater Management Report prepared by Bolton & Menk revision date March 6, 2026
- Geotechnical Evaluation Report prepared by Braun Intertec dated March 6, 2026
- Traffic Study prepared by Transportation Collaborative & Consultants, LLC dated March 6, 2026
- Use Area Tabulation submitted by Wold Architects and Engineers dated March 9, 2026; and

WHEREAS, the Planning & Zoning Board held a public hearing on April 8, 2026 and recommended approval of PUD Amendment #4.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Lino Lakes, Minnesota that:

FINDINGS OF FACT

Planned Unit Development

Per City Code Section 1007.024:

(2) The PUD, by allowing deviation from the strict provisions of this ordinance related to setbacks, heights, lot area, width and depths, yards, etc., may be considered by the City when it would result in one or more of the following public benefits:

(a) Implementation of a master plan consistent with the Planning District objectives of the Comprehensive Plan.

PUD Amendment #4 continues to implement the Hodgson Road & CR J Master Plan.

(b) Innovations in development that address growing demands for all styles of economic expansion, greater variety in lot size, configuration, home type, design, enhanced architectural standards, and siting of structures through the conservation and more efficient use of land in such developments.

PUD Amendment #4 does not change Lyngblomsten's innovation in development. The mixed use building supports economic expansion and housing.

(c) Preservation and enhancement of desirable site characteristics such as wildlife habitat, unique natural resources, existing vegetation, natural topography, geologic features and reduction of negative impacts on the environment.

The existing wetland on site will not be impacted by PUD Amendment #4.

(d) Creative use of land and related physical development which allows a phased and orderly transition of varying land uses in close proximity to each other.

PUD Amendment #4 continues to transition development from existing low density single family homes to cottage home to a senior living campus consisting of independent living, assisted living and skilled nursing facilities to the mixed use building.

(e) Efficient use of land resulting in smaller networks of utilities and streets thereby lowering development costs and public investments.

PUD Amendment #4 does not change the existing utility and street network.

(f) Mix of land use types.

PUD Amendment #4 and the mixed use building provide both commercial and residential development.

(g) Provision of a housing type or target housing price that is desirable to the City.

PUD Amendment #4 supports senior living housing options.

(h) Other public benefits and values as recognized in the City's Comprehensive Plan.

PUD Amendment #4 supports life-cycle housing and diversifies the tax base.

Preliminary Plat

Per Section 1001.013, Premature Subdivision:

1. *General.* Any concept plan, preliminary plat or final plat deemed premature pursuant to the following criteria shall be denied by the City Council.
2. *Conditions for establishing a premature subdivision.* A subdivision may be deemed premature should any of the following conditions not be met.
 - a. *Consistency with the Comprehensive Plan.* Including any of the following:
 - i) Land use plan;
 - ii) Transportation plan;
 - iii) Utility (sewer and water) plans;
 - iv) Local water management plan;
 - v) Capital improvement plan; and
 - vi) Growth management policies, including MUSA allocation criteria.

Lyngblomsten at Lino Lakes Second Addition preliminary plat is consistent with the goals and policies of the Comprehensive Plan and the Master Planning Study-Hodgson Road & CR J.

- b. *Consistency with infill policies.* A proposed urban subdivision shall meet the city's infill policies.

Lyngblomsten at Lino Lakes Second Addition preliminary plat is consistent with infill policies. The development is within the current Utility Staging Area 1A (2018-2025). The cost, operation and maintenance of the utility system is consistent with the normal costs projected by the water and sanitary system plans. No future utility costs are proposed.

- c. *Roads or highways to serve the subdivision.* A proposed subdivision shall meet the requirements for level of service (LOS), as defined by the Highway Capacity Manual.

Existing level of service ranges from A to B for applicable intersections. The proposed level of service does not fall below a C. Level of service requirements are met.

- d. *Water supply.* A proposed subdivision shall be deemed to have an adequate water supply.

Lyngblomsten at Lino Lakes Second Addition preliminary plat will have an adequate water supply.

- e. *Waste disposal systems.* A proposed subdivision shall be served with adequate waste disposal systems.

Lyngblomsten at Lino Lakes Second Addition preliminary plat will be served with an adequate waste disposal system.

BE IT FURTHER RESOLVED that Resolution No. 19-42 is amended as follows:

I. PUD DEVELOPMENT STAGE PLAN/PRELIMINARY PLAT

The PUD Development Stage Preliminary Plan/Preliminary Plat consists of the plans and documents previously noted. The final revised PUD Development Stage Preliminary Plan/Preliminary Plat establishes the general development plan in regards to building location, traffic circulation, common areas, public open space, architectural plans, landscape plans, grading and drainage plans, utility plans and erosion control.

Separate site plan review will be required for development of the ~~Restaurant (Lot 2, Block 2) and Commercial Development (Outlot C)~~ Mixed Use Building (Lot 1, Block 1, Lyngblomsten at Lino Lakes Second Addition). These developments shall be consistent with the PUD Development Stage Preliminary Plan/Preliminary Plat and Design Guidelines.

II. LOT AND YARD REQUIREMENTS

The final revised preliminary plat shall establish the lot sizes and lot widths for the development.

The following preliminary plat legal descriptions shall be used to associate the development area with the appropriate building setbacks:

A. Legal Descriptions

Development Area	Legal Description
Cottage Home Neighborhood	Lots 1-22, Block 1 <u>Lots 1-21, Block 1, Lyngblomsten at Lino Lakes</u>
Clubhouse	Lot 17, Block 1
Senior Living Campus	Lot 1, Block 2 <u>Lot 1 and Lot 3, Lyngblomsten at Lino Lakes</u>
Restaurant	Lot 2, Block 2
Commercial Development	Outlot C
<u>Mixed Use Building</u>	<u>Lot 1, Block 1, Lyngblomsten at Lino Lakes</u> <u>Second Addition</u>

B. Building Setbacks

Road or Boundary	Building	Setback (feet)
CSAH 49 (Hodgson Road)		

	Cottage Homes	40
	Senior Living Campus	25
	Restaurant	10
	Commercial Development	10
	<u>Mixed Use Building</u>	<u>25</u>
CR J (Ash Street)		
	Commercial Development	10
	<u>Mixed Use Building</u>	<u>25</u>
Public Road (<u>Blanchard Blvd</u>)		
	Cottage Homes	25
	Clubhouse	25
	Senior Living Campus	10
	Restaurant	15
	Commercial Development	15
	<u>Mixed Use Building</u>	15
	Parking	15
Private Road		
<u>-Hammerly Ct</u>	Cottage Homes	23 from curb or sidewalk
<u>-Lyngholmsten Dr</u>	Senior Living Campus & Restaurant <u>Mixed Use Building</u>	15 from curb or sidewalk
North Lot Line		30
West Lot Line		50

C. Parking Setbacks

Road	Comment	Setback (feet)
CSAH 49 (Hodgson Road) and CR J (Ash Street)		
	Parking lots adjacent to these roads should be discouraged	NA
	If approved by the City, extensive landscaping and	15

	screening of parking lots will be required along Hodgson and CR J, including boulevard trees and decorative fencing or walls. Landscaping must be included on the street side of fences or walls along parking lots.	
Public Road (Blanchard Blvd)		15
Private Road (Hammerly Ct & Lyngblomsten Dr)		15 from curb or sidewalk
Between Lot 2, Block 2 (Restaurant) and Outlot C (Commercial)	One parking lot is encouraged to serve both developments. No setback is required between the lots.	0

D. Between Cottage Homes: There shall be a minimum of 10 feet of separation between each house.

III. HEIGHT REGULATIONS

Building heights in the Development shall be tiered from lowest to highest and from west to east towards Hodgson Road except as otherwise approved by the City.

A. Cottage Home Neighborhood ~~and Clubhouse~~

No building shall be erected or structurally altered to exceed thirty-five (35) feet in height.

B. Senior Living Campus

No building shall be erected or structurally altered to exceed forty-five (45) feet in height—or, for a multiple dwelling building, the greater of four (4) stories or forty-five (45) feet—except as allowed by §1007.043 (3).

~~C.—Restaurant and Commercial Development~~ Mixed Use Building

~~No building shall exceed a height of three (3) stories or thirty-six (36) feet, whichever is higher.~~

No building shall be erected or structurally altered to exceed forty-five (45) feet in height—or, for a multiple dwelling building, the greater of four (4) stories or forty-five (45) feet—except as allowed by §1007.043 (3).

IV. IMPERVIOUS SURFACE COVERAGE

The allowed overall impervious surface coverage in the Development is 75%.

V. DESIGN GUIDELINES

The Master Planning Study-Hodgson Road & CR J (“Master Plan”) states that “Design Guidelines must be prepared for any new development project in the area. Developers shall submit draft guidelines with development applications. Design guidelines for each project must include attention to previous projects in order to coordinate design throughout the study area. After being refined in collaboration with City staff, design requirements shall be incorporated into the approval of the development.” The Design Guidelines shall be submitted with the PUD Final Plan/Final Plat and shall include at a minimum the following elements:

- A. Site Plan
- B. Land Use Legal Descriptions
- C. Building Setbacks
- D. Parking Setbacks
- E. Gateway Elements
- F. Architectural Standards
- G. Building Heights
- H. Landscaping
- I. Signage

VI. LAND USES

Permitted, accessory, conditional, administrative and interim land uses are detailed in Ordinance No. 07-19.

BE IT FURTHER RESOLVED the requirements of Ordinance No. 07-19, Resolution No. 19-42, Resolution No. 20-44, Resolution No. 20-94, Resolution No. 23-126 and Resolution No. 26-04 are still in effect; and

BE IT FURTHER RESOLVED the Lyngblomsten PUD Preliminary Plan Amendment #4 is approved with the following conditions:

1. The revised Lyngblomsten Design Guidelines shall provide additional development guidance.
2. A separate land use application for final plat shall be submitted after preliminary plat approval.

BE IT FURTHER RESOLVED the following items shall be addressed in conjunction with the submittal of the PUD Final Plan:

1. City Engineer Memo dated April 1, 2026
2. Environmental Memo dated April 1, 2026

3. All applicable plans sheets:
 - a. Street names shall be added.
 - b. Existing and proposed sidewalks and trails shall be clearly identified and labeled as noted in the Legends.
 - i. See Sheet S0.1, Preliminary Plat for good example.
4. Sheet S0.1, Preliminary Plat:
 - a. A 10' x 10' triangle of road right-of-way shall be dedicated on the plat in the southeast corner of the lot to provide separation from the existing trail.
5. Sheet C1.22, Site Plan South:
 - a. Exterior trash enclosures are not allowed. Plans shall be revised accordingly.
 - b. Parking space totals per row shall be added.
 - c. A sidewalk south of Lyngblomsten Drive from the Hodgson Rd trail shall be added to connect with the proposed sidewalk in front of the restaurant.
 - d. An outdoor plaza with seating opportunities and amenities shall be constructed in the southeast corner of the site to enhance the gateway corridor.
 - e. The parking calculations table shall match that as shown on page 9 of this staff report.
 - i. Calculations shall also include proper rounding.
6. Sheet C1.23, Striping and Signage Plan Overall:
 - a. Remove parking space calculations from this sheet. There are multiple numbers that are confusing.
7. Sheet A2.000, Mixed Use Basement Level Overall Floor Plan:
 - a. Twenty-four (24) ft wide drive aisles shall be maintained.
 - i. North end near staircase is only 20ft wide and shall be revised.
 - ii. Re-evaluate ADA parking spaces on the north end near the stairs and not near elevators.
8. Sheet A5.105, Exterior Elevations:
 - a. Are the windows on Elevation 5 facing Hodgson Road faux windows?
 - i. The floor plans show storage near the windows.
 - ii. Storage items shall not be visible from the outside.
9. Sheet A5.106, Exterior Elevations:
 - a. Under Exterior Elevation Materials table, should second column A5.105/D7 and F1 be A5.106?
 - b. In the Totals table, include a column with %.

Adopted by the City Council of the City of Lino Lakes this 11th day of May, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

**CITY OF LINO LAKES
RESOLUTION NO. 26-65**

**APPROVING COMMERCIAL DAY CARE FACILITY CONDITIONAL USE PERMIT
FOR LYNGBLOMSTEN AT LINO LAKES SECOND ADDITION**

WHEREAS, the City received a land use application for Lyngblomsten PUD Preliminary Plan Amendment #4-Mixed Use Building hereafter referred to as PUD Amendment #4; and

WHEREAS, PUD Amendment #4 includes a commercial day care facility; and

WHEREAS, the property is zoned PUD, Planned Unit Development and per Ordinance No. 07-19 a conditional use permit is required for a commercial day care facility; and

WHEREAS, the April 8, 2026 Planning & Zoning Board Staff Report and the May 11, 2026 Council Staff Report provide supporting narrative and documentation for PUD Amendment #4; and

WHEREAS, the legal description of the property will be Lot 1, Block 1, Lyngblomsten at Lino Lakes Second Addition upon filing of the final plat; and

WHEREAS, City staff has completed a review of the land use application based on the following plans:

- Lyngblomsten Lino Lake Campus Plan Set prepared by Wold Architects and Engineers dated March 9, 2026
- Applicant Narrative
- Design Guidelines Revised March 2026
- Stormwater Management Report prepared by Bolton & Menk revision date March 6, 2026
- Geotechnical Evaluation Report prepared by Braun Intertec dated March 6, 2026
- Traffic Study prepared by Transportation Collaborative & Consultants, LLC dated March 6, 2026
- Use Area Tabulation submitted by Wold Architects and Engineers dated March 9, 2026; and

WHEREAS, the Planning & Zoning Board held a public hearing on April 8, 2026 and recommended approval of the conditional use permit.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Lino Lakes, Minnesota that:

FINDINGS OF FACT

Per City Code Section 1007.016(3):

(e) The Planning and Zoning Board shall hold the public hearing and consider possible adverse effects of the proposed conditional use. Its judgement shall be based upon, but not limited to, the following factors:

1. The proposed development application has been found to be consistent with the design standards listed in § [1007.020](#)(4).

See below.

2. Will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare, or odors.

The proposed commercial day care facility will not involve activities detrimental to any person, property, or the general welfare.

3. Will not result in the destruction, loss, or damage of a natural, scenic or historic feature of major importance.

The proposed commercial day care facility will not result in the destruction of a natural, scenic, or historic feature of major importance.

Per City Code Section 1007.020:

(4) *Performance standards.* Plans which fail to meet the following criteria shall not be approved.

(a) The proposed development application must be consistent with the policies and recommendations of the Lino Lakes Comprehensive Plan.

The proposed commercial day care facility is consistent with the signature gateway land use.

(b) The proposed development application is compatible with present and future land uses of the area.

The proposed commercial day care facility is compatible with present and future land uses of the area.

(c) The proposed development application conforms to performance standards herein and other applicable city codes.

The proposed commercial day care facility conforms to City Code performance standards with minor revisions as noted.

(d) Traffic generated by a proposed development application is within the capabilities of the city when:

1. If the existing level of service (LOS) outside of the proposed development is A or B, traffic generated by a proposed development will not degrade the level of service more than one grade.

2. If the existing LOS outside of the proposed development is C, traffic generated by a proposed development will not degrade the level of service below C.

3. If the existing LOS outside of the proposed development is D, traffic generated by a proposed development will not degrade the level of service below D.

4. The existing LOS must be D or better for all streets and intersections providing access to the proposed development. If the existing level of service is E or F, the developer must provide, as part of the proposed project, improvements needed to ensure a level of service D or better.

5. Existing roads and intersections providing access to the proposed development must have the structural capacity to accommodate projected traffic from the proposed development or the developer will pay to correct any structural deficiencies.

6. The traffic generated from a proposed development shall not require city street improvements that are inconsistent with the Lino Lakes Capital Improvement Plan. However, the city may, at its discretion, consider developer-financed improvements to correct any street deficiencies.

7. The LOS requirements in divisions 1. to 4. above do not apply to the I-35W/Lake Drive or I-35E/Main St. interchanges. At city discretion, interchange impacts must be evaluated in conjunction with Anoka County and the Minnesota Dept. of Transportation, and a plan must be prepared to determine improvements needed to resolve deficiencies. This plan must determine traffic generated by the proposed development project, how this traffic contributes to the total traffic, and the time frame of the improvements. The plan also must examine financing options, including project contribution and cost sharing among other jurisdictions and other properties that contribute to traffic at the interchange.

The proposed commercial day facility meets Level of Service (LOS) requirements and is within the capabilities of the City. The existing roads and intersections providing access to the proposed development have the structural capacity to accommodate projected traffic from the proposed development. The traffic generated from a proposed development does not require City street improvements that are inconsistent with the Lino Lakes Capital Improvement Plan.

(e) The proposed development shall be served with adequate and safe water supply.

The proposed commercial day care facility will have an adequate and safe water supply.

(f) The proposed development shall be served with an adequate or safe sanitary sewer system.

The proposed commercial day care facility will be served with an adequate waste disposal system.

(g) The proposed development shall not result in the premature expenditures of city funds on capital improvements necessary to accommodate the proposed development.

The proposed commercial day care facility does not require City funds.

(h) Fire prevention and fighting equipment acceptable to the Board of Fire Underwriters and City Council shall be readily available when any activity involving the handling or storage of flammable or explosive materials is carried on.

The proposed commercial day care facility will have fire prevention and fighting equipment readily available.

BE IT FURTHER RESOLVED the following specific performance standards of Ordinance No. 07-19 have also been met:

(b) Commercial day care facilities provided that:

1. All requirements of the Minnesota Department of Health and Human Services, as may be amended, are satisfactorily met and the structure and operation is licensed accordingly.

The commercial day care facility shall be properly licensed.

2. Screening is provided in compliance with § [1007.049](#).

The commercial day care facility is properly fenced and screened.

3. Adequate off-street parking is provided in a location separated from any outdoor play area(s).

The off-street parking is separated from outdoor play areas.

4. Adequate off-street loading spaces in compliance with § [1007.053](#).

Adequate off-street loading spaces are provided.

BE IT FURTHER RESOLVED the commercial day care facility conditional use permit is approved subject to conditions noted in Resolution No. 26-64.

Adopted by the City Council of the City of Lino Lakes this 11th day of May, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

**CITY OF LINO LAKES
RESOLUTION NO. 26-66**

**APPROVING RESIDENTIAL APARTMENTS CONDITIONAL USE PERMIT
FOR LYNGBLOMSTEN AT LINO LAKES SECOND ADDITION**

WHEREAS, the City received a land use application for Lyngblomsten PUD Preliminary Plan Amendment #4-Mixed Use Building hereafter referred to as PUD Amendment #4; and

WHEREAS, PUD Amendment #4 includes residential apartments; and

WHEREAS, the property is zoned PUD, Planned Unit Development and per Ordinance No. 07-19 a conditional use permit is required for residential apartments; and

WHEREAS, the April 8, 2026 Planning & Zoning Board Staff Report and the May 11, 2026 Council Staff Report provide supporting narrative and documentation for PUD Amendment #4; and

WHEREAS, the legal description of the property will be Lot 1, Block 1, Lyngblomsten at Lino Lakes Second Addition upon filing of the final plat; and

WHEREAS, City staff has completed a review of the land use application based on the following plans:

- Lyngblomsten Lino Lake Campus Plan Set prepared by Wold Architects and Engineers dated March 9, 2026
- Applicant Narrative
- Design Guidelines Revised March 2026
- Stormwater Management Report prepared by Bolton & Menk revision date March 6, 2026
- Geotechnical Evaluation Report prepared by Braun Intertec dated March 6, 2026
- Traffic Study prepared by Transportation Collaborative & Consultants, LLC dated March 6, 2026
- Use Area Tabulation submitted by Wold Architects and Engineers dated March 9, 2026; and

WHEREAS, the Planning & Zoning Board held a public hearing on April 8, 2026 and recommended approval of the conditional use permit.

NOW, THEREFORE, BE IT RESOLVED by the City Council of Lino Lakes, Minnesota that:

FINDINGS OF FACT

Per City Code Section 1007.016(3):

(e) The Planning and Zoning Board shall hold the public hearing and consider possible adverse effects of the proposed conditional use. Its judgement shall be based upon, but not limited to, the following factors:

1. The proposed development application has been found to be consistent with the design standards listed in § [1007.020](#)(4).

See below.

2. Will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare because of excessive production of traffic, noise, smoke, fumes, glare, or odors.

The proposed residential apartments will not involve activities detrimental to any person, property, or the general welfare.

3. Will not result in the destruction, loss, or damage of a natural, scenic or historic feature of major importance.

The proposed residential apartments will not result in the destruction of a natural, scenic, or historic feature of major importance.

Per City Code Section 1007.020:

(4) *Performance standards.* Plans which fail to meet the following criteria shall not be approved.

(a) The proposed development application must be consistent with the policies and recommendations of the Lino Lakes Comprehensive Plan.

The proposed residential apartments are consistent with the signature gateway land use.

(b) The proposed development application is compatible with present and future land uses of the area.

The proposed residential apartments are compatible with present and future land uses of the area.

(c) The proposed development application conforms to performance standards herein and other applicable city codes.

The proposed residential apartments conform to City Code performance standards with minor revisions as noted.

(d) Traffic generated by a proposed development application is within the capabilities of the city when:

1. If the existing level of service (LOS) outside of the proposed development is A or B, traffic generated by a proposed development will not degrade the level of service more than one grade.

2. If the existing LOS outside of the proposed development is C, traffic generated by a proposed development will not degrade the level of service below C.

3. If the existing LOS outside of the proposed development is D, traffic generated by a proposed development will not degrade the level of service below D.

4. The existing LOS must be D or better for all streets and intersections providing access to the proposed development. If the existing level of service is E or F, the developer must provide, as part of the proposed project, improvements needed to ensure a level of service D or better.

5. Existing roads and intersections providing access to the proposed development must have the structural capacity to accommodate projected traffic from the proposed development or the developer will pay to correct any structural deficiencies.

6. The traffic generated from a proposed development shall not require city street improvements that are inconsistent with the Lino Lakes Capital Improvement Plan. However, the city may, at its discretion, consider developer-financed improvements to correct any street deficiencies.

7. The LOS requirements in divisions 1. to 4. above do not apply to the I-35W/Lake Drive or I-35E/Main St. interchanges. At city discretion, interchange impacts must be evaluated in conjunction with Anoka County and the Minnesota Dept. of Transportation, and a plan must be prepared to determine improvements needed to resolve deficiencies. This plan must determine traffic generated by the proposed development project, how this traffic contributes to the total traffic, and the time frame of the improvements. The plan also must examine financing options, including project contribution and cost sharing among other jurisdictions and other properties that contribute to traffic at the interchange.

The proposed commercial day facility meets Level of Service (LOS) requirements and is within the capabilities of the City. The existing roads and intersections providing access to the proposed development have the structural capacity to accommodate projected traffic from the proposed development. The traffic generated from a proposed development does not require City street improvements that are inconsistent with the Lino Lakes Capital Improvement Plan.

(e) The proposed development shall be served with adequate and safe water supply.

The proposed residential apartments will have an adequate and safe water supply.

(f) The proposed development shall be served with an adequate or safe sanitary sewer system.

The proposed residential apartments will be served with an adequate waste disposal system.

(g) The proposed development shall not result in the premature expenditures of city funds on capital improvements necessary to accommodate the proposed development.

The proposed residential apartments do not require City funds.

(h) Fire prevention and fighting equipment acceptable to the Board of Fire Underwriters and City Council shall be readily available when any activity involving the handling or storage of flammable or explosive materials is carried on.

The proposed residential apartments will have fire prevention and fighting equipment readily available.

BE IT FURTHER RESOLVED the following specific performance standards of Ordinance No. 07-19 have also been met:

(g) Residential apartments accessory to permitted or conditional uses in the LB District provided that:

1. The apartment is located in the same building as the principal use.

The apartment is located in the same building as the principal use.

2. Residential and non-residential use are not contained on the same floor.

Residential and non-residential uses are not contained on the same floor.

3. The residential and non-residential uses do not conflict in any manner.

The residential and non-residential uses do not conflict in any manner.

BE IT FURTHER RESOLVED the commercial day care facility conditional use permit is approved subject to conditions noted in Resolution No. 26-64.

Adopted by the City Council of the City of Lino Lakes this 11th day of May, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

**CITY COUNCIL
REGULAR MEETING STAFF REPORT
AGENDA ITEM 7B**

STAFF ORIGINATOR: Diane Hankee, City Engineer

MEETING DATE: May 11, 2026

TOPIC: **PUBLIC HEARING:** 1st Reading of Ordinance No. 04-26, Vacating Drainage & Utility Easement, 6030 Blanchard Blvd, Lot 2, Block 2, & Outlot C, Lyngblomsten at Lino Lakes Addition

VOTE REQUIRED: Super Majority

INTRODUCTION

Staff is requesting the 1st Reading of Ordinance No. 04-26, vacating drainage and utility easement, 6030 Blanchard Blvd, Lot 2, Block 2, & Outlot C, Lyngblomsten at Lino Lakes Addition.

BACKGROUND

The property at 6030 Blanchard Boulevard is a residential parcel, while Outlot C is a vacant commercial parcel owned by Lyngblomsten at Lino Lakes LLC. The existing drainage and utility easements dedicated across the parcels are no longer required, as the lots will be combined. New easements will be dedicated with the final plat per City ordinance.

The Drainage and Utility Easement Vacation Description Sketch prepared by Bolton & Menk received on March 11, 2026 details the proposed drainage area to be vacated.

The second reading of the ordinance is scheduled for May 26, 2026.

RECOMMENDATION

Staff is recommending approval of the 1st Reading of Ordinance No. 04-26 Vacating Drainage & Utility Easements, 6030 Blanchard Blvd, Lot 2, Block 2, & Outlot C, Lyngblomsten at Lino Lakes Addition.

ATTACHMENTS

1. Ordinance No. 04-26
2. Drainage Easement Vacation Description Sketch

1 st Reading:	Website Notice:
2 nd Reading:	Publication:
Adoption:	Effective:

**CITY OF LINO LAKES
ORDINANCE NO. 04-26**

**VACATING DRAINAGE AND UTILITY EASEMENT
LOT 2, BLOCK 2, OUTLOT C, LYNGBLOMSTEN AT LINO LAKES ADDITION,
ANOKA COUNTY, MINNESOTA**

The City Council of Lino Lakes ordains:

Section 1: Findings of Fact

1. The City Council of Lino Lakes has determined to vacate a drainage and utility easement (“Easement”).
2. The area of the vacated Easement is legally described as follows and shown in Attachment A-Vacation Exhibit.
All drainage and utility easements lying within Lot 2, Block 2, and Outlot C, LYNGBLOMSTEN AT LINO LAKES ADDITION, according to the recorded plat thereof, Anoka County, Minnesota, as created by and dedicated on said plat.
3. A public hearing was held on May 11, 2026 before the City Council in the City Hall Council Chambers after due published and posted notice had been given and reasonable attempts were made to give personal notice to all affected property owners, and all persons interested were given an opportunity to be heard; and
4. It appears to be in the best interest of the City to vacate such Easement; and
5. This ordinance shall be recorded with Anoka County; and
6. Four-fifths of all members of the City Council concur with this ordinance.

Section 2: Easement Vacated

The Easement described herein is hereby vacated.

Section 3: Effect

This ordinance shall be in force and effect from and after its passage and publication according to the Lino Lakes City Charter and upon filing of the ordinance.

Section 4: The vacation provided for by this ordinance is contingent on the dedication of new drainage and utility easements on the Lyngblomsten PUD #4 plat. Should the new easements

not be dedicated, the vacation provided by this ordinance shall be null and void.

Adopted by the Lino Lakes City Council this ____ day of _____, 2026.

BY: _____
Rob Rafferty, Mayor

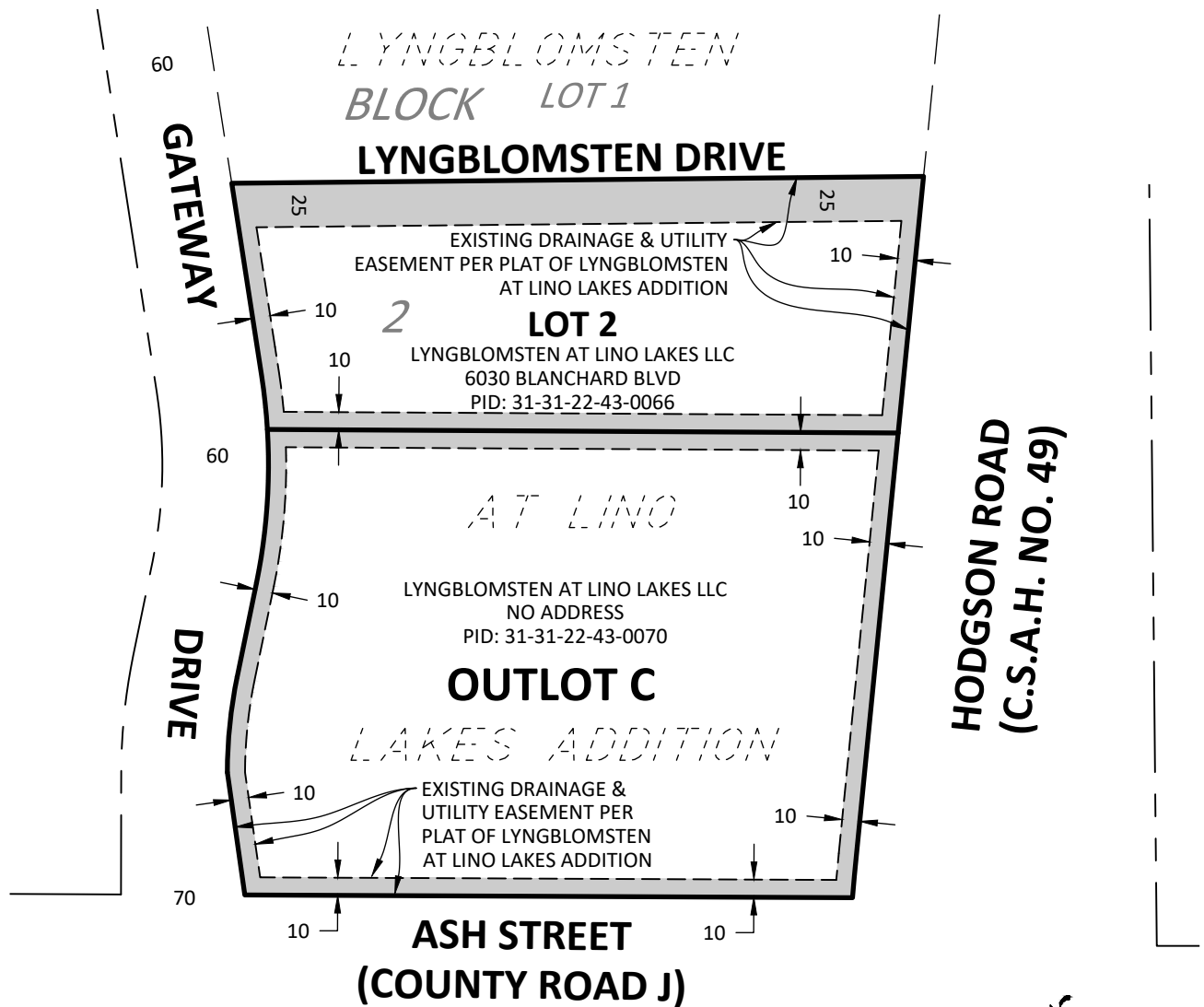
ATTEST:

Roberta Colotti, CMC, City Clerk



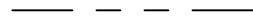
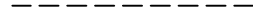

ATTACHMENT A
Vacation Exhibit

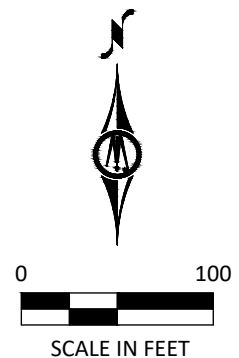
PROPOSED VACATION DESCRIPTION

All drainage and utility easements lying within Lot 2, Block 2, and Outlot C, LYNGBLOMSTEN AT LINO LAKES ADDITION, according to the recorded plat thereof, Anoka County, Minnesota, as created by and dedicated on said plat.



LEGEND

-  SUBJECT PARCELS
-  ADJACENT PROPERTY LINE
-  RIGHT OF WAY LINE
-  EXISTING EASEMENT LINE
-  PROPOSED VACATION AREA = (27,334± SQ. FT. OR 0.628± ACRES)



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VACATION EXHIBIT
 6030 BLANCHARD BLVD., LINO LAKES, MN 55014

LOT 2, BLOCK 2, & OUTLOT C,
 LYNGBLOMSTEN AT LINO LAKES ADDITION



3507 High Point Drive North
 Bldg. 1 Suite E130
 Oakdale, MN 55128
 Phone: (651) 704-9970

FOR: WOLD ARCHITECTS

JOB NUMBER: 26X.142666.000

FIELD BOOK:

DRAWN BY: ARK/RPW

**CITY COUNCIL
REGULAR MEETING STAFF REPORT
AGENDA ITEM 7C**

STAFF ORIGINATOR: Diane Hankee, PE City Engineer

MEETING DATE: May 11, 2026

TOPIC: Resolution 26-71, Rejecting Bids and Authorizing Rebid, 2026 Birch Street Sewer Crossing Project

VOTE REQUIRED: Simple Majority

INTRODUCTION

Staff is requesting Council approval to reject bids and authorize rebidding for the 2026 Birch Street Sewer Crossing Project.

BACKGROUND

On February 9, 2026, the City Council ordered the project and authorize the ad for bid for the 2026 Birch Street Sewer Crossing Project. The 2026 Birch Street Sewer Crossing Project includes boring or jacking a 24-inch diameter casing pipe and installing a 12-inch diameter sanitary sewer pipe from the north side to south side of Birch Street, approximately 200 feet west of the intersection of Birch Street and West Shadow Lake Drive.

The project is necessary to increase capacity in the City’s trunk sanitary sewer system. This increase will also accommodate the new Water Treatment Plant flushing effluent. The project is adjacent to Rice Lake Elementary School, and the project schedule was originally set to take place during the months when regular school was not in session.

Bids were received for the above-referenced project on Thursday, April 30, 2026. Two bids were received. The bids were checked for mathematical accuracy and tabulated. Below is a table of bid data:

CONTRACTOR	Base Bid	Alternate 1	TOTAL BID
Engineer Estimate	\$573,237.00	\$20,000.00	\$593,237.00
New Look Contracting, Inc.	\$818,414.00	\$24,450.00	\$842,864.00
Bituminous Roadways, Inc.	\$1,179,340.00	\$60,000.00	\$1,239,341.00

The low bid was 42% higher than the engineer’s estimate and over the project budget. The total project budget was \$495,000.00. After reviewing bids with contractors, allowing for an

extended schedule will result in lower bids. The City will continue to coordinate the schedule with the School District. Funding for the project is to be from the Area & Unit Trunk Fund. After the project is rebid, the project funding will be evaluated.

The revised project schedule:

Authorize Preparation of Plans and Specifications	June 23, 2025
Order Improvement, Approve Plans and Specs, Authorize Ad for Bids	February 9, 2026
City Opens Bids	July 16, 2026
City Council Awards Contract	July 27, 2026
Construction Can Begin	August, 2026
Final Completion	May 31, 2027

RECOMMENDATION

Staff is recommending approval of Resolution No. 26-71, rejecting bids and authorizing rebidding for the 2026 Birch Street Sewer Crossing Project.

ATTACHMENTS

1. Resolution No. 26-71
2. Bid Summary

**CITY OF LINO LAKES
RESOLUTION NO. 26-71**

**REJECTING BIDS AND AUTHRIZING REBID
2026 BIRCH STREET SEWER CROSSING PROJECT**

WHEREAS, pursuant to an advertisement for bids for the construction of the 2026 Birch Street Sewer Crossing Project, bids were received, opened and tabulated according to law, and the following bids were received complying with the advertisement; and

CONTRACTOR	Base Bid	Alternate 1	TOTAL BID
New Look Contracting, Inc.	\$818,414.00	\$24,450.00	\$842,864.00
Bituminous Roadways, Inc.	\$1,179,340.00	\$60,000.00	\$1,239,341.00

WHEREAS, it appears that New Look Contracting, Inc. is the lowest responsible bidder; and

WHEREAS, the bids received were more than the project budget as determined by the engineer's estimate; and

WHEREAS, the City Council finds that it would be in the best interests of the City to reject the bids and rebid the project at a later date.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Lino Lakes that the bids received are hereby rejected. The City Clerk is authorized to return the bid bonds to the contractors.

Adopted by the Council of the City of Lino Lakes this 11th day of May, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk



May 5, 2026

Honorable Mayor and City Council
City of Lino Lakes
600 Town Center Parkway
Lino Lakes, MN 55014

Re: Birch Street Sewer Improvement
City of Lino Lakes
WSB Project No. 026692-000

Dear Mayor and Council Members:

Bids were received for the above-referenced project on Thursday, April 30, 2026, and were opened and read aloud. Two bids were received. The bids were checked for mathematical accuracy. Please find enclosed the bid summary indicating the low bid as submitted by New Look Contracting, Rogers, Minnesota in the amount of \$818,414.00. The Engineer's Estimate including a 5-percent contingency is \$601,898.85, for the base bid and \$622,898.85 with Alternate Bid Item 1.

In addition to the base bid, the contractor gave a price for one alternate. The cost submitted by New Look Contracting for this alternate was as follows:

Alternate 1 – Alternate Bid Item 1 \$24,450.00

We recommend that the City Council consider rejecting bids due to the high bids received and consider rebidding the project this summer. Staff will continue to work with the school district on timeline to provide additional flexibility in construction timeline.

Sincerely,

WSB

Paul Hornby, PE
Senior Project Manager

Attachments

cc: Mike Grochala, Lino Lakes
Diane Hankee, Lino Lakes

jsc

178 E 9TH STREET | SUITE 200 | SAINT PAUL, MN | 55101 | 651.286.8450 | WSBENG.COM

BID TABULATION SUMMARY

PROJECT:

Birch Street Sewer Improvement

OWNER:

City of Lino Lakes

WSB PROJECT NO.:

026692-000

Bids Opened: Thursday, April 30, 2026, at 10:00 am

Contractor	Bid Security (5%)	Base Bid	Alternate 1	Total Base Bid and Alternate
1 New Look Contracting, Inc.	X	\$818,414.00	\$24,450.00	\$842,864.00
2 Bituminous Roadways, Inc.	X	\$1,179,341.00	\$60,000.00	\$1,239,341.00
Engineer's Opinion of Cost		\$ 573,237.00	\$ 20,000.00	\$593,237.00

I hereby certify that this is a true and correct tabulation of the bids as received on April 30, 2026.

Paul Hornby, Sr. Project Manager

 Denotes corrected figure

**CITY COUNCIL
REGULAR MEETING STAFF REPORT
AGENDA ITEM 7D**

STAFF ORIGINATOR: Michael Grochala, Community Development Director

MEETING DATE: May 11, 2026

TOPIC: Public Works Building Bid Package No. 2 Contract Awards

- i. Consider Resolution No. 26-76, Accepting bids, Awarding Construction Contracts, Bid Package 2
- ii. Consider Resolution No. 26-78, Accepting bids, Awarding Construction Contracts, Bid Package 2, Category 8B Sectional and Specialty Doors
- iii. Consider Resolution No. 26-79, Reject Low Bid and Awarding 2nd Bid, Bid Category 32C Landscaping and Irrigation
- iv. Consider Resolution No. 26-80, Reject Low Bid and Awarding 2nd Bid, Quote Category 9B Tile
- v. Consider Resolution No. 26-81, Reject Low Bid and Awarding 2nd Bid, Quote Category 9D Fluid Applied Flooring

VOTE REQUIRED: Simple Majority

INTRODUCTION

Staff is requesting Council’s consideration to accept bids and quotes, and award construction contracts for the Public Works Building, Bid Package No. 2.

BACKGROUND

On March 23, 2026, the City Council awarded contracts for the Public Works Building Bid Package No. 1 in the total amount of \$7,546,681. The bid opening for Big Package No. 2 was held on Monday, May 5, 2026. A total of 110 bids were received for the 24 bid categories, and 32 quotes were received for the 16 quote categories.

No bids or quotes were received for **Categories 1A Specialty Testing & Inspections, 6B Casework and Millwork, 11A Appliances & Equipment, and 11C Vehicle Wash Equipment.** City staff and RJM have retained an allowance for the items in the project budget and will resolicit bids or quotes as applicable from qualified vendors.

RJM has recommended award of bids and quotes in accordance with their letter dated May 7, 2026, included as attachment 1 of this report. Multiple bid categories included alternatives in addition to the base bid. RJM is recommending that the following alternatives be accepted:

Category 07A – Waterproofing, in the amount of \$8,200.00, adds for stem wall approved under Bid Pack No. 1.

Category 07C – Roofing, Alternate 3 in the amount of \$32,174.00, adds for hook and loop roofing system.

The following alternative is **not** recommended for acceptance:

Category 26A – Electrical and Low Voltage Systems, in the amount of \$19,980.00 for EV Charging Stations.

In three bid categories the low bidder did not meet the bid requirements. As a result, RJM is recommending rejecting the low bids and awarding contracts to the second low bidder in the following categories:

- **Category 32C Landscaping and Irrigation.**
- **Category 9B Tile**
- **Category 9D Fluid Applied Flooring**

The overall Bid Package No. 2 award value is \$15,312,976.00.

The total construction award package, including Bid Package 1 and No.2, is \$22,859,657 which is within the overall project budget.

RECOMMENDATION

Staff recommends adoption of Resolutions 26-76, 26-78, 26-79, 26-80, 26-81.

ATTACHMENTS

1. RJM Recommendation dated May 7, 2026
2. Resolution No. 26-76
3. Resolution No. 26-78
4. Resolution No. 26-79
5. Resolution No. 26-80
6. Resolution No. 26-81



May 7th, 2026

Mike Grochala, AICP
Community Development Director
City of Lino Lakes
600 Town Center Pkwy
Lino Lakes, MN 55014

**RE: City of Lino Lakes – Public Works Facility Bid Package #2
Recommendations for Award of Contract**

Dear Mr. Grochala;

On May 4, 2026, bids were received at the City of Lino Lakes for the City of Lino Lakes – Public Works Facility project. We are excited to report that there was great interest in the project in that a total of one-hundred ten (110) bids were received for the twenty-four (24) bid categories and thirty-two (32) quotes were received for the sixteen (16) quote categories. At this time RJM Construction has completed its review of all bids and are recommending award as noted per the attached spreadsheet. The recommendations are based on the compliant, low cumulative total bid received for the base bid, as well as the following alternates.

- Alternate #1 – Cast-in place stem walls in lieu of precast walls down to footing
- Alternate #3 – Hook and loop roofing system

The following alternate has not been accepted at this time.

- Alternate #2 – EV charging stations

Analyzing the bid's and quotes received on May 4, 2026, the following categories required selection of the 2nd low bidder:

1. Bid Category 32C – Landscaping and Irrigation

- a. Low Bidder
 - i. L.A.C. Enterprises, Inc DBA Windsor Companies
 - 1. Base Bid: \$331,558.00
 - 2. Alternates: None
 - 3. Reason for denial of award; Non-compliant per bidding requirements. No Responsible Contractor Form or Attachment A-1 submitted with bid.
- b. Second Low Bidder
 - i. Hoffman & McNamara Co.
 - 1. Base Bid: \$338,900.00
 - 2. Alternates: None
 - 3. Reason for proposed award; Compliant bid.

2. Quote Category 9B – Tile

- a. Low Bidder
 - i. Lee’s Ceramics Inc.
 - 1. Base Bid: \$69,780.00
 - 2. Alternates: None
 - 3. Reason for denial of award; Non-compliant per bidding requirements. Does not identify addendums #1 through #4 within quote.
 - b. Second Low Bidder
 - i. Grazzini Brothers & Company
 - 1. Base Bid: \$77,100.00
 - 2. Alternates: None
 - 3. Reason for proposed award; Compliant bid.

3. Quote Category 9D – Fluid Applied Flooring

- a. Low Bidder
 - i. Mavo Systems
 - 1. Base Bid: \$12,495.00
 - 2. Alternates: None
 - 3. Reason for denial of award; Non-compliant per bidding requirements. Does not identify addendums #1 through #4 within quote.
 - b. Second Low Bidder
 - i. The Concrete Guys
 - 1. Base Bid: \$21,153.00
 - 2. Alternates: None
 - 3. Reason for proposed award; Identifies addendums #1 through #4.

We recommend to the City Council that they approve the award of the contracts noted in the attached spreadsheet.

If you should have any questions, please contact by phone at 612-214-4610.

Sincerely,



Curtis Sell, CHC
Project Executive

CC:
Brad Barickman – RJM Construction
Nick Driessen – RJM Construction
Aaron Chappuis – RJM Construction

Attachment: City of Lino Lakes – Bid Package #2 – Recommendation of Award; dated 5/5/2026

City of Lino Lakes - Public Works

Bid Package #2 - Recommendation of Award

5/5/2026

Bid Category	Contractor	Contractor Address	Base Bid	Alternate #2			Final Contract Amount
				Alternate #1 Accepted	Not Accepted	Alternate #3 Accepted	
04A - Masonry	Northland Concrete & Masonry Company, LLC	1125 Stagecoach Road, Shakopee, MN 55379	\$ 297,760.00	\$ -	\$ -	\$ -	\$ 297,760.00
06A - Rough & Finish Carpentry	Kellington Construction, Inc.	807 Broadway Street NE, Suite 185, Minneapolis MN 55413	\$ 557,450.00	\$ -	\$ -	\$ -	\$ 557,450.00
07B - Metal Panels	Architectural Panel Systems Inc.	6134 214th St. Jordan, MN 55352	\$ 424,888.00	\$ -	\$ -	\$ -	\$ 424,888.00
07C - Roofing	Lake Area Roofing & Construction, Inc.	10425 Liberty Lane, Chicago City, MN 55013-5405	\$ 2,174,009.00	\$ -	\$ -	\$ 32,174.00	\$ 2,206,183.00
08A - Doors, Frames, and Hardware	Bredemus Hardware Co, Inc.	1285 Sylvan Street, St. Paul, MN 55117	\$ 142,642.00	\$ -	\$ -	\$ -	\$ 142,642.00
08B - Sectional and Specialty Doors	Miner Corporation	248 Apollo Drive, Lino Lakes, MN 55014	\$ 346,000.00	\$ -	\$ -	\$ -	\$ 346,000.00
08C - Aluminum Framing and Glazing	Ford Metro, Inc.	3121 40th Ave NW, Rochester, MN 55901	\$ 328,280.00	\$ -	\$ -	\$ -	\$ 328,280.00
09A - Gypsum Assemblies	Pinnacle Wall Systems	1000 Kristen Court Suite 1, White Bear Lake, MN 55110	\$ 288,246.00	\$ -	\$ -	\$ -	\$ 288,246.00
09F - Painting and Wallcovering	Fransen Decorating, Inc.	214 First Street W, Milaca, MN 56353	\$ 315,327.00	\$ -	\$ -	\$ -	\$ 315,327.00
11B - Vehicle Fueling System	Dan Larson Enterprises, Inc. DBA Zahl-Petroleum Maintenance Co.	3101 Spring Street NE, Minneapolis, MN 55413	\$ 422,092.00	\$ -	\$ -	\$ -	\$ 422,092.00
11C - Vehicle Wash Equipment	No quotes received - Allowance to be Held	-	\$ 180,000.00	\$ -	\$ -	\$ -	\$ 180,000.00
14A - Vehicle Lifts	Pump & Meter Service, Inc.	11303 Excelsior Blvd, Hopkins, MN 55343	\$ 279,972.00	\$ -	\$ -	\$ -	\$ 279,972.00
21A - Fire Protection Systems	Nova Fire Protection, Inc.	1630 91st Ave NE, Suite 103, Blaine, MN 55449	\$ 247,560.00	\$ -	\$ -	\$ -	\$ 247,560.00
22A - Plumbing Systems	Kraft Mechanical LLC	2330 Ventura Drive, Suite 100, Woodbury, MN 55125	\$ 1,457,000.00	\$ -	\$ -	\$ -	\$ 1,457,000.00
22B - Vehicle Lube Systems	Pump & Meter Service, Inc.	11303 Excelsior Blvd, Hopkins, MN 55343	\$ 185,739.00	\$ -	\$ -	\$ -	\$ 185,739.00

23A - HVAC Systems	Muska Electric dba General Sheet Metal, LLC	2330 Louisiana Ave N, Minneapolis, MN 55427	\$ 1,834,477.00	\$ -	\$ -	\$ -	\$ 1,834,477.00
26A - Electrical and Low Voltage Systems	Neo Electrical Solutions LLC	2180 Jack Breault Drive, Hudson, WI 54016	\$ 1,813,500.00	\$ -	\$ 19,980.00	\$ -	\$ 1,813,500.00
31A - Earthwork	Minnesota Utilites & Excavating	13932 Lake Drive, Forest Lake, MN 55025	\$ 1,117,000.00	\$ -	\$ -	\$ -	\$ 1,117,000.00
32A - Asphalt Paving	Park Construction Company	1481 81st Avenue NE, Minneapolis, MN 55432	\$ 345,395.00	\$ -	\$ -	\$ -	\$ 345,395.00
32B - Site Concrete	Ebert Inc dba Ebert Companies	23350 County Road 10, Corcoran, MN 55357	\$ 312,000.00	\$ -	\$ -	\$ -	\$ 312,000.00
32C - Landscaping and Irrigation	Hoffman & McNamara Co.	9045 180th St E, Hastings, MN 55033	\$ 338,900.00	\$ -	\$ -	\$ -	\$ 338,900.00
32D - Fences and Gates	Peterson Companies, Inc	8326 Wyoming Trail, Chicago City, MN 55013	\$ 474,700.00	\$ -	\$ -	\$ -	\$ 474,700.00
32E - Synthetic Tennis Court Surfacing & Equipment	Upper Midwest Athletic Construction inc.	3017 161st Ave NW, Andover, MN 55304	\$ 41,565.00	\$ -	\$ -	\$ -	\$ 41,565.00
33A - Site Utilities	Minnesota Utilities and Earthwork, LLC	13932 Lake Drive, Forest Lake, MN 55025	\$ 383,034.00	\$ -	\$ -	\$ -	\$ 383,034.00

Quote Category	Contractor	Contractor Address	Base Bid	Alternate #2			Final Contract Amount
				Alternate #1 Accepted	Not Accepted	Alternate #3 Accepted	
01A - Special Testing & Inspections	No quotes received - Allowance to be Held	-	\$ 50,000.00	\$ -	\$ -	\$ -	\$ 50,000.00
01B - Surveying	EVS	10025 Valley View Road, Suite 140 Eden Prairie, MN 55344	\$ 31,000.00	\$ -	\$ -	\$ -	\$ 31,000.00
01C - Final Cleaning	Cleaniac's LLC	6411 80th Street NW Maple Lake, MN 56383	\$ 56,460.00	\$ -	\$ -	\$ -	\$ 56,460.00
03C - Stained/Sealed Concrete	The Concrete Guy	7390 Ohms Lane Edina, MN 55435	\$ 77,312.00	\$ -	\$ -	\$ -	\$ 77,312.00
06B - Casework and Millwork	No quotes received - Allowance to be Held	-	\$ 81,979.00	\$ -	\$ -	\$ -	\$ 81,979.00
07A - Waterproofing	C and S Management Company, Inc. D/B/A Waterproofing by Experts	448 Lilac Street, Lino Lakes, MN 55014	\$ 42,775.00	\$ 8,200.00	\$ -	\$ -	\$ 50,975.00
07D - Joint Sealants	Carciofini Company	14380 W Burnsville Pkwy, Burnsville, MN 55306	\$ 65,040.00	\$ -	\$ -	\$ -	\$ 65,040.00
09B - Tile	Grazzini Brothers & Company	1175 Eagan Industrial Road St. Paul, MN 55121	\$ 77,100.00	\$ -	\$ -	\$ -	\$ 77,100.00
09C - Acoustical Ceilings	Twin City Acoustics	9449 Science Center Drive, Suite 100, New Hope, MN 55428	\$ 197,600.00	\$ -	\$ -	\$ -	\$ 197,600.00

09D - Fluid Applied Flooring	The Concrete Guy	7390 Ohms Lane Edina, MN 55435	\$ 21,153.00	\$ -	\$ -	\$ -	\$ 21,153.00
09E - Resilient, Carpet and Turf Flooring	Grazzini Brothers & Company	1175 Eagan Industrial Road St. Paul, MN 55121	\$ 44,835.00	\$ -	\$ -	\$ -	\$ 44,835.00
10A - Specialties	Building Material Supply, Inc.	4555 West 77th St Edina, MN 55435	\$ 48,619.00	\$ -	\$ -	\$ -	\$ 48,619.00
10B - Metal Lockers	H&B Specialized Products, Inc	6213 Bury Drive Eden Prairie, MN 55346	\$ 69,470.00	\$ -	\$ -	\$ -	\$ 69,470.00
10C - Operable Partitions	Acoustic Associates	10750 Xylon Ave N., Suite 140, Brooklyn Park, MN 55445	\$ 60,990.00	\$ -	\$ -	\$ -	\$ 60,990.00
11A - Appliances & Equipment	No quotes received - Allowance to be Held	-	\$ 12,000.00	\$ -	\$ -	\$ -	\$ 12,000.00
12A - Window Treatments	Amy's Windows LLC	7250 Metro Blvd Suite 250 Minneapolis, MN 55439	\$ 28,813.00	\$ -	\$ -	\$ -	\$ 28,813.00

**CITY OF LINO LAKES
RESOLUTION NO. 26-76**

**ACCEPTING BIDS/QUOTES AND AWARDING CONSTRUCTION CONTRACTS,
BID/QUOTE PACKAGE NO. 2,
PUBLIC WORKS BUILDING IMPROVEMENT PROJECT**

WHEREAS, pursuant to an advertisement for bids and quotes for the construction of the Public Works Building Improvement Project (“Project”), bids and quotes were received for Bid Package No. 2, consisting of Building Demolition, Earthwork, Utilities, Site Furnishings, MEP’s and interior and exterior finishes, opened and tabulated according to law, and

WHEREAS, the bids received in response to the advertisement for the work on these items are in a total amount generally consistent with the planned budget for the overall project; and

WHEREAS, Bid Categories 08B Sectional and Specialty Doors, 32C Landscaping and Irrigation, 9B Tile, and 9D Fluid Applied Flooring are being considered under separate resolutions; and

WHEREAS, no bids or quotes were received for Categories 1A Specialty Testing & Inspections, 6B Casework and Millwork, 11A, Appliances & Equipment, 11C Vehicle Wash Equipment; and

WHEREAS, the City’s construction manager for the Project, RJM Construction, has completed its review of all the bids and is recommending that the City award contracts to the lowest responsible bidder in each category, inclusive of project requirements;

NOW, THEREFORE, BE IT RESOLVED by the City Council of Lino Lakes, Minnesota that:

1. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Northland Concrete & Masonry Company, LLC., in the name of the City of Lino Lakes, for **Category 04A, Masonry**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$297,760.00.
2. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Kellington Construction, Inc., , in the name of the City of Lino Lakes, for **Category 06A, Rough & Finish Carpentry**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$557,450.00.

3. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Architectural Panel Systems Inc., , in the name of the City of Lino Lakes, for **Category 07B, Metal Panels**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$424,888.00.
4. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Lake Area Roofing & Construction, Inc., in the name of the City of Lino Lakes, for **Category 07C, Roofing**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, including the base bid and Alternate 3, in the amount of \$2,206,183.00.
5. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Bredemus Hardware Co., Inc., in the name of the City of Lino Lakes, for **Category 08A, Doors, Frames and Hardware**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$142,642.00.
6. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Ford Metro, Inc., , in the name of the City of Lino Lakes, for **Category 08C, Aluminum Framing and Glazing**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$328,280.00.
7. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Pinnacle Wall Systems, in the name of the City of Lino Lakes, for **Category 09A, Gypsum Assemblies**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$288,246.00.
8. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Fransen Decorating, Inc., in the name of the City of Lino Lakes, for **Category 09F, Painting and Wallcovering**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$315,327.00.
9. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Dan Larson Enterprises, Inc DBA Zahl-Petroleum Maintenance Co., in the name of the City of Lino Lakes, for **Category 11B, Vehicle Fueling System**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$422,092.00.
10. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Pump & Meter Service, Inc., in the name of the City of Lino Lakes, for **Category 14A, Vehicle Lifts**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$279,972.00.
11. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Nova Fire Protection, Inc., in the name of the City of Lino Lakes, for **Category 21A, Fire**

Protection Systems, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$247,560.00.

12. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Kraft Mechanical LLC, in the name of the City of Lino Lakes, for **Category 22A, Plumbing Systems**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$1,457,000.00.
13. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Pump & Meter Service, Inc., in the name of the City of Lino Lakes, for **Category 22B, Vehicle Lube Systems**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$185,739.00.
14. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Muska Electric dba General Sheet Metal, LLC, in the name of the City of Lino Lakes, for **Category 23A, HVAC Systems**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$1,834,477.00.
15. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Neo Electrical Solutions LLC, in the name of the City of Lino Lakes, for **Category 26A, Electrical and Low Voltage Systems**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$1,813,500.00. Bid Alternate 2., is not accepted.
16. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Minnesota Utilities & Excavating, in the name of the City of Lino Lakes, for **Category 31A, Earthwork**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$1,117,000.00.
17. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Park Construction Company, in the name of the City of Lino Lakes, for **Category 32A, Asphalt Paving**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$345,395.00.
18. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Ebert Inc dba Ebert Companies, in the name of the City of Lino Lakes, for **Category 32B, Site Concrete**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$312,000.00.
19. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Peterson Companies, Inc., in the name of the City of Lino Lakes, for **Category 32D, Fences and Gates**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$474,700.00.

20. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Upper Midwest Athletic Construction, Inc., in the name of the City of Lino Lakes, for **Category 32E, Synthetic Tennis Court Surfacing & Equipment**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$41,565.00.
21. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Minnesota Utilities and Earthwork, LLC, in the name of the City of Lino Lakes, for **Category 33A, Site Utilities**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$383,034.00.
22. The Mayor and Clerk are hereby authorized and directed to enter into a contract with EVS, in the name of the City of Lino Lakes, for **Category 01B, Surveying**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$31,000.00.
23. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Cleaniac's LLC, in the name of the City of Lino Lakes, for **Category 01C, Final Cleaning**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$56,460.00.
24. The Mayor and Clerk are hereby authorized and directed to enter into a contract with The Concrete Guy, in the name of the City of Lino Lakes, for **Category 03C, Stained/Sealed Concrete**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$77,312.00.
25. The Mayor and Clerk are hereby authorized and directed to enter into a contract with C and S Management Company, inc. D/B/A Waterproofing by Experts, in the name of the City of Lino Lakes, for **Category 07A, Waterproofing**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, including the base bid and Alternate 1 in the amount of \$50,975.00.
26. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Carciofini Company, , in the name of the City of Lino Lakes, for **Category 07D, Joint Sealants**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$65,040.00.
27. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Twin Cities Acoustics, , in the name of the City of Lino Lakes, for **Category 09C, Acoustical Ceilings**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$197,600.00.
28. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Grazzini Brothers & Company, in the name of the City of Lino Lakes, for **Category 09E,**

Resilient, Carpet and Turf Flooring, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$44,835.00.

29. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Building Material Supply, Inc., in the name of the City of Lino Lakes, for **Category 10A, Specialties**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$48,619.00.
30. The Mayor and Clerk are hereby authorized and directed to enter into a contract with H&B Specialized Products, Inc., in the name of the City of Lino Lakes, for **Category 10B, Metal Lockers**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$69,470.00.
31. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Acoustic Associates, in the name of the City of Lino Lakes, for **Category 10C, Operable Partitions**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$60,990.00.
32. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Amy's Windows LLC, in the name of the City of Lino Lakes, for **Category 12A, Window Treatments**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$28,813.00.
33. The City Clerk is hereby authorized and directed to return forthwith to all bidders the Bid Bonds made with their bids, except that the deposits of the successful bidder and the next lowest bidder shall be retained until a contract has been signed.

BE IT FURTHER RESOLVED that staff and RJM are authorized to resolicit bids or quotes as applicable for Categories where no bids or quotes were received.

Adopted by the City Council of the City of Lino Lakes this 11th day of May, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

**CITY OF LINO LAKES
RESOLUTION NO. 26-78**

**ACCEPTING BIDS AND AWARDING A CONSTRUCTION CONTRACT, BID PACKAGE
NO. 2, BID CATEGORY 08B, SECTIONAL AND SPECIALTY DOORS
PUBLIC WORKS BUILDING IMPROVEMENT PROJECT**

WHEREAS, pursuant to an advertisement for bids and quotes for the construction of the Public Works Building Improvement Project (“Project”), bids and quotes were received for Bid Package No. 2, consisting of Building Demolition, Earthwork, Utilities, Site Furnishings, MEP’s and interior and exterior finishes, opened and tabulated according to law, and

WHEREAS, the bids received in response to the advertisement for the work on these items are in a total amount generally consistent with the planned budget for the overall project; and

WHEREAS, the City’s construction manager for the Project, RJM Construction, has completed its review of all the bids and is recommending that the City award the contract to the lowest responsible bidder, inclusive of project requirements;

NOW, THEREFORE, BE IT RESOLVED by the City Council of Lino Lakes, Minnesota that:

1. The Mayor and Clerk are hereby authorized and directed to enter into a contract with Miner Corporation of Lino Lakes, Minnesota, in the name of the City of Lino Lakes, for **Category 08B, Sectional and Specialty Doors**, according to the plans and specifications approved by the City Council and on file in the office of the City Clerk, in the amount of \$346,000.00.
2. The City Clerk is hereby authorized and directed to return forthwith to all bidders the Bid Bonds made with their bids, except that the deposits of the successful bidder and the next lowest bidder shall be retained until a contract has been signed.

Adopted by the City Council of the City of Lino Lakes this 11th day of May, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

**CITY OF LINO LAKES
RESOLUTION NO. 26-79**

**RESOLUTION REJECTING FIRST APPARENT LOW BID AND ACCEPTING APPARENT
SECOND LOW BID FOR BID CATEGORY 32C – LANDSCAPING AND IRRIGATION
PUBLIC WORKS BUILDING IMPROVEMENT PROJECT**

WHEREAS, pursuant to an advertisement for bids, ordered by the City Council of Lino Lakes for the construction of the Public Works Building Improvement Project, bids were received, opened and tabulated according to law; and

WHEREAS, as part of the bid solicitations for the Public Works Building Improvement Project, the City solicited bids for bid Category 32C Landscaping and Irrigation; and

WHEREAS, the apparent low bidder, L.A.C. Enterprises, Inc. DBA Windsor Companies, failed to supply the responsible contractor form as required by the bidding requirements. As such L.A.C. Enterprises, Inc. DBA Windsor Companies bid is found to be non-compliant; and

WHEREAS, the City's construction manager for the Project, RJM Construction, has completed its review of all the bids and is recommending that the City award the contract to the second low bidder, inclusive of project requirements; and

WHEREAS, Hoffman & McNamara Co., of Hastings, Minnesota, the apparent second low bidder, met all required bid requirements for bid Category 32C Landscaping and Irrigation;

NOW, THEREFORE, BE IT RESOLVED by the City Council of Lino Lakes, Minnesota that:

1. The bid from L.A.C. Enterprises, Inc. DBA Windsor Companies bid is found to be non-compliant for the reasons set forth herein.
2. The bid for **Category 32C Landscaping and Irrigation** is awarded to Hoffman & McNamara Co., of Hastings, Minnesota, as the lowest responsible bidder, in the amount of \$338,900.00.
3. The Mayor and Clerk are hereby authorized and directed to enter into a contract in the name of the City of Lino Lakes with Hoffman & McNamara for said work.
4. The City Clerk is hereby authorized and directed to return forthwith to all bidders the Bid Bonds made with their bids, except that the deposits of the successful bidder and the next lowest bidder shall be retained until a contract has been signed.

Adopted by the City Council of the City of Lino Lakes this 11th day of May, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

**CITY OF LINO LAKES
RESOLUTION NO. 26-80**

**RESOLUTION REJECTING FIRST APPARENT LOW QUOTE AND ACCEPTING
APPARENT SECOND LOW QUOTE FOR QUOTE CATEGORY 9B – TILE
PUBLIC WORKS BUILDING IMPROVEMENT PROJECT**

WHEREAS, pursuant to an advertisement for quotes , ordered by the City Council of Lino Lakes for the construction of the Public Works Building Improvement Project, quotes were received, opened and tabulated according to law; and

WHEREAS, as part of the quote solicitations for the Public Works Building Improvement Project, the City solicited quotes for Quote Category 9B Tile; and

WHEREAS, the apparent low quoter, Lee’s Ceramics, Inc., failed to identify addendums #1 through #4 within the quote. As such Lee’s Ceramics, Inc., quote is found to be non-compliant; and

WHEREAS, the City’s construction manager for the Project, RJM Construction, has completed its review of all the bids and is recommending that the City award the contract to the second low bidder, inclusive of project requirements; and

WHEREAS, Grazzini Brothers & Company, of St. Paul, Minnesota, the apparent second low quoter, met all required quote requirements for quote Category 9B Tile;

NOW, THEREFORE, BE IT RESOLVED by the City Council of Lino Lakes, Minnesota that:

1. The quote from Lee’s Ceramics, Inc., is found to be non-compliant for the reasons set forth herein.
2. The quote for **Category 9B Tile** is awarded to Grazzini Brothers & Company, of St. Paul, Minnesota, as the lowest responsible bidder, in the amount of \$77,100.00.
3. The Mayor and Clerk are hereby authorized and directed to enter into a contract in the name of the City of Lino Lakes with Grazzini Brothers & Company for said work.
4. The City Clerk is hereby authorized and directed to return forthwith to all bidders the Bid Bonds made with their bids, except that the deposits of the successful bidder and the next lowest bidder shall be retained until a contract has been signed.

Adopted by the City Council of the City of Lino Lakes this 11th day of May, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

**CITY OF LINO LAKES
RESOLUTION NO. 26-81**

**RESOLUTION REJECTING FIRST APPARENT LOW QUOTE AND ACCEPTING
APPARENT SECOND LOW QUOTE FOR QUOTE CATEGORY 9D – FLUID APPLIED
FLOORING
PUBLIC WORKS BUILDING IMPROVEMENT PROJECT**

WHEREAS, pursuant to an advertisement for quotes , ordered by the City Council of Lino Lakes for the construction of the Public Works Building Improvement Project, quotes were received, opened and tabulated according to law; and

WHEREAS, as part of the quote solicitations for the Public Works Building Improvement Project, the City solicited quotes for Quote Category 9D Fluid Applied Flooring; and

WHEREAS, the apparent low quoter, Mavo Systems, failed to identify addendums #1 through #4 within the quote. As such Mavo Systems bid is found to be non-compliant; and

WHEREAS, the City's construction manager for the Project, RJM Construction, has completed its review of all the bids and is recommending that the City award the contract to the second low bidder, inclusive of project requirements; and

WHEREAS, The Concrete Guy of Edina, Minnesota, the apparent second low quoter, met all required quote requirements for quote Category 9D Fluid Applied Flooring;

NOW, THEREFORE, BE IT RESOLVED by the City Council of Lino Lakes, Minnesota that:

1. The quote from Mavo Systems is found to be non-compliant for the reasons set forth herein.
2. The quote for **Category 9D Fluid Applied Flooring** is awarded to The Concrete Guy of Edina, Minnesota, as the lowest responsible bidder, in the amount of \$21,153.00.
3. The Mayor and Clerk are hereby authorized and directed to enter into a contract in the name of the City of Lino Lakes with The Concrete Guy for said work.
4. The City Clerk is hereby authorized and directed to return forthwith to all bidders the Bid Bonds made with their bids, except that the deposits of the successful bidder and the next lowest bidder shall be retained until a contract has been signed.

Adopted by the City Council of the City of Lino Lakes this 11th day of May, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk

**CITY COUNCIL
REGULAR MEETING STAFF REPORT
AGENDA ITEM 7E**

STAFF ORIGINATOR: Michael Grochala, Community Development Director

MEETING DATE: May 11, 2026

TOPIC: Consider Resolution No. 26-82, Approving Amendment to Professional Services Contract with Oertel Architects, Civil Engineering and Survey Services

VOTE REQUIRED: Simple Majority

INTRODUCTION

Staff is requesting City Council consideration to approve a Construction Manager as Agent (CMa) contract with RJM Construction and an amendment with to the contract with Oertel Architects to retain Design Tree as a subconsultant to complete Civil Engineering and Surveying Services for the proposed Public Works Building.

BACKGROUND

January of 2025 the City retained the services of Oertel Architects to prepare plans and specifications for the construction of a new public works building. The contract includes subconsultants for mechanical, electrical, and plumbing engineering services and landscape architecture. In June of 2025 the contract was amended to include Civil Engineering services. The total contract amount is \$767,756.50.

Oertel has requested an amendment to the contract in the amount of \$25,600.00 to address the multiple bid packs not contemplated in the original proposal, along with parking lot, surface water management, utility and building design alterations requested after certain design milestones were reached. Additionally, the amendment includes additional services regarding site irrigation system. With the proposed change the contract total is \$793,356.50.

RECOMMENDATION

Staff has reviewed the request and is recommending approval of Resolution No. 26-82.

ATTACHMENTS

1. Resolution No. 26-82

**CITY OF LINO LAKES
RESOLUTION NO. 26-82**

**AMENDING PROFESSIONAL SERVICES CONTRACT WITH OERTEL ARCHITECTS,
PUBLIC WORK BUILDING IMPROVEMENTS**

WHEREAS, the City authorized a professional services contract with Oertel Architects for Architectural and Plumbing, Mechanical and Electrical Engineering Services and Landscape Architectural Services on January 25, 2025; and

WHEREAS, the contract was amended on June 9, 2025, to include Civil Engineering services; and

WHEREAS, Oertel Architects has requested an amendment to the contract in the amount of \$25,600.00, to address the multiple bid packs not contemplated in the original proposal, along with parking lot, surface water management, utility and building design alterations requested after certain design milestones were reached. Additionally, the amendment includes additional services regarding site irrigation system; and

WHEREAS, City staff has completed a review of the request and recommends the amendment in the amount of \$25,600.00,

NOW, THEREFORE, BE IT RESOLVED by the City Council of Lino Lakes, Minnesota that the professional services contract for the design of the Public Works facility is amended in the amount of \$25,600, adjusting the total contract amount to \$793,356.50.

Adopted by the City Council of the City of Lino Lakes this 11th day of May, 2026.

Rob Rafferty, Mayor

ATTEST:

Roberta Colotti, CMC, City Clerk